

# 2131 : 11-13 Whiteladies Road

## Heritage, Design and Access Statement

Conversion of Existing Class E Offices to Sui Generis Apartments  
Including Some External Amendments

July 2025



Fig 1: 11-13 Whiteladies Road viewed from pavement opposite, March 2025

## 1.0 INTRODUCTION

This Heritage, Design and Access Statement has been prepared by [REDACTED], an RIBA Conservation Architect on behalf of Shu Architects.

The statement has been written to support the full application for the conversion of the property from Class E office use to Sui Generis Apartments to 11-13 Whiteladies Road. Works to include some external works to the building and the introduction of a cycle and bin store to the rear courtyard.

This supporting statement has been kept to a scale proportionate with the application.

This Heritage, Design & Access Statement should be read alongside the following;

- Cover Letter by Rapleys
- Application drawings by Shu Architects
- Waste Statement by Shu Architects
- Energy & Sustainability Statement by JMDC Services Ltd



## 2.0 HERITAGE SETTING, SITE & CONTEXT

Nos 11-13 Whiteladies Road sits to the east side of Whiteladies Road (fig 1). The offices have two parts the main building to the front and an annex to the rear (fig 8). The annexe does not form part of this application. The properties are both currently in office use (Use Class E).

The application site covers an area of 1082sqm. The existing offices to the application site span four floors, including a basement / lower ground floor up to the second floor.

The site sits within the Bristol Central Area Plan Boundary and within the Whiteladies Road Conservation Area. The site is not part of a designated shopping frontage.

The immediate area is characterised by the tree-lined street of Whiteladies Road, large period buildings, predominantly arranged as semi-detached properties. The properties to the east side of Whiteladies Road have generous plot sizes including large front gardens many of which are now parking courtyards (figs 3 & 5). The properties all vary in height, style and arrangement. However, they can be characterised by their attractive façades, many of which are finished with Bath Stone and painted timber sash windows. The side and rear elevations to the buildings are predominantly render (fig 4). Some properties such as no. 15 to the north have additional stone detailing to their side elevations (fig 5).

Nos 11-13 Whiteladies Road was built between 1855 and 1874 as a pair of residential villas. This can be seen by comparing the two Ashmead maps to Section 3.0. Many of these villas were converted to offices in the late 19th as Bristol expanded. On the 1947-1965 OS National Grid plan there is a substantial extension to the rear of the site indicating it was almost certainly no longer in residential use (Section 3.0). The neighbouring property of no. 9 is labelled on this map as a bank.

There are several listed buildings to the immediate locality (fig 2) including nos 7 & 9 Whiteladies Road to the south (fig 3). Nos 7 & 9 are Grade II Listed buildings (Historic England reference number 1202690) and were listed in 1994.

No. 11-13 sits uncomfortably with its immediate neighbours as it has a painted façade (fig 1). The side and rear elevations are also particularly plain, compared to their neighbours (figs 6, 8 & 9). The only details of merit are the long arched window to each side and Bath Stone detail above the parapet level, which once served as chimneys. The site has no planting or trees to it with parking courtyards to the front and rear (fig 1, 7 & 8)

However, although nos. 11-13 Whiteladies Road is not as attractive as the adjacent properties, in part because the stone façade has been painted, the front elevation in particular does still contribute to the character of the Conservation Area.

