

A

W

Redcliff Quay, Bristol
Design & Access Statement

4817-AWW-XX-XX-RP-A-92000 Revision: P03

November 2024

Prepared for Skelton Developments (Nottingham) Limited

W

Contents

1.0 Introduction.....	5	3.8 Entrance & Public Realm - Material Palette	29
1.1 Summary	6	3.9 Main Entrance Proposal	30
1.2 Location & Context	7	3.10 Balconies & Terraces	33
1.3 Site Analysis	8	3.11 Roof Works	34
1.4 Historical Site Analysis	9	3.12 Entrance & Public Realm - Landscape Plan	35
1.5 Existing Building	11	4.0 Access	38
1.6 Project Scope	13	4.1 Access, Refuse & Servicing Strategy	39
2.0 Design Development.....	14	4.2 Maintenance Strategy	40
2.1 Site Strategy	15		
2.2 Main Entrance Options	16		
2.3 Plaza Landscaping Options	17		
2.4 Heritage Context	18		
2.5 External Materiality	19		
3.0 Proposals	20		
3.1 Strategy	21		
3.2 Typical Ground Floor Plan	22		
3.3 Typical Upper Floor Plan	23		
3.4 Typical Roof Plan	24		
3.5 Proposed Elevations	25		
3.6 Artist's Impression View	27		
3.7 Key Elevation	28		

Revisions

Issue and approval schedule

Issue Draft 1	Name	Signature	Date
Prepared by:	Becki Woodhouse		18.10.2024
Reviewed by:	Robert Griffiths		18.10.2024
Approved by:	Duncan Taylor		18.10.2024

Revisions record

Issue	Date	Status	Description	By	Checked	Approver
P01	18.10.2024	S3	Issued for review & comment	BW	RG	DT
P02	14.11.2024	S4	Planning Issue - Issued for Stage Approval	BW	RG	DT
P03	22.11.2023	S4	Planning Issue - Issued for Stage Approval	BW	RG	DT



AWW | Redcliff Quay, Bristol

November 2024

redcliff quay

redcliff quay

Heineken

Heineken

Heineken

1.0 Introduction



1.0 Introduction

1.1 Summary

Purpose

This document has been prepared by AWW on behalf of Skelton Developments (Nottingham) Ltd (hence forth referred to as Skelton Developments) for the improvement works to the exterior of the existing Office Building at Redcliff Quay, located on Redcliff Street, Bristol City Centre.

The following report sets out the design proposal within the site context including a contextual appraisal of the site as a basis for considering the opportunities, constraints and design principles associated with the proposal. This document also sets out how the scheme proposals have been developed.

The aim of the document aims to explain the design process leading up to the Planning Application and should be read in conjunction with the drawings and other supporting documents that form part of the application.

Client: Skelton Developments (Nottingham) Ltd
Planning Consultant: Quod



1.0 Introduction

1.2 Location & Context

Site Location

Redcliff Quay
120 Redcliff Street
Bristol
BS1 6HU

Size

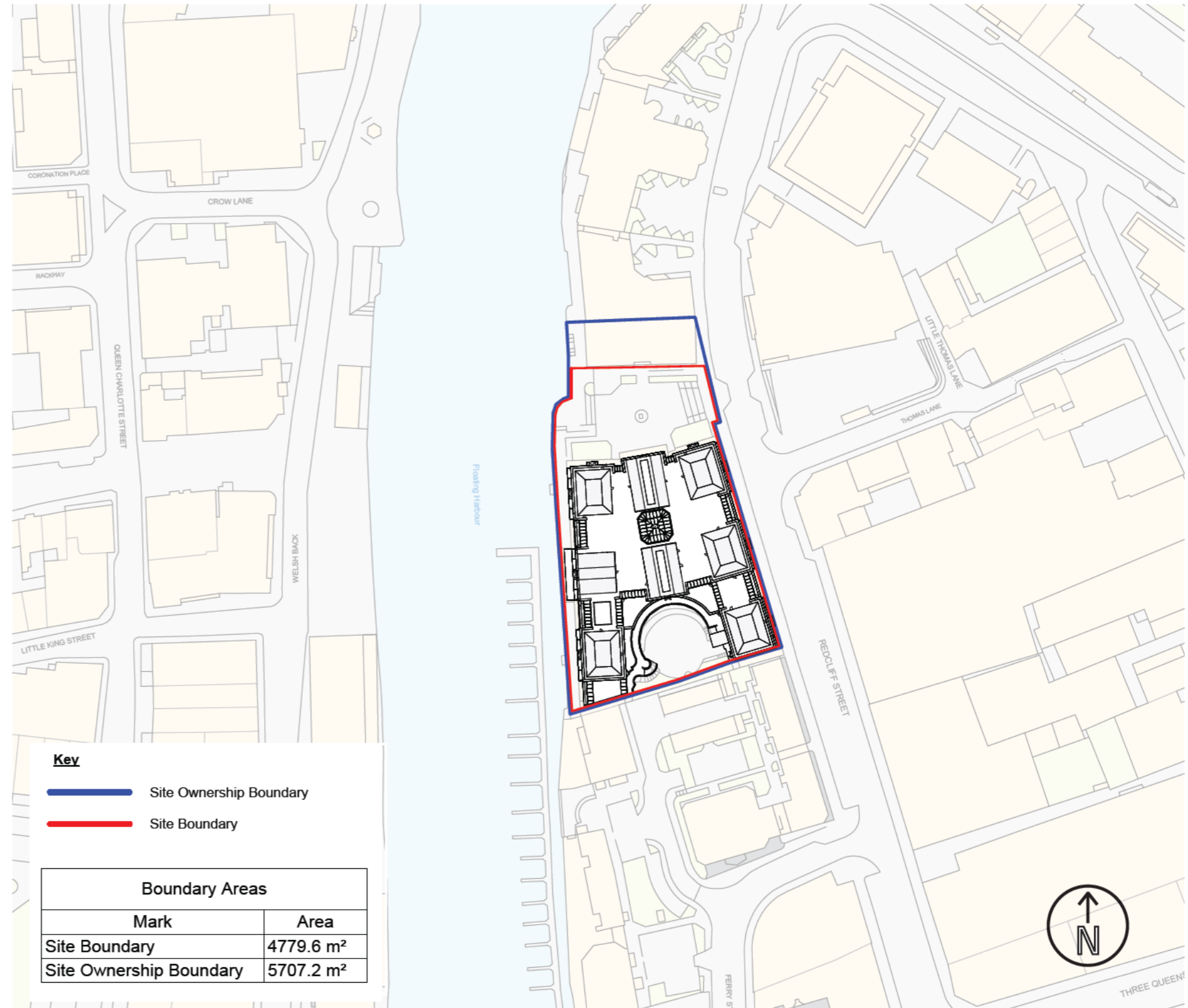
Redcliff Quay is arranged over five storeys and provides office accommodation to all floor levels (with basement).

Skelton Developments Group has ownership of the site within the blue line boundary. This report focuses on the red line boundary as shown, inclusive of the existing building and external plaza.

Redcliff Quay is a 5 storey office building with basement. The existing building and external plaza will be retained. The proposals look to enhance the existing entrance arrangement, improving its visibility from both Redcliff Street and Welsh Back.

The plaza will be activated and softened by introducing planters with integrated seating.

As part of the refurbishment the existing roof build-up and ductwork on the roof will be replaced, and new roof finishes provided. No works are proposed to the existing roof plant enclosures.



1.0 Introduction

1.3 Site Analysis

Site

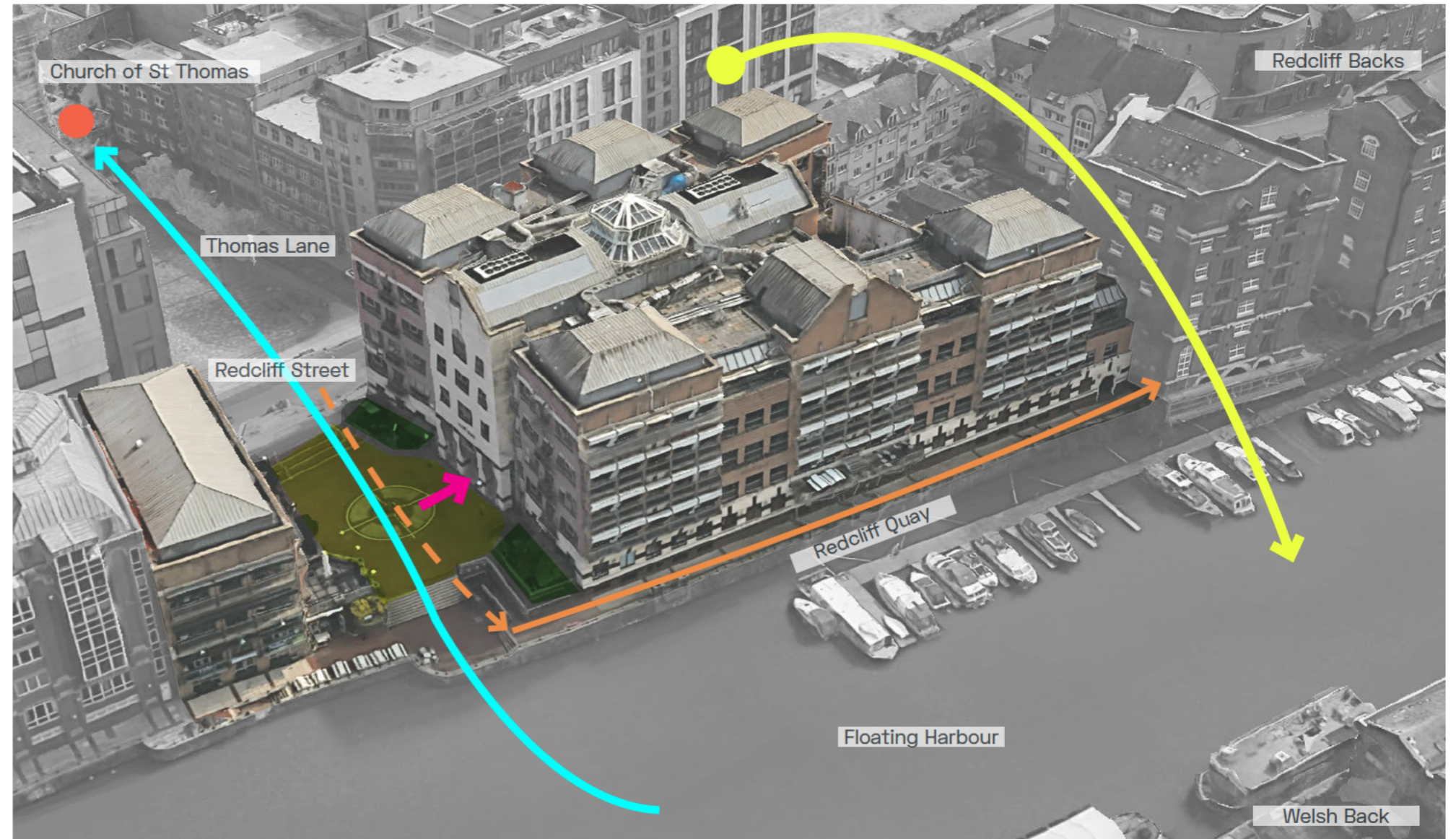
The site can be accessed from Redcliff Street and Redcliff Backs, and viewed from the opposite side of the Floating Harbour and is located within the Redcliff Conservation Area (North). The existing plaza is a raised plinth, incorporating an existing obelisk and existing planting areas. The plaza is a key access route to the building entrance, as well as to the continual pedestrian harbour route leading toward Redcliff Backs to the west facade of the building.

Building

The existing building is located on a site which was formerly a Victorian industrial style warehouse, and is situated by the water's edge. The existing building has the material palette of redbrick with modern dressings, pennant stonework and metal casement windows, similarly to the rest of the post-war rebuilt areas of the north Redcliff Conservation Area.