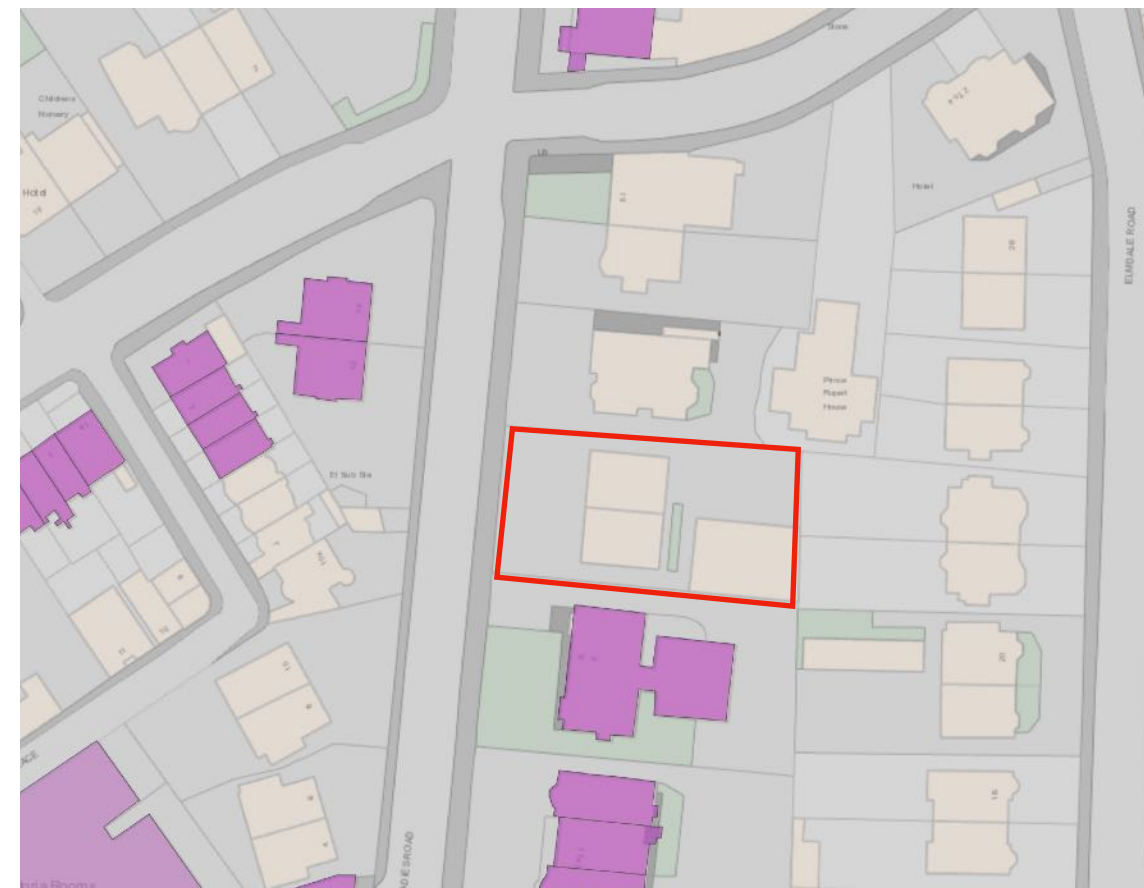


Fig 2: Local area with the nearby listed building shaded in purple and the site application boundary outlined in red (Know Your Place Bristol)



Fig 3: The listed properties of nos. 7 & 9 Whiteladies Road to the right with nos. 11-13 to the centre. Photograph taken March 2025





Fig 4: View of the rear of the properties of 7 to 19 Whiteladies Road from Tyndall's Park Road

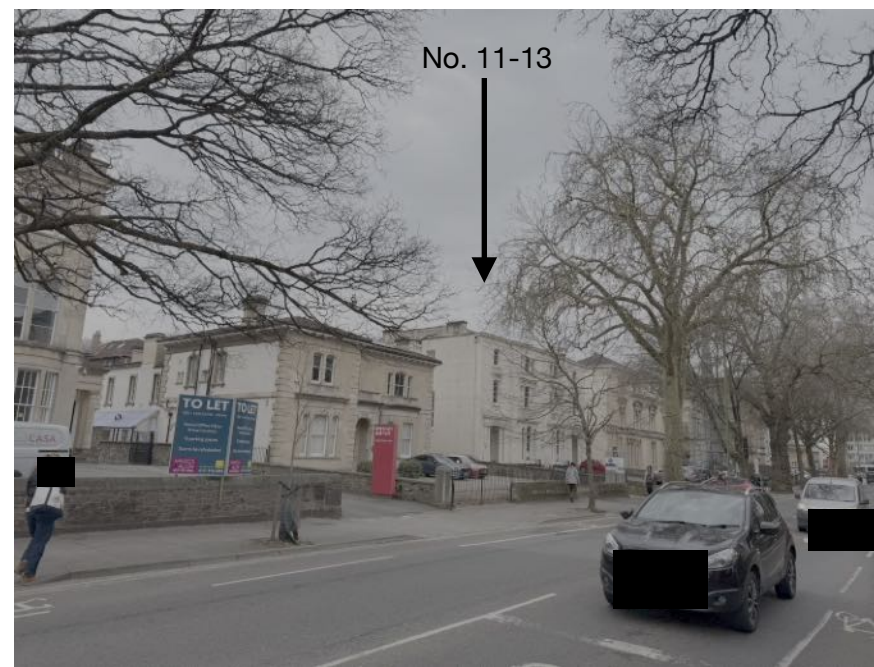


Fig 5: View of no. 15, 11-13 & 7-9 White ladies Road from opposite pavement



Fig 6: View of no. 15, 11-13 & 7-9 White ladies Road from the near pavement



Fig 7: View of the rear parking courtyard



Fig 8: View of the rear facade, the annex and the rear parking courtyard

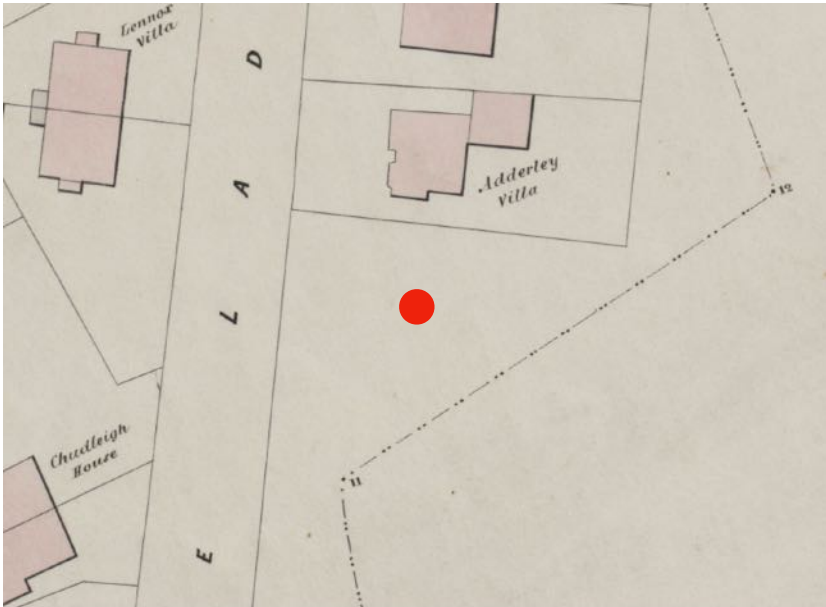


Fig 9: View of the rear facade

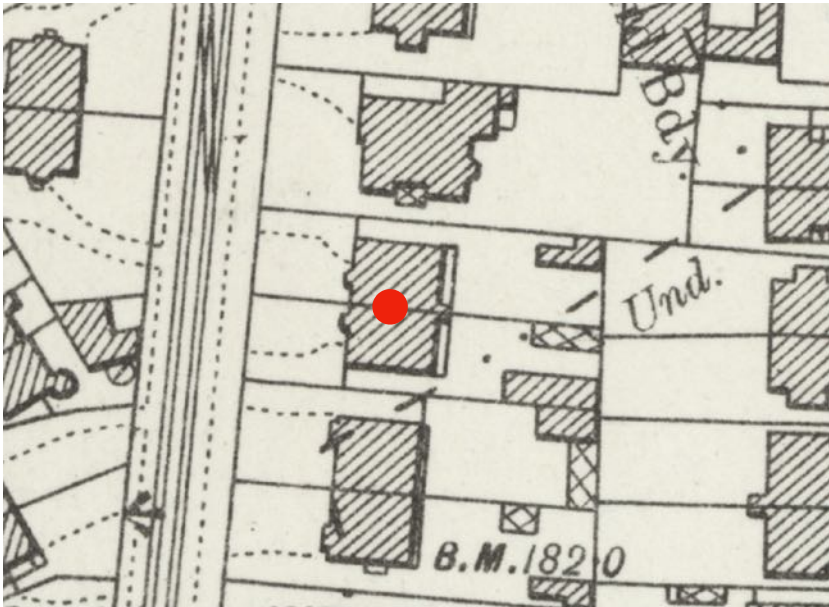


3.0 HISTORIC MAPS

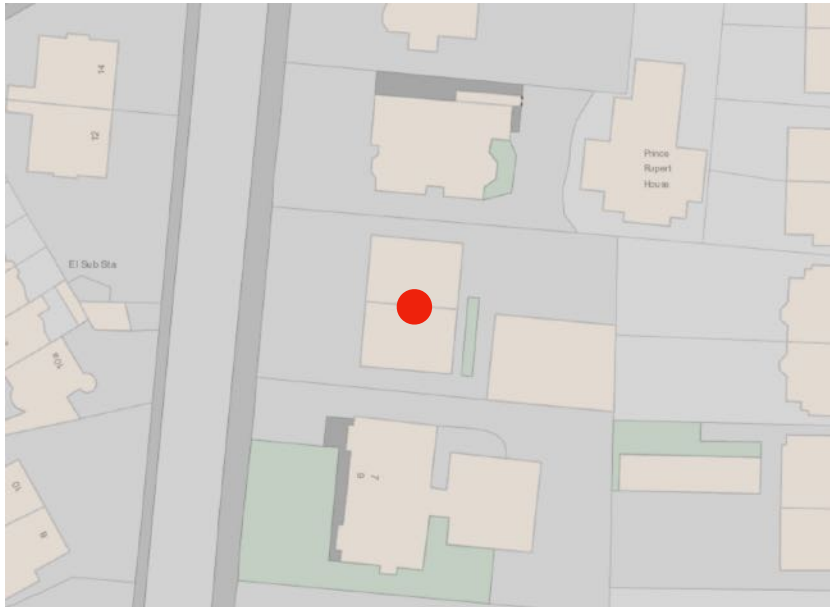