Key:

-  Building Access
-  Main Route from Redcliff Street
-  Continual Pedestrian Harbour Route
-  Key Views
-  Landmark Building
-  Sun Path
-  Public Realm: Raised Plaza Plinth & Obelisk
-  Existing Planting



Key View to Landmark Building from Welsh Back



Existing Obelisk & Raised Plaza



Existing Planting & Lighting



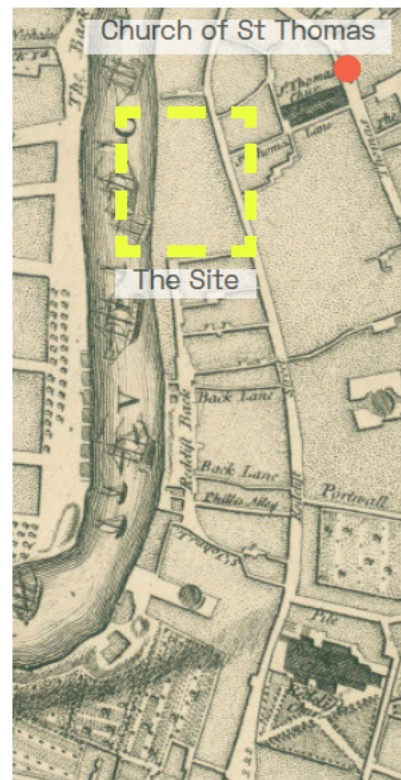
1.0 Introduction

1.4 Historical Site Analysis

The site is within Redcliff Conservation Area and in proximity to the City Docks & Queen Square Conservation Areas. The site has origins as a medieval suburb and is in close proximity to the Redcliff Conservation Area's landmark buildings. Growth in industry led to importation of luxury goods in the 16th Century, meaning the site was once a large area of trade for Bristol up until the 1950s.

The Conservation Area's character appraisal notes the external plaza as an intimate space/route, with long and local views across the Floating Harbour from the Church of St Thomas, which is a designated Grade II* listed building. The church is visible from across the floating harbour and dominates the view along St Thomas Lane.

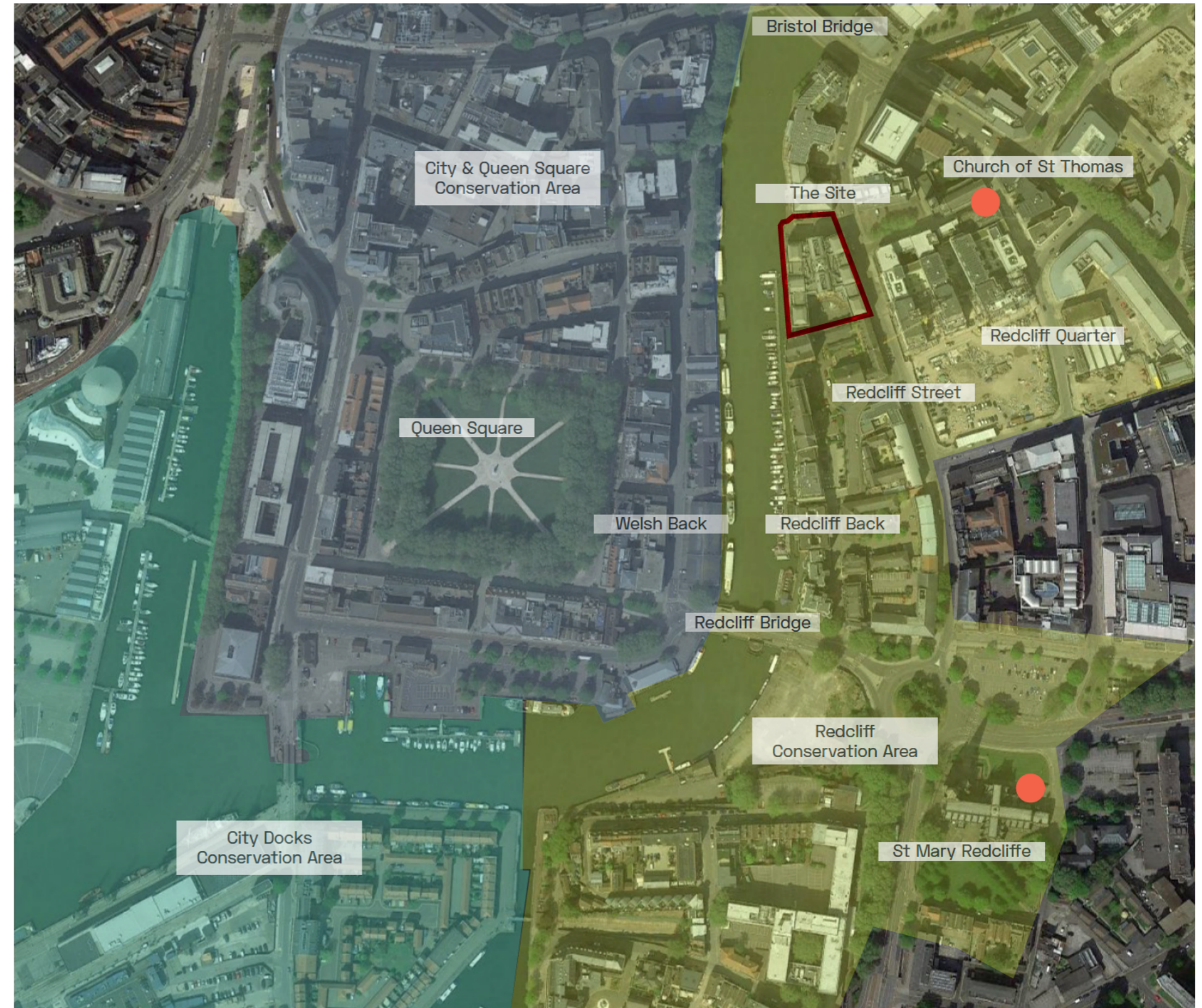
Redcliff Quay was part of post-war redevelopment after the 1950s. The site is a former Victorian industrial warehouse. Details around the site show the industrial and maritime heritage of the area.



Historic Map of the Site
1746-1803



Historic Map of the Site
1898-1939



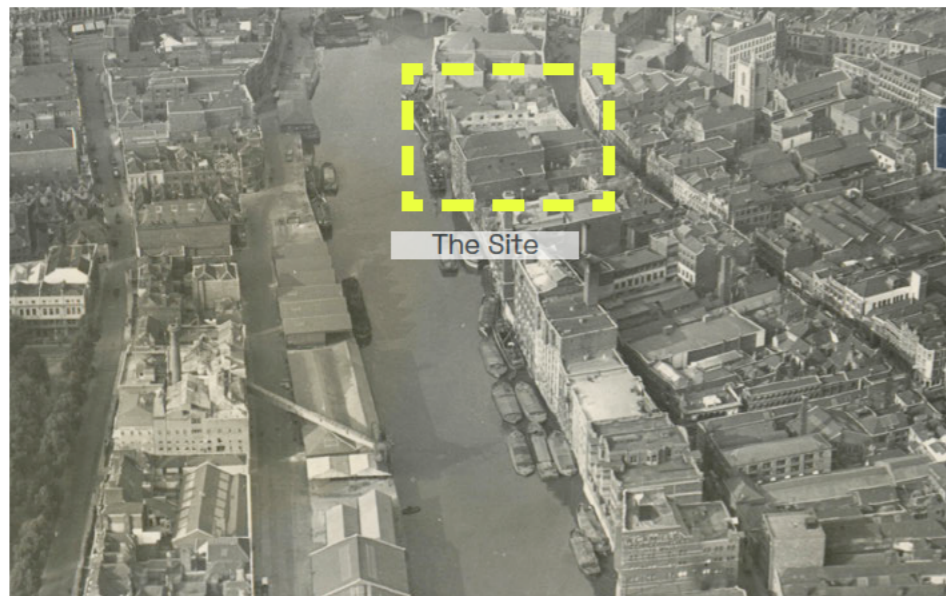
Aerial photo of central Bristol illustrating locations of Conservation Areas

1.0 Introduction

1.4 Historical Site Analysis

As highlighted in the Redcliff Conservation Area Character Appraisal, the area is divided into 3 sub-areas. Redcliff Quay is located within Area 1: North Redcliff - Floating Harbour, Redcliff Way and Counterslip. Dominant characteristics of the area are summarised as follows:

- Water/Floating Harbour is a defining feature
- Former industrial warehouses along waterside
- Large volume of post-War industrial units that reflect the scale of bomb damage
- Trees and historic paved surfaces lend character to spaces
- Medieval origins with surviving traditional street layout (St Thomas Street)
- Important views across Redcliff.



Aerial view of the Floating Harbour in 1930's.

Key:

- Grade I Listed Building
- Grade II Listed Building
- Grade II* Listed Building
- Building of Historical Merit
- Neutral Building



Aerial photo illustrating Redcliff Conservation area.

1.0 Introduction

1.5 Existing Building



Site Aerial View - North/West façades



Site Aerial View - East/South façades



Site Aerial View - North/East façades



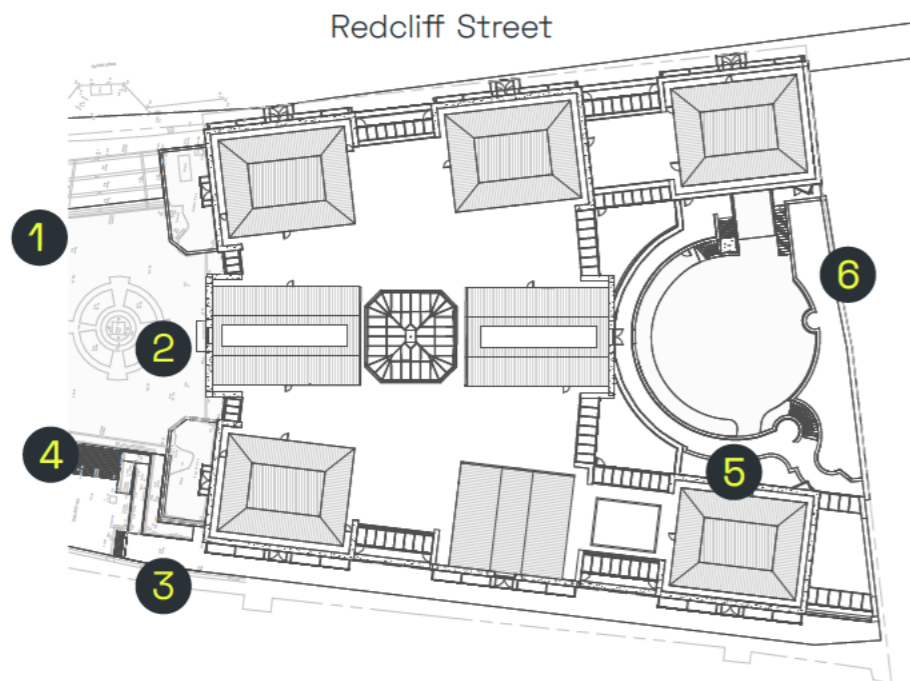
Site Plan View - Roof


1.0 Introduction

1.5 Existing Building

Existing Site Detail Photographs

- Photo 1 shows the existing north-facing facade, entrance area and public realm with obelisk.
- Photo 2 shows the existing north-facing entrance area, colonnades and materiality.
- Photo 3 shows the existing north and west-facing facade, from the other side of the Floating Harbour, with views toward the Church of St Thomas..
- Photo 4 shows the existing north-facing entrance area and obelisk from north-west corner, with specific view of the Church of St Thomas.
- Photo 5 shows the existing planting on the west-facing facade located in the rear courtyard.
- Photo 6 shows the existing planting and boundary wall in the rear courtyard.



Key Plan 

1.0 Introduction

1.6 Project Scope

Skelton Developments have appointed AWW Architects for the main entrance design, landscape and refurbishment works to the existing office building at Redcliff Quay.