Below are historic maps from Know Your Place Bristol (<https://maps.bristol.gov.uk/kyp/>) with nos 11-13 Whiteladies Road marked with a red dot.



1855 Ashmead



1894-1903 OS 25" 2nd Edition

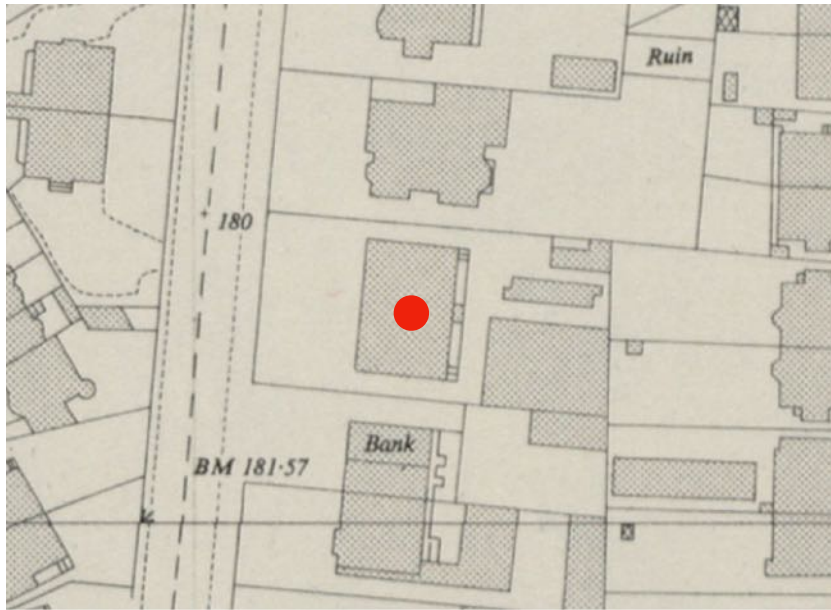


BCC 2019 Q2 Base Map



1874 Ashmead

1947-1965 OS National Grid





## 4.0 DESIGN STATEMENT

The proposals are for the conversion of the existing offices to Sui Generis apartments. Internally the flats will be self contained with their own kitchen, showering and laundry facilities. There will be a welcome desk to the entrance hall and welfare facilities for staff.

To facilitate the change of use and to improve the property it is proposed there are some external works. These are summarised as the following;

1. The removal of paint from the front façade and a return to a Bath Stone finish
2. The addition of two lightwells, one to the front and one to the side
3. The addition of external insulation to the external walls to the rear and side including adjustment of the window positions, Bath Stone detail and new pipework
4. The addition of railings, with a hedge behind to the front wall
5. The addition of photovoltaic panels and a rooflight to the roof
6. The addition of new windows to the basement side and rear elevations
7. Removal of the steps to the rear new Juliette balconies
8. Alterations to the side arched window including the addition of obscure glazing
9. The installation of Air Source Heat Pumps to the rear courtyard
10. The installation of a cycle store and a bin store to the rear courtyard

### 1. The removal of paint from the front façade and a return to a Bath Stone finish

The existing façade is painted stone. A test patch to the front elevation has confirmed that the base layer is Bath Stone (fig 10). It is proposed all the paint is removed from the stonework to the front façade and the corner front piers. This will improve its appearance, improve the visitor experience and allow the surface to regain its breathability.



Fig 10: Test patch for the removal of the paint finish showing the Bath Stone surface behind



Fig 11: One of the lightwells to front (west) elevation



Fig 12: Side elevation, small lightwells and access to the south of the property

### 2. The addition of two lightwells, one to the front and one to the side

There are two small lightwells that allow light into the front basement windows (fig 11). There are also smaller lightwells, to the side elevations (fig 12). It is believed that these lightwells may have historically been larger. It is proposed two larger lightwells are installed; one to the front elevation and one to the south side. This will allow improved levels of natural light into the basement rooms. The railings to the lightwells will be in heritage character with the surrounding area. Details of the front lightwell and railings can be seen to drawings dwg 308.

### 3. The addition of external insulation to the external walls to the rear and side including adjustment of the window positions, Bath Stone detail and new pipework

At present the walls to the side and the rear are solid masonry with a cement render finish and multiple flues and external pipework.

As a change of use the building will be required to meet Building Regulation Part L for thermal improvements and energy efficiency. It will therefore be necessary to thermally improve the walls by the addition of insulation. To the front façade, due to its positive contribution to the Conservation Area, this insulation will need to be internal. However, the amount of internal wall insulation needs to be limited to a U-Value of around 0.5W/m<sup>2</sup>K so as to avoid the risk of interstitial condensation in the walls. We believe to improve the thermal performance of the whole building it will be necessary to externally insulate the walls to the side and the rear to an improved / higher value of 0.18W/m<sup>2</sup>K. This will need to be done externally and it is proposed to be a breathable mineral wool insulation with a silicate render coating in a colour to match the existing finish. To avoid an unsightly junction of the insulation to the corner piers at the front of the building it is proposed there is a new Bath Stone cladding detail added to the side elevations. This will match the finish of the cleaned façade of the front elevation. Refer to the proposed elevation drawings for locations.

It is also proposed to reset the windows so that they have the same relationship with the external façade as the existing arrangement, approximately 120mm. Finally, it is proposed that the external pipework be rationalised and reduced where possible. With new black painted heritage style cast aluminium rainwater pipe and cast iron soil vent pipes. The facade will need



to incorporate some ventilation outlets for the kitchen and bathrooms. The number of these has been kept to a minimum. There will be no outlets to the front façade.

#### 4. The addition of railings, with a hedge behind to the front wall

At present the wall to the front boundary has no railings and it is presumed these may have been removed during WWII. Several of the neighbours have railings to low walls, some with hedging behind including the adjacent neighbour nos 7-9 (fig 3). It is proposed new black-painted steel railings, of a traditional style, are reinstated to the front boundary walls with a new hedge to their rear. This will reduce the visibility of the parked cars and improve the setting of the front façade.