Key briefing items are summarised below:

Ground Level

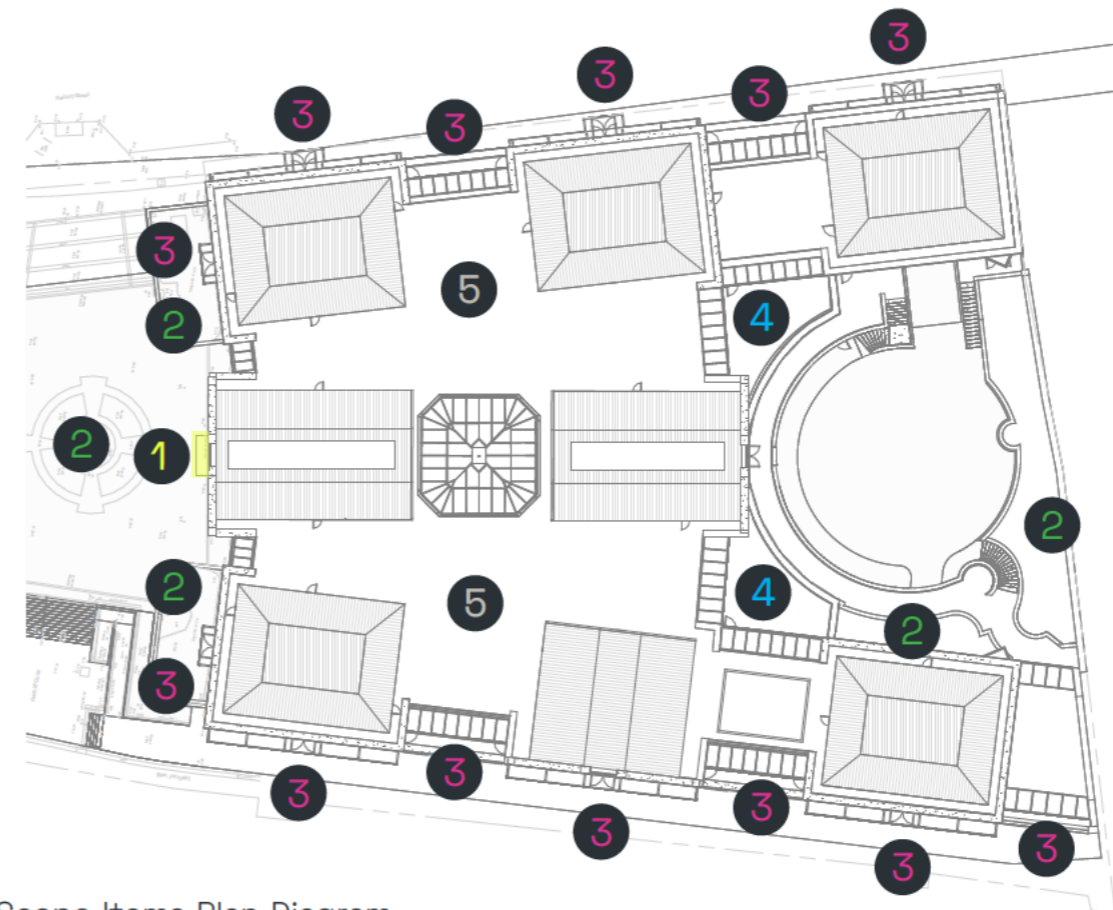
- 1 Proposed feature portal frame & new paving to building entrance.
(This is the only elevational change)
- 2 Upgraded planting and proposed feature seating with planting around the existing obelisk sculpture.

Upper Levels

- 3 Replacement floor finishes to existing external Balconies
- 4 Replacement floor finishes to existing external terraces
- 5 Replacement roof build-up to main roof & replacement ductwork



Extent of elevational change



Scope Items Plan Diagram

2.0 Design Development



2.0 Design Development

2.1 Site Strategy

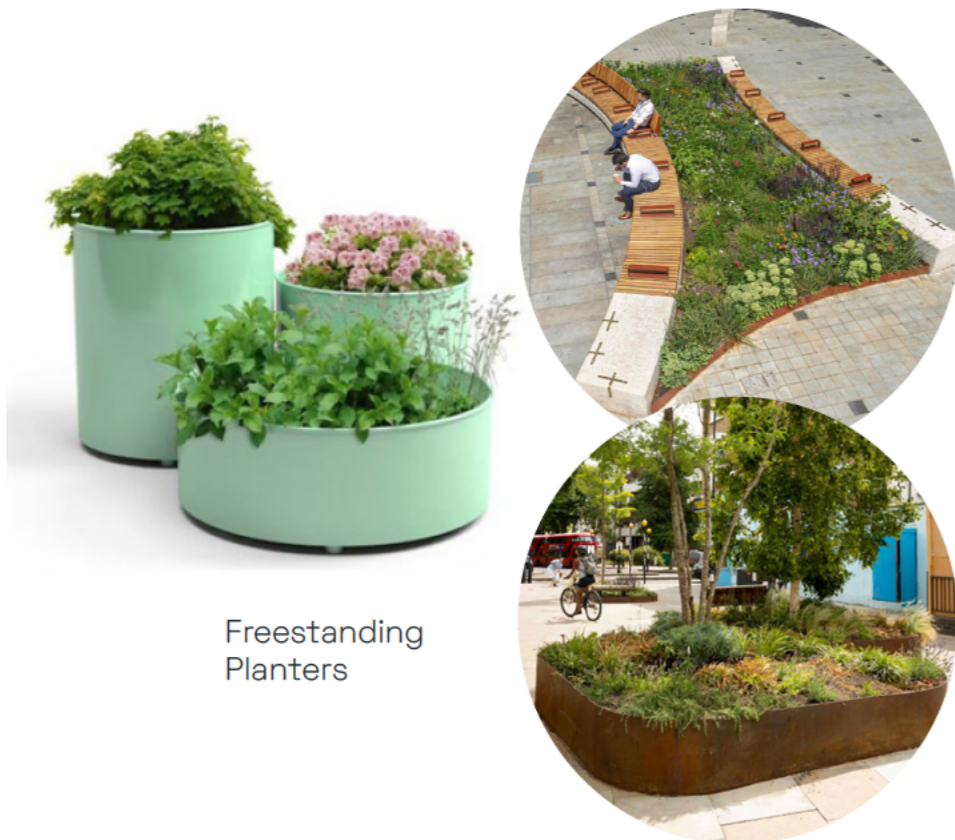
- 1 Proposed feature entrance with new signage, lighting & planting
- 2 Upgrades to plaza activating building frontage with use of seating & planting
- 3 Visual upgrades to facade with replacement finishes
- 4 Replacement roof build-up to main roof & replacement ductwork



Facade & Plaza
 - Increase in biodiversity
 - Enhance Public Realm



Precedents:



Freestanding Planters

Integrated seating

Main Entrance Concept Sketch

2.0 Design Development

2.2 Main Entrance Options

The feature entrance development iterations considered placement of signage, lighting and integration of planting. This is to provide an active frontage to the building, integrating with the public realm.

The feature entrance itself protrudes from the building, rather than being recessed, providing a clear access point.

- Option 1 Key Design Moves:
- Integration of planter
 - Suspended signage design

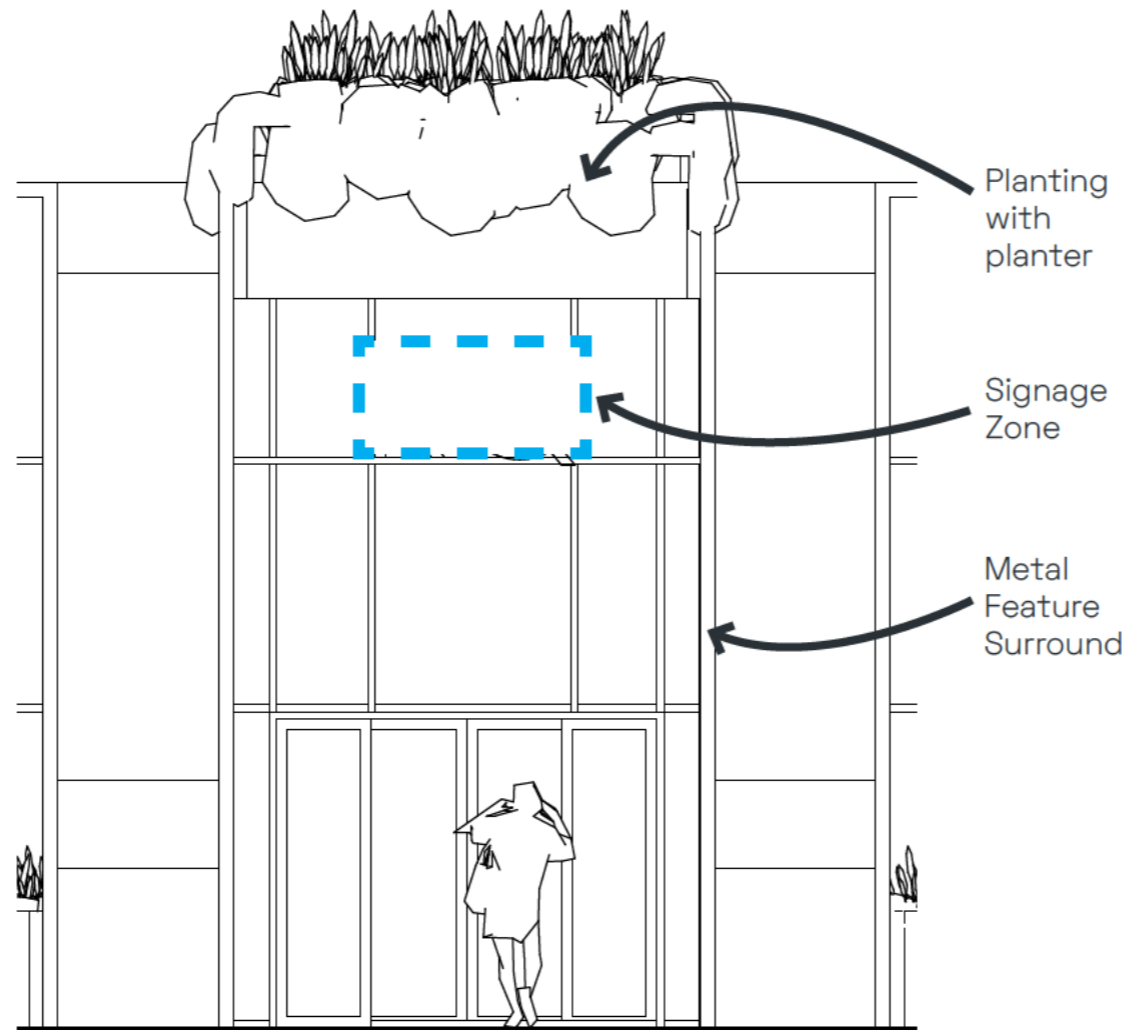
- Option 2 Key Design Moves:
- No Planting
 - Lighting to feature surround
 - Elevated signage design

Precedents:

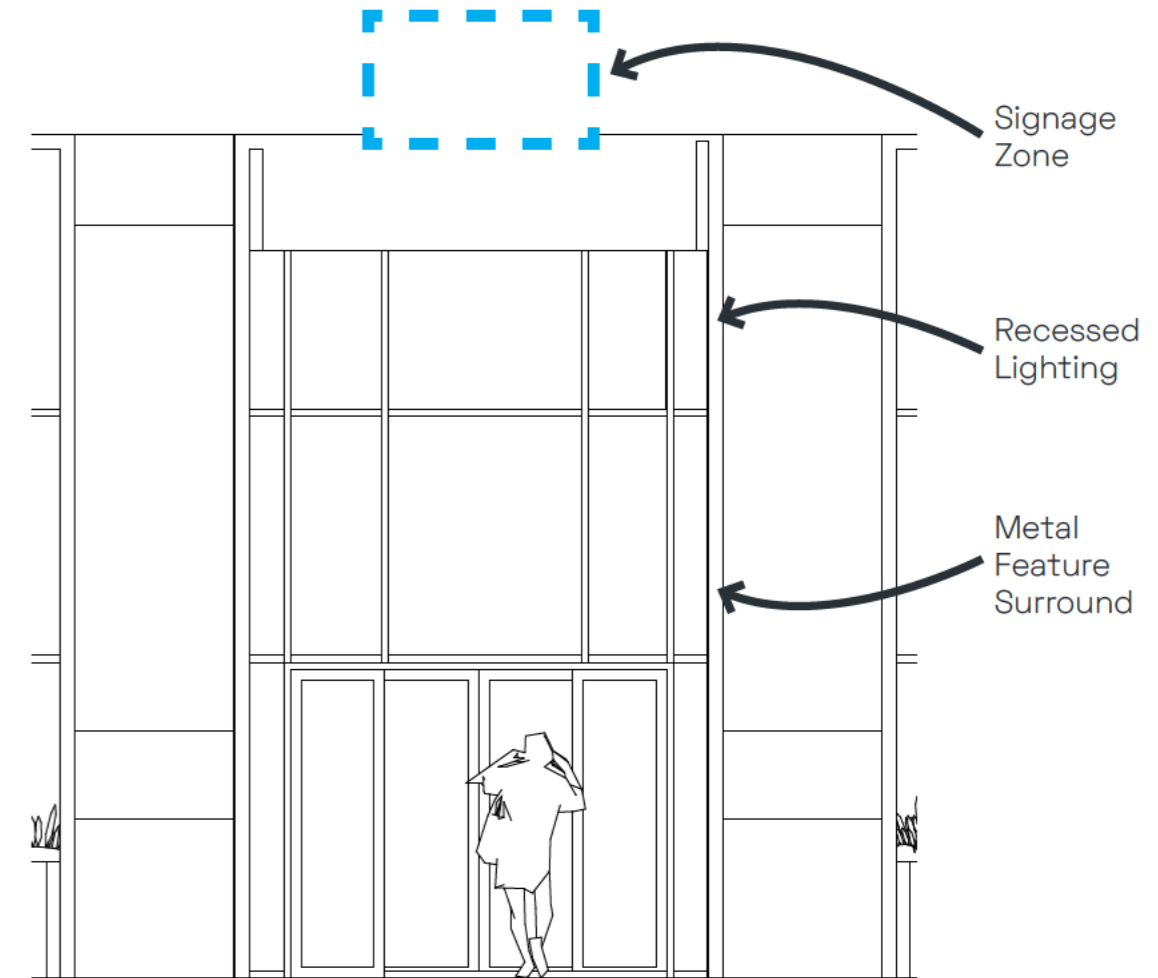
Metal Feature Surrounds (to existing colonnade)