#### 5. The addition of photovoltaic panels and a rooflight to the roof

The existing roof has a double pitch with a tiled finish, a parapet to the perimeter and a central valley gutter (fig 13). From studying aerial views it appears that the central chimney stacks to the building have been removed and all existing chimneys have been capped. The roof is not visible from ground level along Whiteladies Road (figs 1, 3, 4 & 5). It is proposed there are photovoltaic panels installed to all the roof slopes with a new velux style roof light for fire safety purposes to the valley roof. It should be noted that the adjacent neighbours of nos. 15-17 already have photovoltaic panels installed to their east and west roof pitches (fig 13).

#### 6. The addition of new windows to the basement side and rear elevations

It is proposed the two doors to the rear elevation at the basement level (fig 9) are altered to be windows. It is also proposed there are two new windows to the new basement lightwell to the south (side) façade. These would be painted sash windows to match the style of the existing

building. Finally, it is proposed the casement window on the second floor to the rear is altered to be a traditional style sash window to match the adjacent windows to the rear elevation.

#### 7. Removal of the steps to the rear new Juliette balconies

At present, there are steps to the rear elevation (fig 9). It is proposed these are removed. It is further proposed that both this set of patio doors and the adjacent set have a new glass and stainless steel Juliette balcony installed.

#### 8. Alterations to the side arched window including the addition of obscure glazing

It is proposed there are alterations to the arched window of the side elevation to the south (fig 14). This will enable the insertion of a new floor internally and the opening of windows. The overall window form and glazing bar lines will remain the same to minimise the visual impact.

#### 9. The installation of Air Source Heat Pumps to the rear courtyard

To encourage the move towards renewable technology it is proposed to install air source heat pumps to the rear courtyard. These are proposed to be located on the north boundary wall (fig 7). The location has been chosen to ensure they are away from sleeping areas. The units will be protected from the existing cars by new bollards.

#### 10. The installation of a cycle store and a bin store to the rear courtyard

To the rear courtyard it is proposed there is a new bin store and secure cycle store. These are discussed in further detail in Section 5 of this supporting statement and in the accompanying Waste Statement.