Proposed Option 1 - Preferred



Proposed Option 2



2.0 Design Development

2.3 Plaza Landscaping Options

The landscaping concept aims to upgrade the existing planting located on the site, as well as proposing new planters and trees. Options explored small interventions and larger integrated planting.

Proposal options have made use of the existing routes through the plaza, and the overall biodiversity percentage to the site will increase with both options.

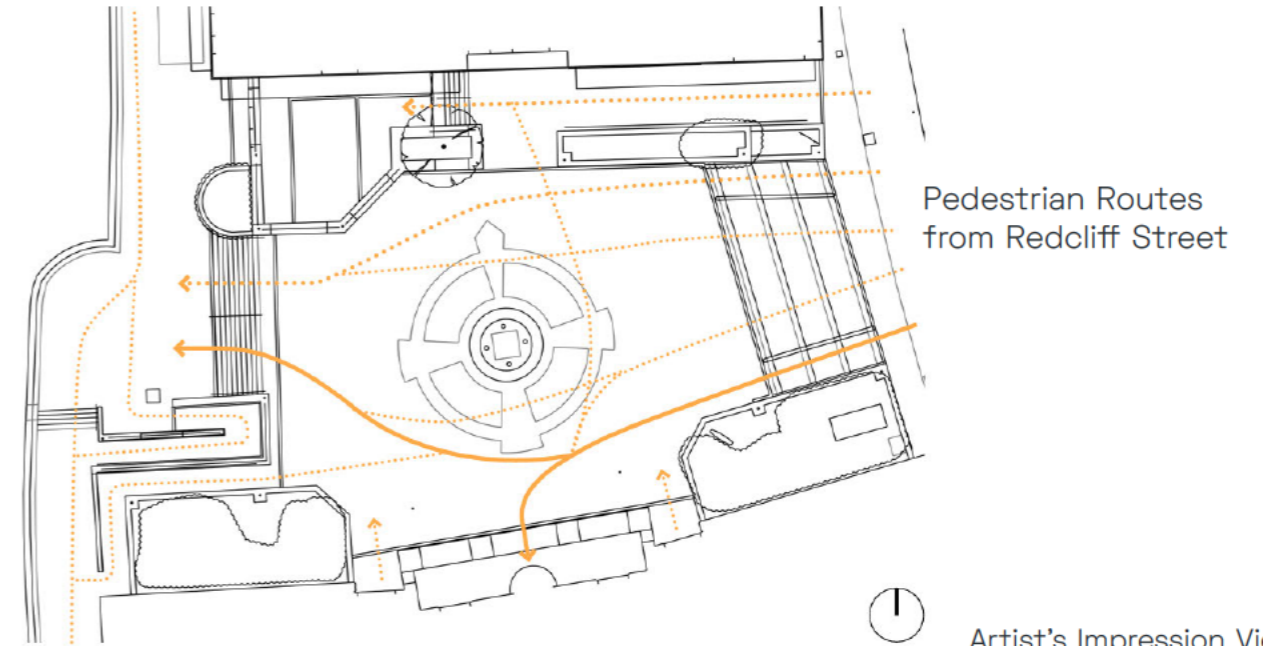
Key Design Moves:

- Integration of seating & planting
- Proposed trees
- Key views to remain
- Plaza routes to waters edge from Redcliff Street to remain

Existing Plaza External Finishes:
Obelisk & Key View toward Church of St Thomas



Existing Routes through Plaza



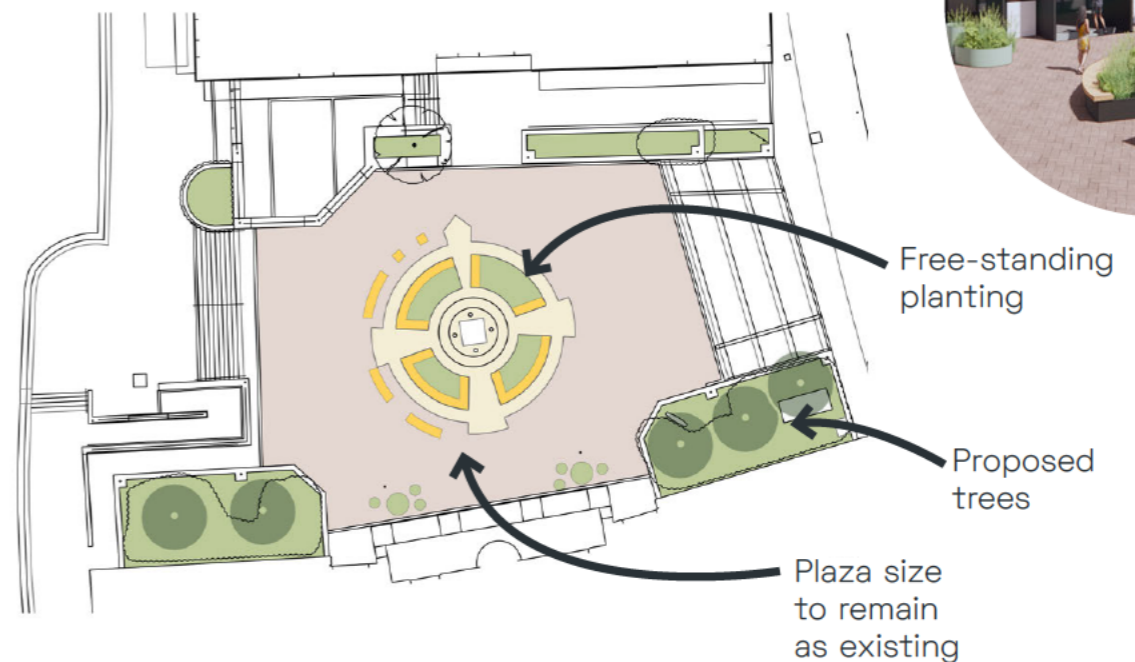
Pedestrian Routes from Redcliff Street



Artist's Impression View for illustrative purposes only.



Proposal



Free-standing planting

Proposed trees

Plaza size to remain as existing

2.0 Design Development

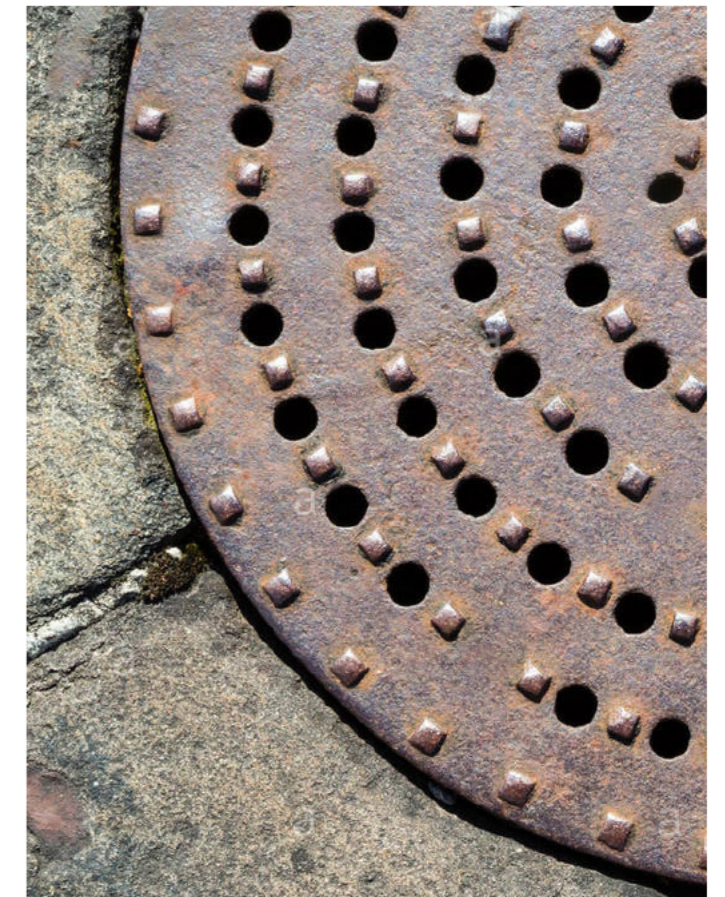
2.4 Heritage Context

Bristol's Historic Harbourside and the industrial maritime history have been key inspirations for the entrance materiality at Redcliff Quay.

We have looked to the historic Redcliff harbourside for inspiration when considering new external materials. Dark grey metal was a prominent material when Redcliff's functioned as a working harbour. Many of these materials are still visible today.

The entrance design at Redcliff Quay is inspired by this; we have introduced a contemporary intervention using the dark grey metal inspired by the Heritage context.

Exterior Concept References showing industrial history:



The photographs above show inspiration for the entrance materiality from around the Redcliff Conservation Area & Site.

2.0 Design Development

2.5 External Materiality

Proposed Entrance Finishes:
Contemporary intervention based on location's heritage. Feature dark grey metal entrance

The proposed feature entrance colour is to be dark grey to match the proposed windows, doors & curtain walling frames.