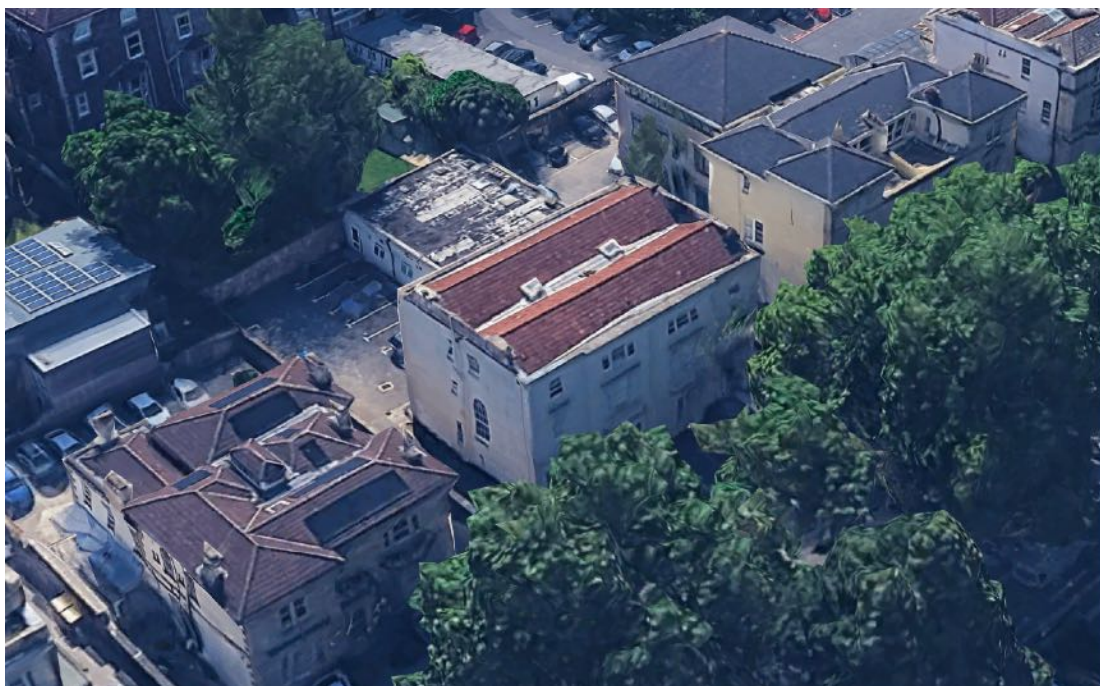


Fig 13: One of the windows to the south elevation of Main Building



Fig 14: Side elevation to nos 11-13 Whiteladies Road

5.0 ACCESS STATEMENT

Access to the Site

The site has two combined vehicle and pedestrian access points from Whiteladies Road (figs 1 & 15). These will both be retained.

Vehicle Parking

The existing site has two parking courtyards, one to the front and one to the rear. Both courtyards have marked out parking spaces (fig 1 & 7). The existing vehicle access to the rear courtyard is via the north of the property and this access will be retained.

The parking to the rear courtyard will be for use only by the offices to the rear annex of the adjacent site, refer to the section below.

For the Sui Generis apartments there will be 6 no. parking spaces to the front courtyard including 1 no. for wheelchair users. The property is in a highly sustainable location.

Vehicle Parking

To the front building the principal pedestrian entrance is via the front elevation (fig 1). There is also secondary entrances to the ground and basement / lower ground floor to the rear, via flights of steps (fig 9). There will be a single pedestrian access retained which will be to the north side of the front elevation.

Cycle Parking

There is currently no cycle parking on the site. It is proposed to introduce a new secure and roofed cycle store to the rear courtyard. This will accommodate 8 bicycles via 4no. Sheffield cycle stands.

There will be a Sheffield cycle stand installed to the front of the Main Building to provide 2 no. visitor parking places.

The Annex - Adjacent Site

The Annex to the rear courtyard does not form part of the application site. The Annex has 6 car parking space allocated to them and these spaces and access to them will be retained.

The pedestrian entrance to the Annex is accessed via a wide path to the South of the property. The access to this will also be maintained but reduced in width to 1.5m.