For proposed fenestration, refer to Redcliff Quay Planning Application 1 Reference: S62A/2024/0065

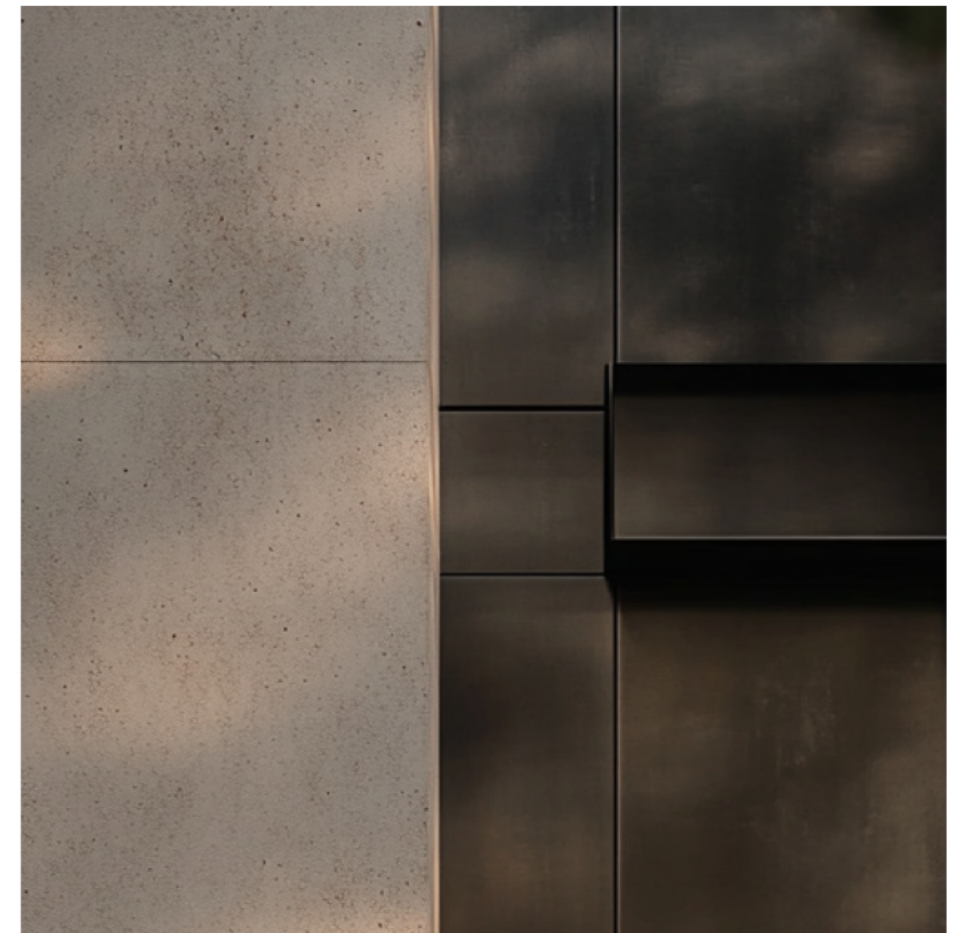
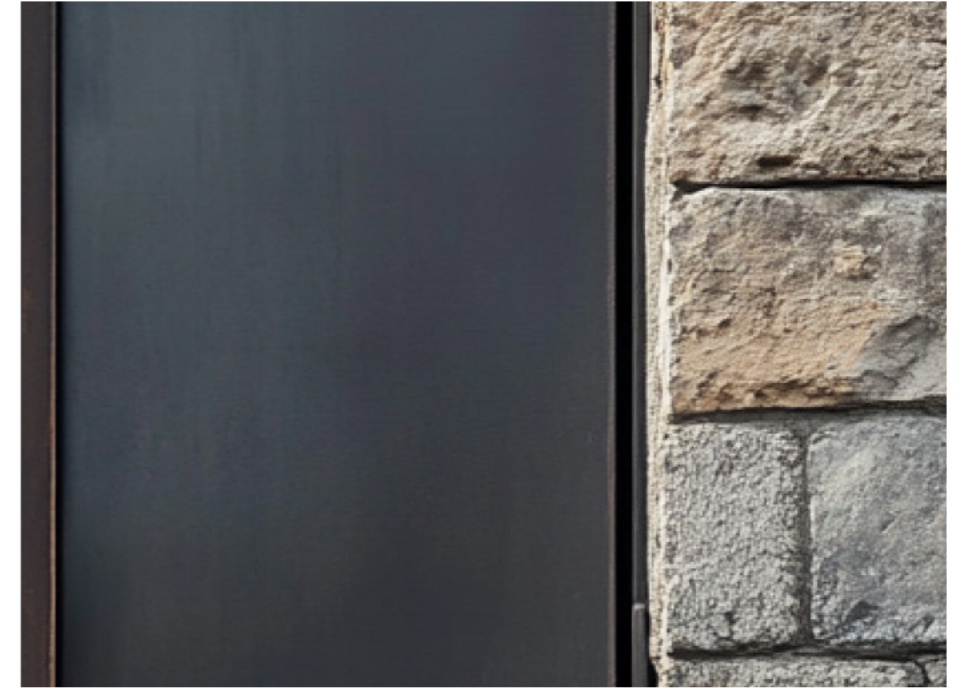
Proposed Metal Finishes
in Dark Grey



Existing Stone
Effect Cladding



Proposed Feature Surround



3.0 Proposals



3.0 Proposals

3.1 Strategy

ENTRANCE

New feature metal frames to the existing colonnade entrance openings are proposed to enhance the elevation. Influence from the surrounding Conservation Area & Harbourside inspires the materiality of dark grey metal, inducing the area's industrial maritime history. The proposed feature entrance activates the facade elevation, forming a welcoming arrival to the building and creating interest across the plaza.

LANDSCAPE

The proposal provides a gathering place, celebrating the key views across the site from the obelisk. Proposed trees and upgraded planting with proposed seating and planters across the plaza is a positive intervention to the entrance. The route to the continual Harbourside path and the key view from across the Floating Harbour is maintained.

ROOF

A replacement roof build-up and replacement ductwork is proposed.

BALCONIES AND TERRACES

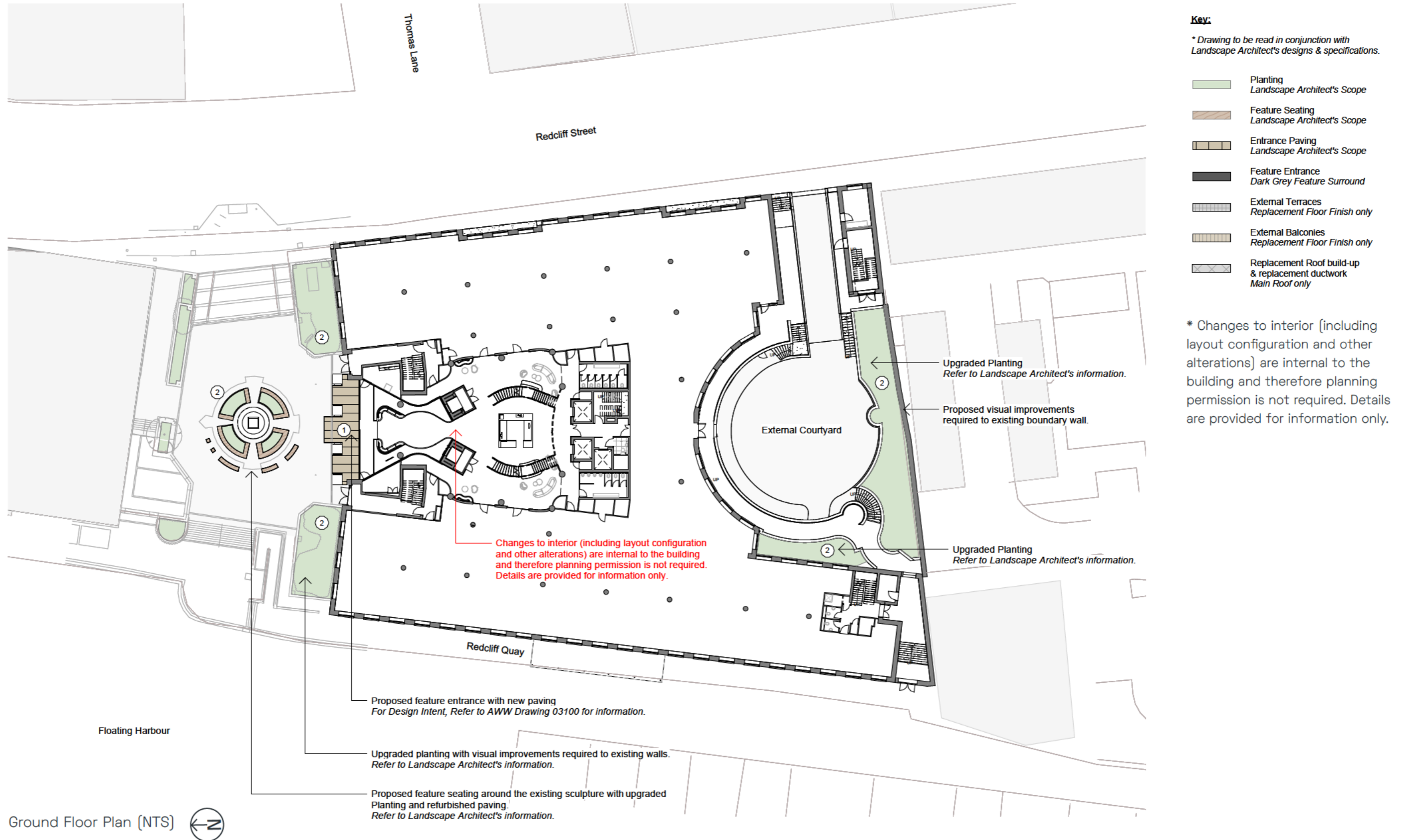
External Balconies are to remain as existing, with replacement composite decking to all balconies across the building (this includes balconies fixed back to the facade & balconies that are set-back behind the brickwork). External terraces located in the rear courtyard will take the same approach and are to remain as existing, with replacement floor finishes.



Redcliff Quay Proposed Entrance - Artist's Impression View for illustrative purposes only.