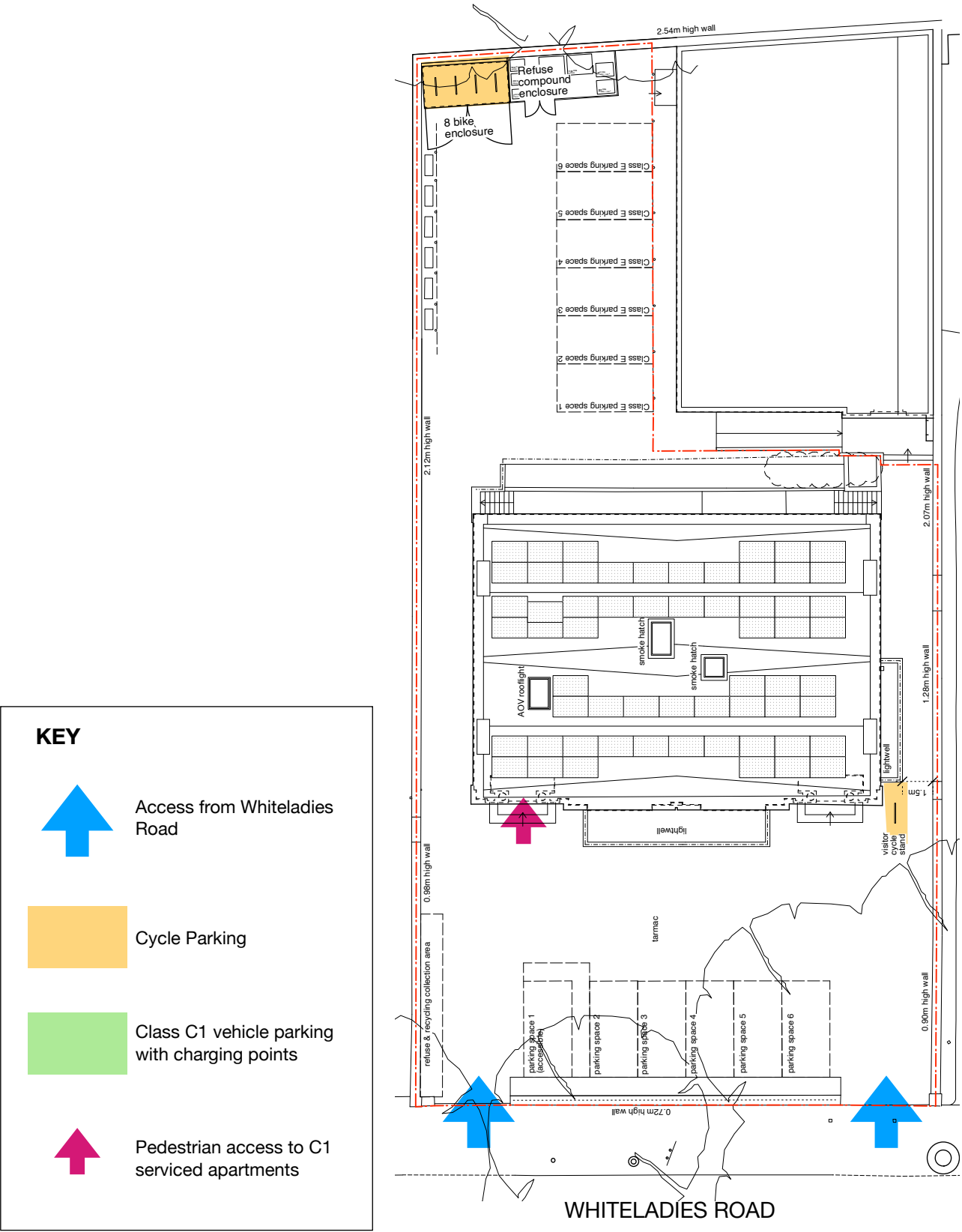


Fig 15: Proposed site plan with access and parking indicated



## 6.0 HERITAGE IMPACT ASSESSMENT

Nos. 11-13 Whiteladies Road is an office building, original built as a pair of semi detached residential properties in the Whiteladies Road Conservation Areas.

The proposal is for the conversion of the existing building to Sui Generis apartments. To facilitate this some external works are proposed as identified in section 4.

The proposals to return of the Bath Stone finish to the front façade and introduce new railings with a hedge to the front boundary wall will make the property more visually attractive. Therefore, we believe this will have a positive impact on the heritage assets of the Conservation Area and the setting of the nearby listed buildings.

The proposals to reduce the amount of parking to the front courtyard, together with the introduction of a dedicated refuse and recycling storage to the rear will make the front courtyard more tidy. Therefore we believe this will have a positive impact on the heritage assets of the Conservation Area and the setting of the nearby listed buildings.

The proposals to install new external wall insulation together with a stone cladding detail and new heritage style pipework has been carefully and fully considered. We believe this will have a neutral impact on the heritage assets of the Conservation Area and the nearby listed buildings. However, it will while have a positive impact on the long term sustainability and viability of this heritage property.

The proposed installation of new light wells, windows and Juliette balconies are all of high quality materials and are either at low levels or to more discreet areas of the property. We believe this will have a neutral impact on the heritage assets of the Conservation Area and the nearby listed buildings.

The proposed installation of renewable technologies will not be visible from the wider Conservation Area. Therefore we believe this will have a neutral impact on the heritage assets of the Conservation Area and the nearby listed buildings. However, it will have a positive impact on the long term sustainability and viability of this heritage property.

To summarise, the works will involve some amendments to both the site and the external facade. We believe these works have been carefully considered and will overall have a positive impact on the heritage assets of the Conservation Area and the setting of the nearby listed buildings.