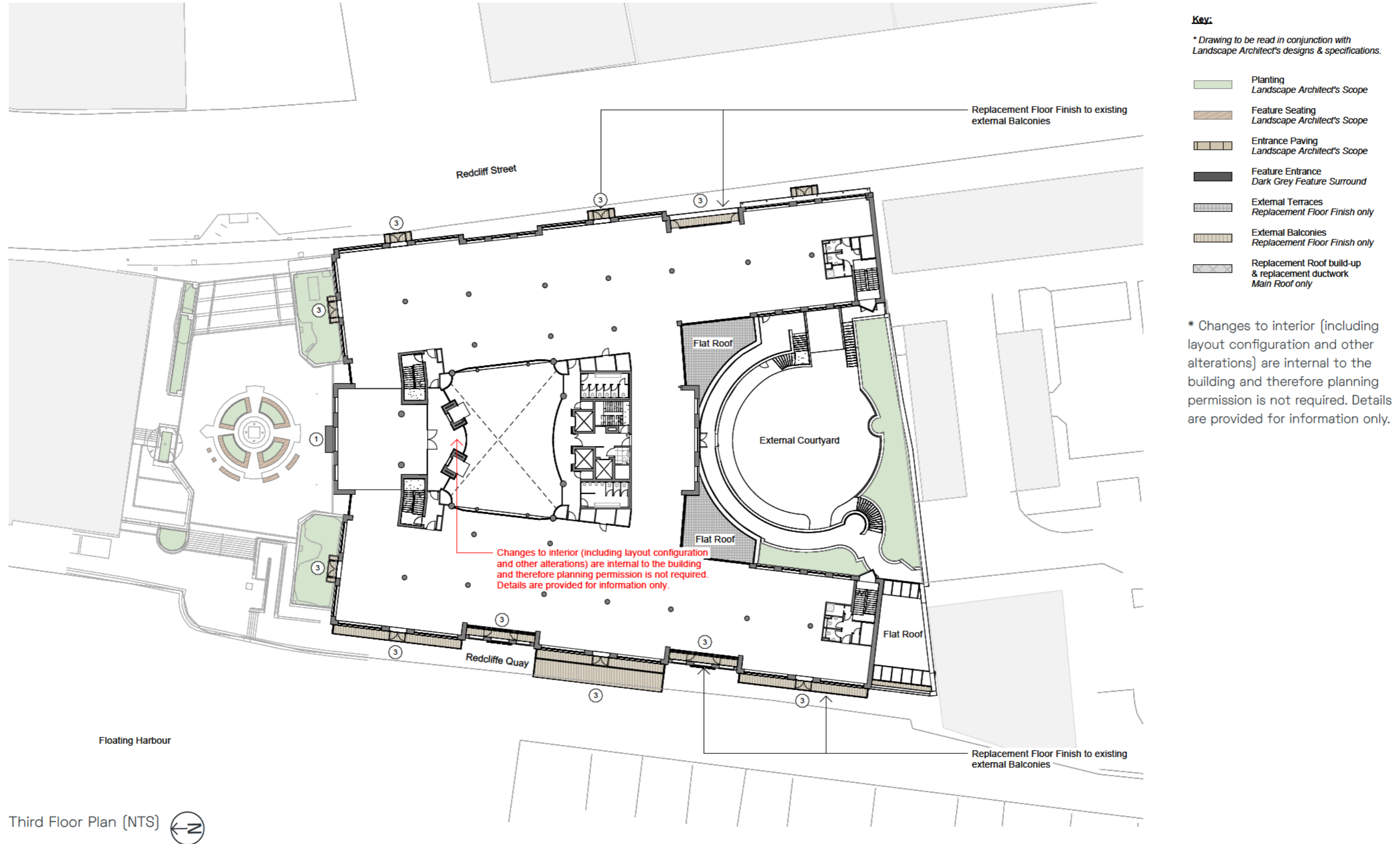
3.0 Proposals

3.2 Typical Ground Floor Plan



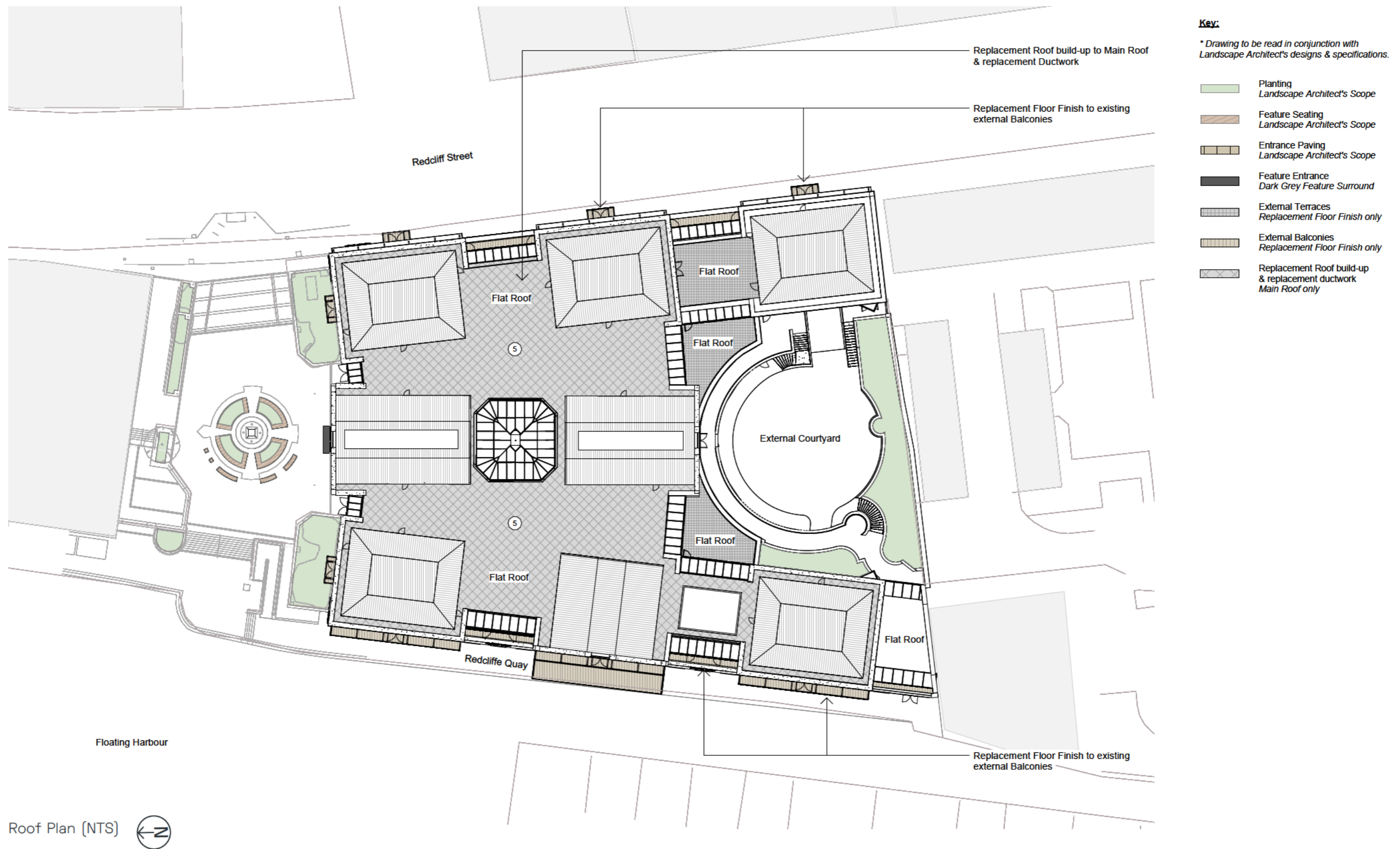
3.0 Proposals

3.3 Typical Upper Floor Plan



3.0 Proposals

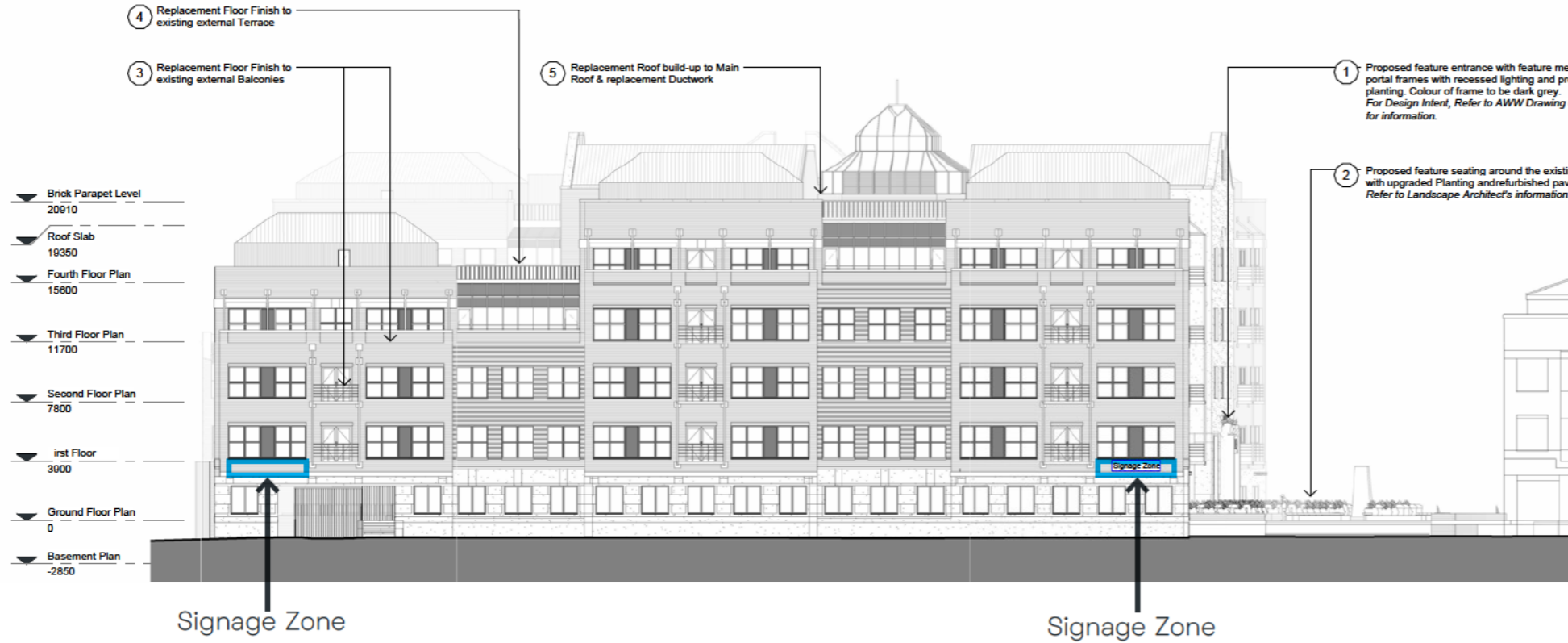
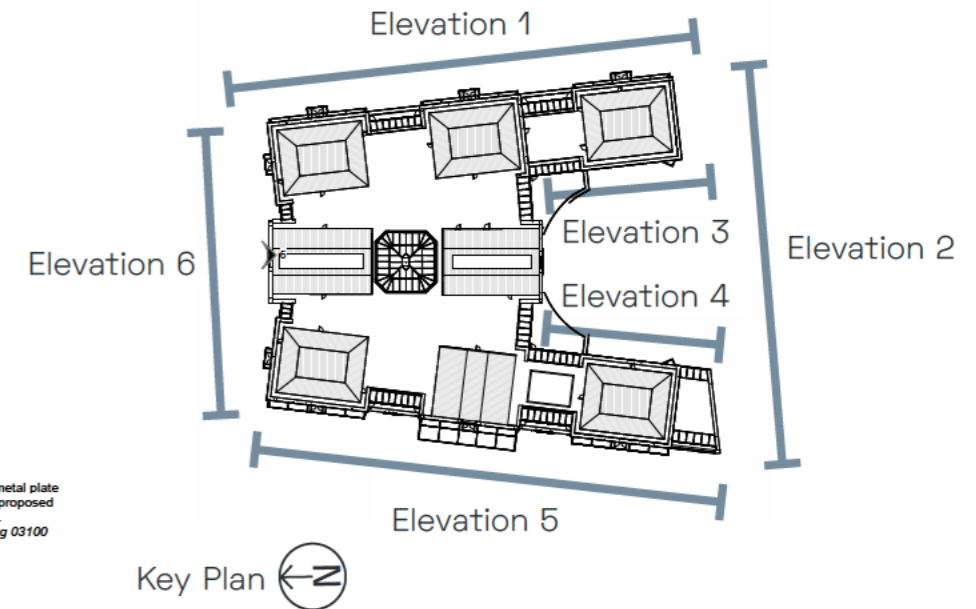
3.4 Typical Roof Plan



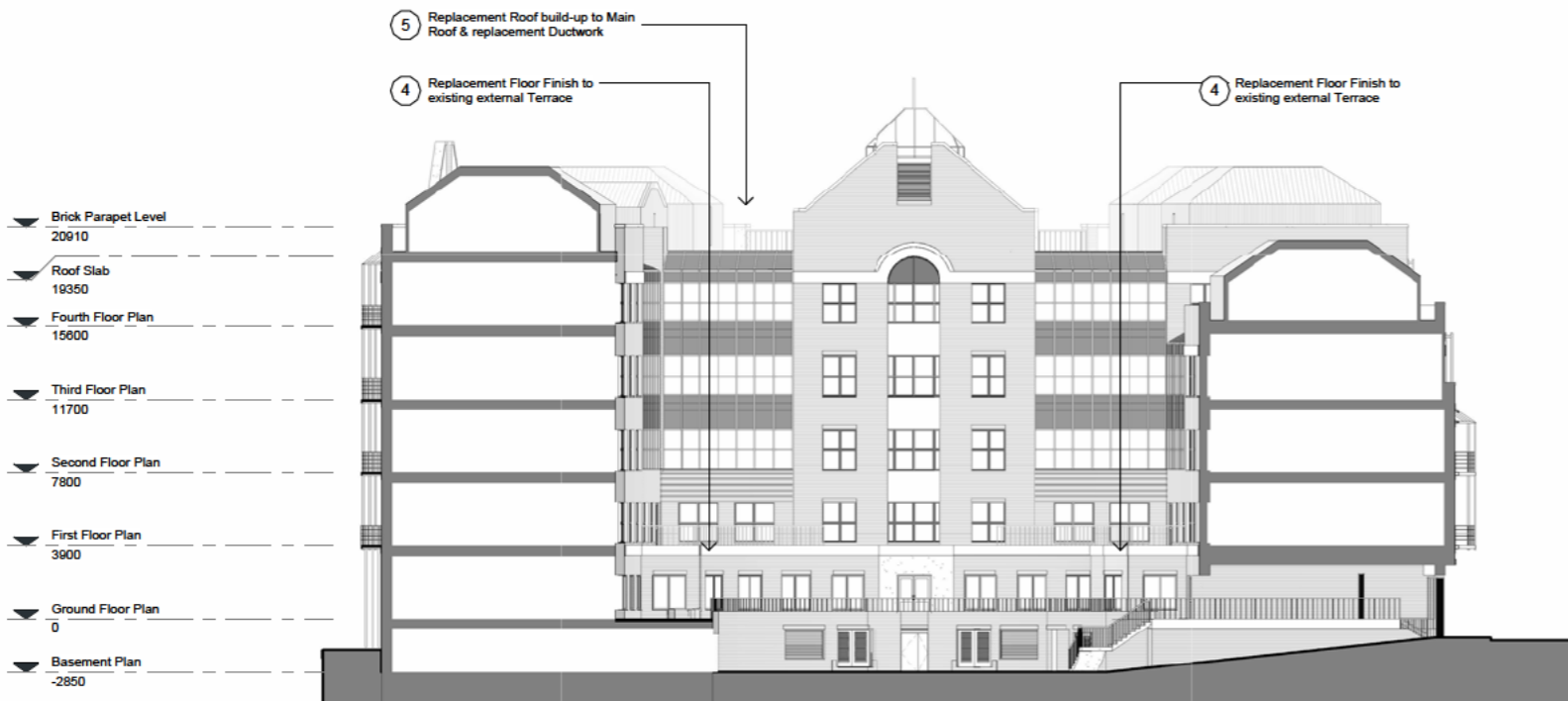
- Key:**
- * Drawing to be read in conjunction with Landscape Architect's designs & specifications.*
- Planting
Landscape Architect's Scope
 - Feature Seating
Landscape Architect's Scope
 - Entrance Paving
Landscape Architect's Scope
 - Feature Entrance
Dark Grey Feature Surround
 - External Terraces
Replacement Floor Finish only
 - External Balconies
Replacement Floor Finish only
 - Replacement Roof build-up & replacement ductwork
Main Roof only

3.0 Proposals

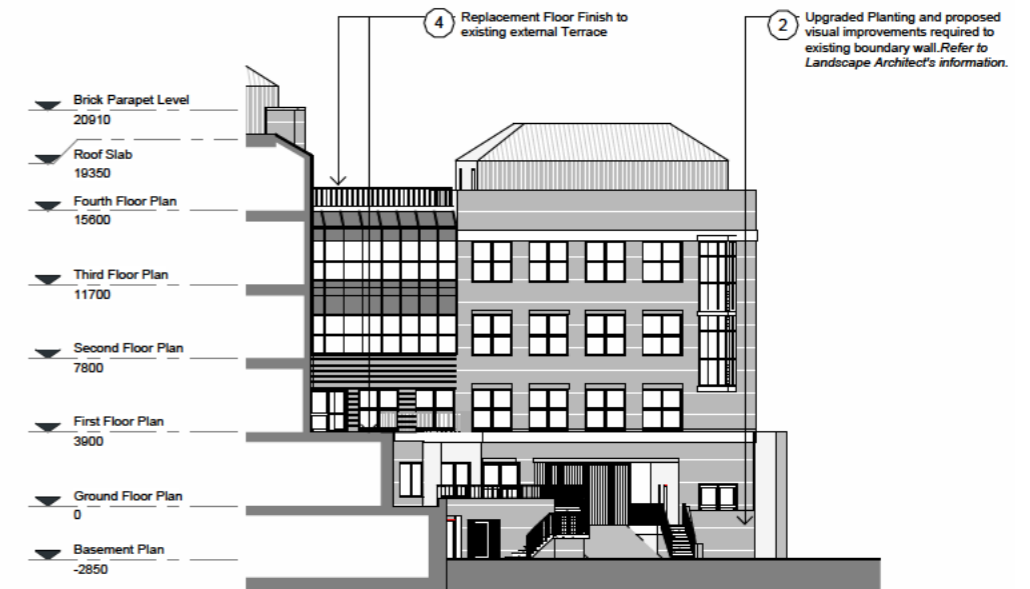
3.5 Proposed Elevations



Elevation 1 - Redcliff Street



Elevation 2 - Courtyard



Elevation 3 - Courtyard

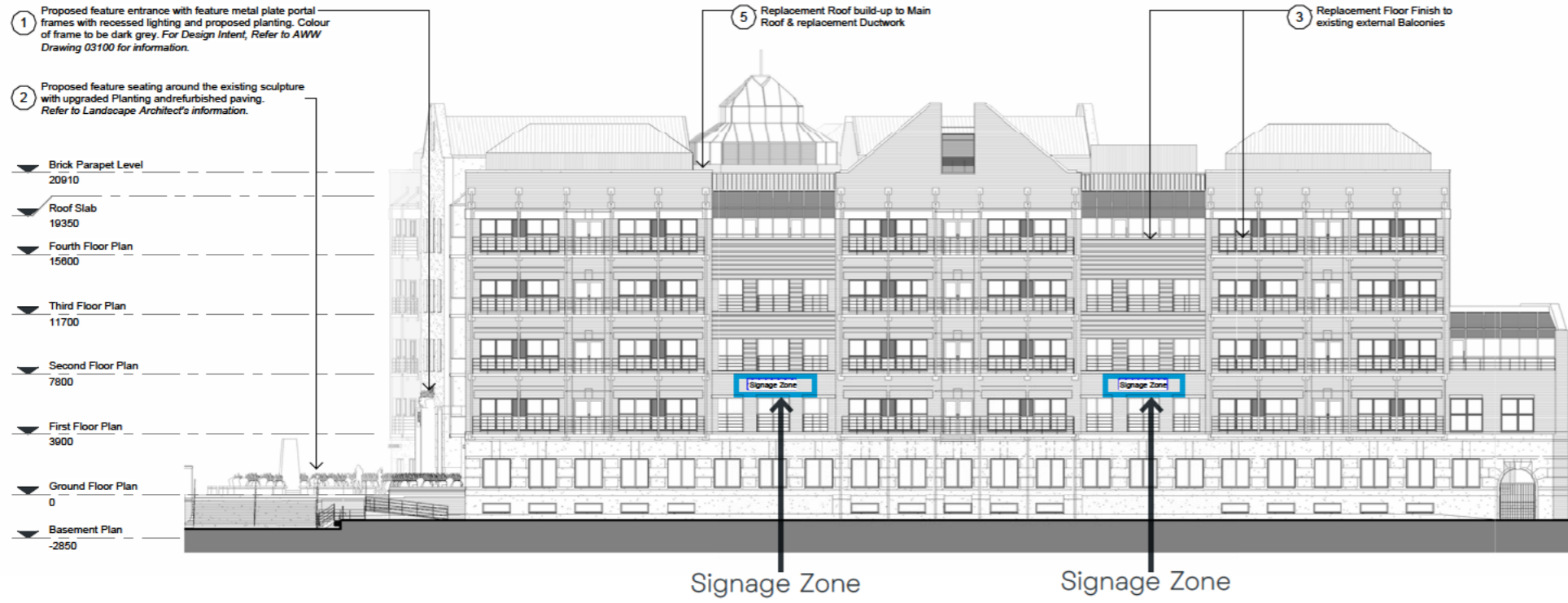
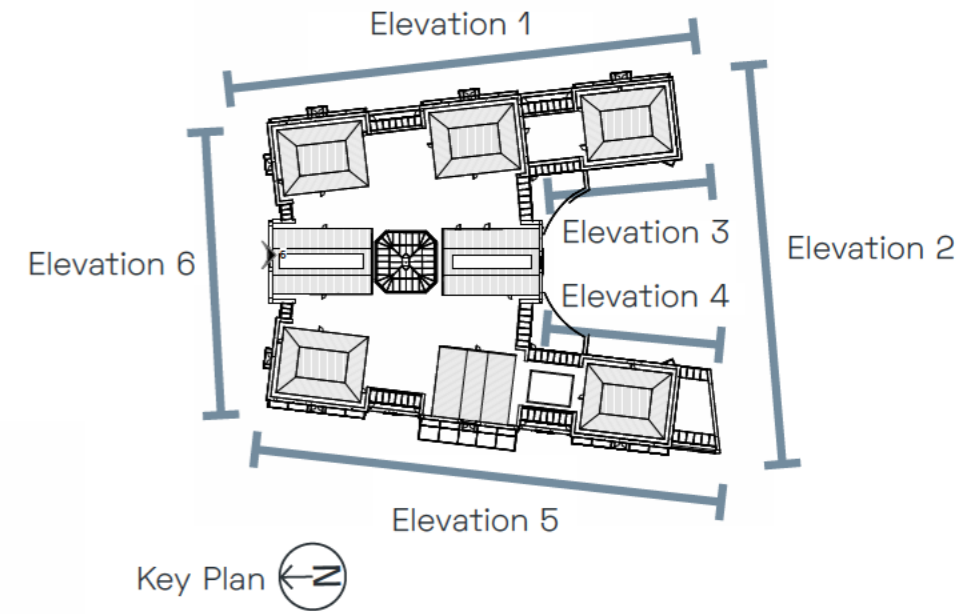
Notes:

* Changes to interior (including layout configuration and other alterations) are internal to the building, therefore planning permission is not required. Details are provided for information only.

- 1 Feature Entrance design comprises of feature metal plate portal frames with recessed lighting and proposed planting. Colour of frame to be dark grey with associated lighting.
- 2 Upgraded planting and proposed feature seating with planting around the existing obelisk sculpture.
- 3 External Balconies are to remain as existing, with replacement composite decking to all Balconies across the building (this includes Balconies fixed back to the facade & Balconies that are set-back behind the brickwork).
- 4 External Terraces are to remain as existing, with replacement composite decking.
- 5 The replacement Roof build-up is to the Main Roof only and includes minimal change in appearance and level. Replacement Ductwork proposed to the Main Roof.

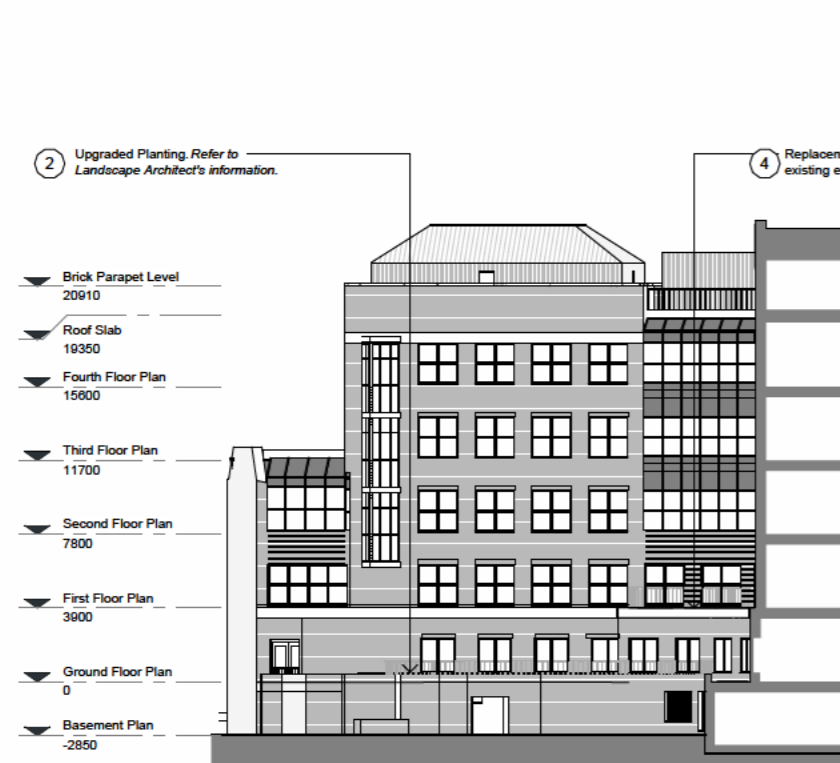
3.0 Proposals

3.5 Proposed Elevations



- Notes:**
- * Changes to interior (including layout configuration and other alterations) are internal to the building, therefore planning permission is not required. Details are provided for information only.
 - ① Feature Entrance design comprises of feature metal plate portal frames with recessed lighting and proposed planting. Colour of frame to be dark grey with associated lighting.
 - ② Upgraded planting and proposed feature seating with planting around the existing obelisk sculpture.
 - ③ External Balconies are to remain as existing, with replacement composite decking to all Balconies across the building (this includes Balconies fixed back to the facade & Balconies that are set-back behind the brickwork).
 - ④ External Terraces are to remain as existing, with replacement composite decking.
 - ⑤ The replacement Roof build-up is to the Main Roof only and includes minimal change in appearance and level. Replacement Ductwork proposed to the Main Roof.

Elevation 5 - Redcliff Quay



Elevation 4 - Courtyard



Elevation 6 - Plaza

Signage Zone

Signage Zone

Signage Zone

3.0 Proposals

3.6 Artist's Impression View
For illustrative purposes only.



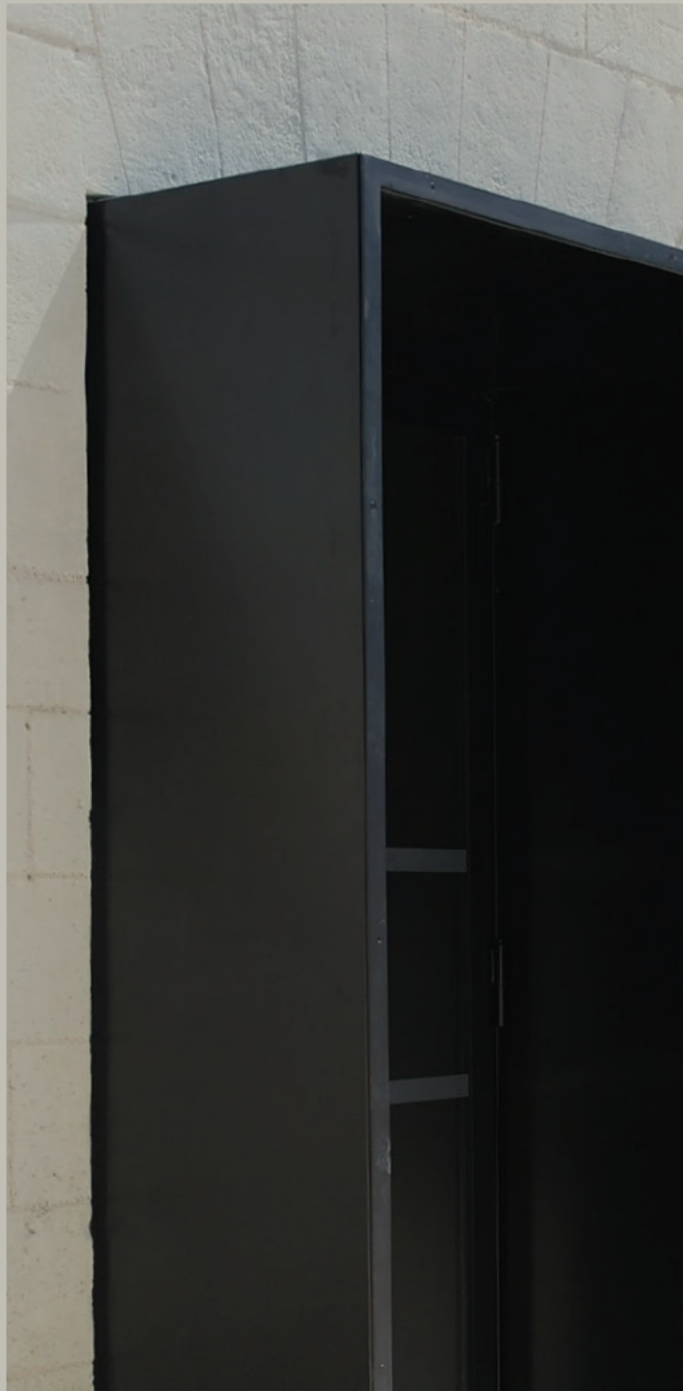
3.0 Proposals

3.7 Key Elevation

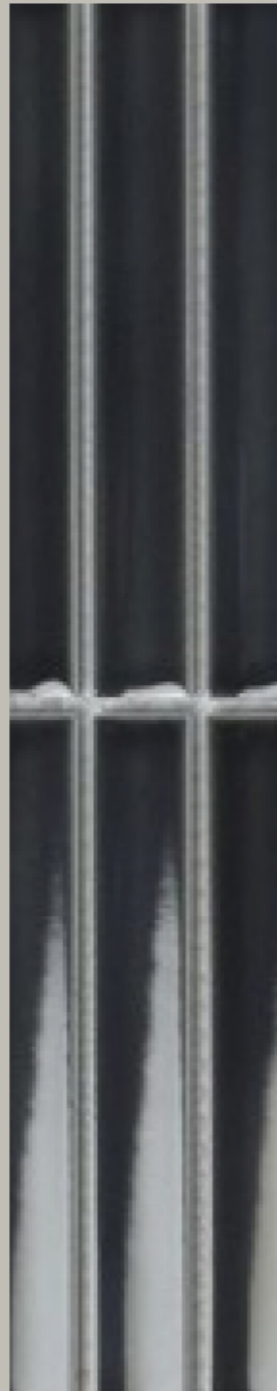


3.0 Proposals

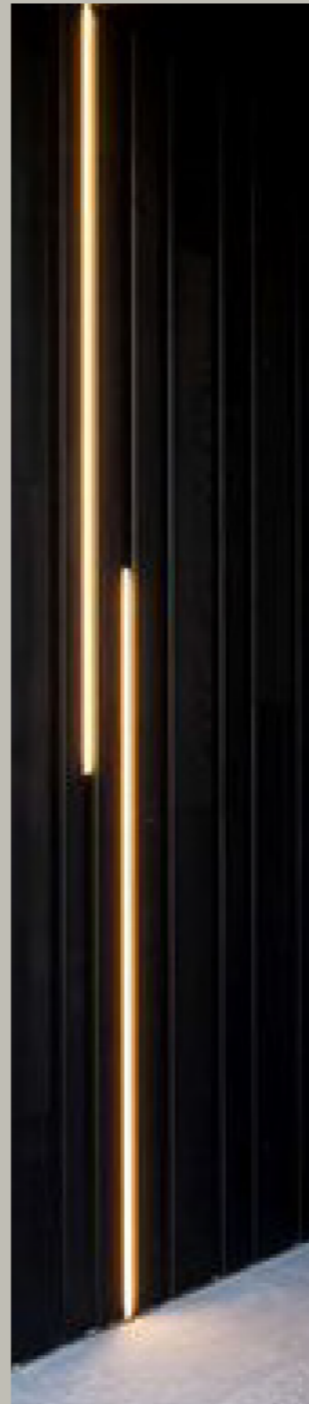
3.8 Entrance & Public Realm - Material Palette



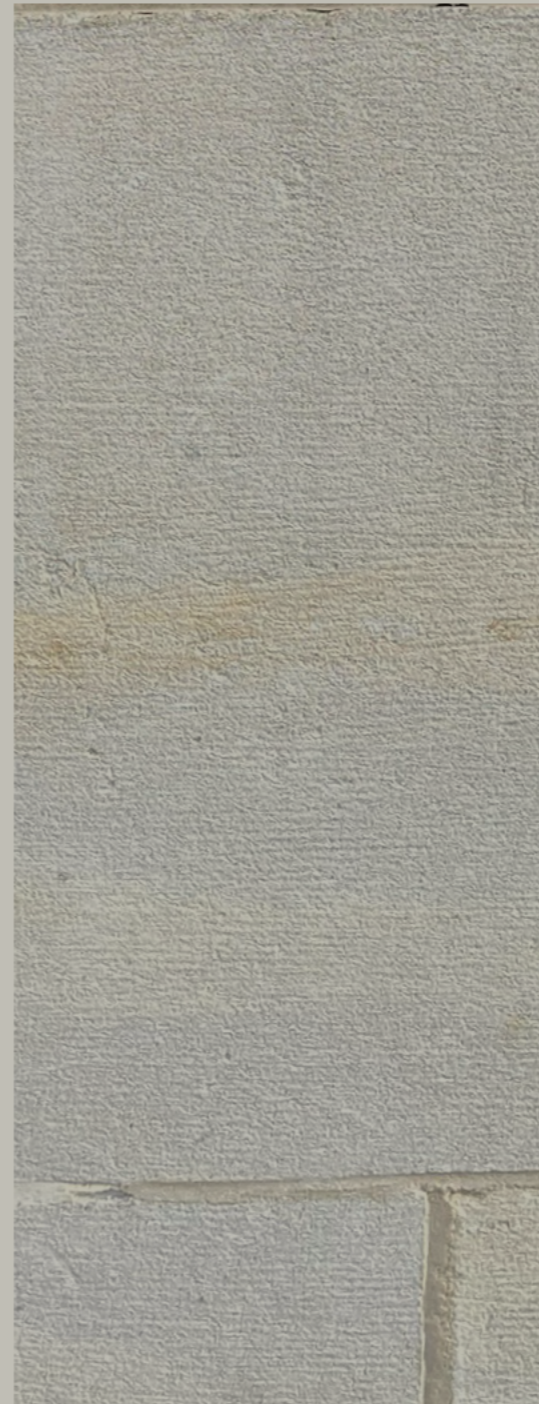
New portal frame to entrance



Feature tile finish above entrance



Feature recessed linear lighting



Existing stonework reconditioned



Metal planters with integrated seating

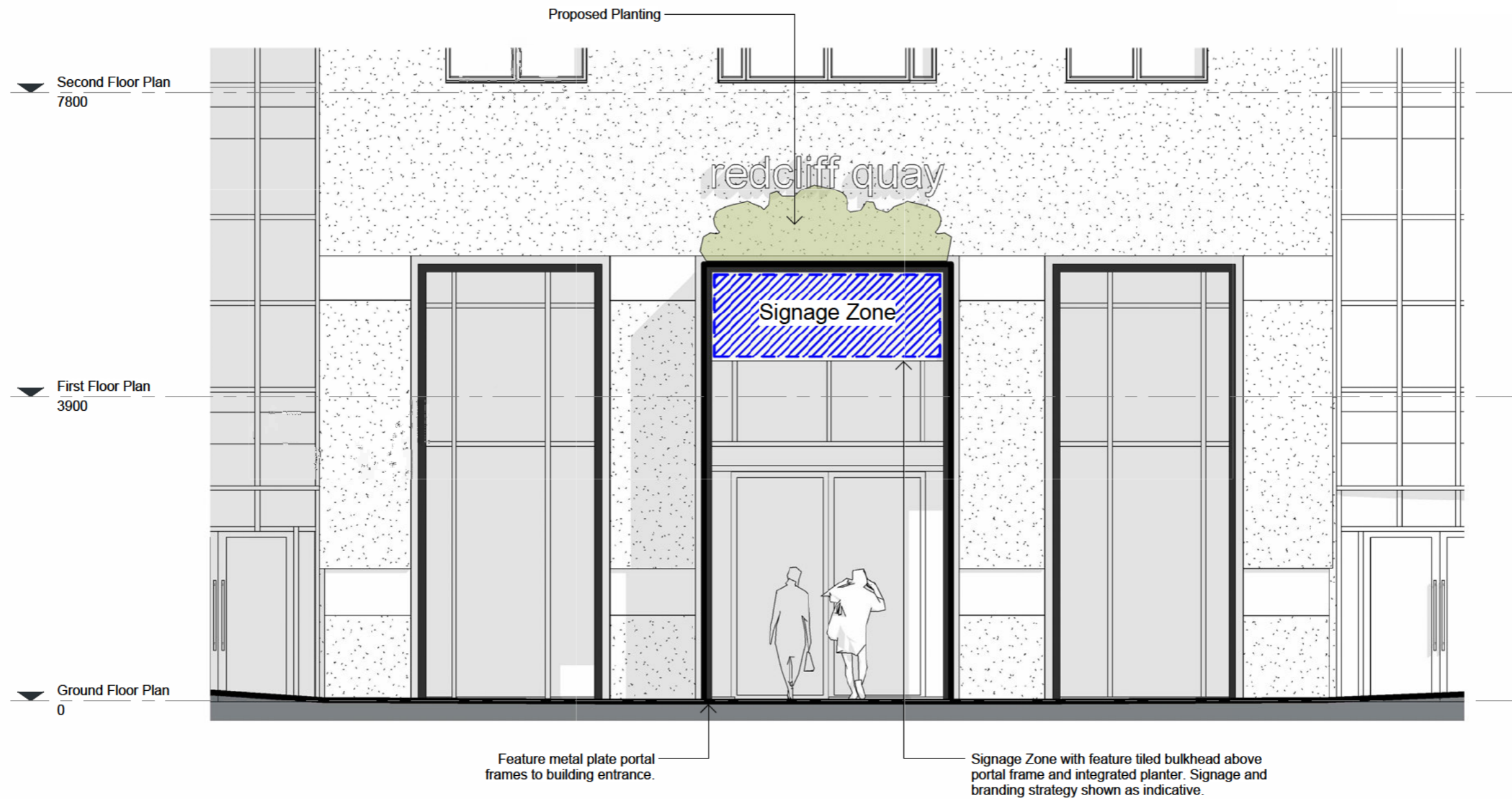


3.0 Proposals

3.9 Main Entrance Proposal



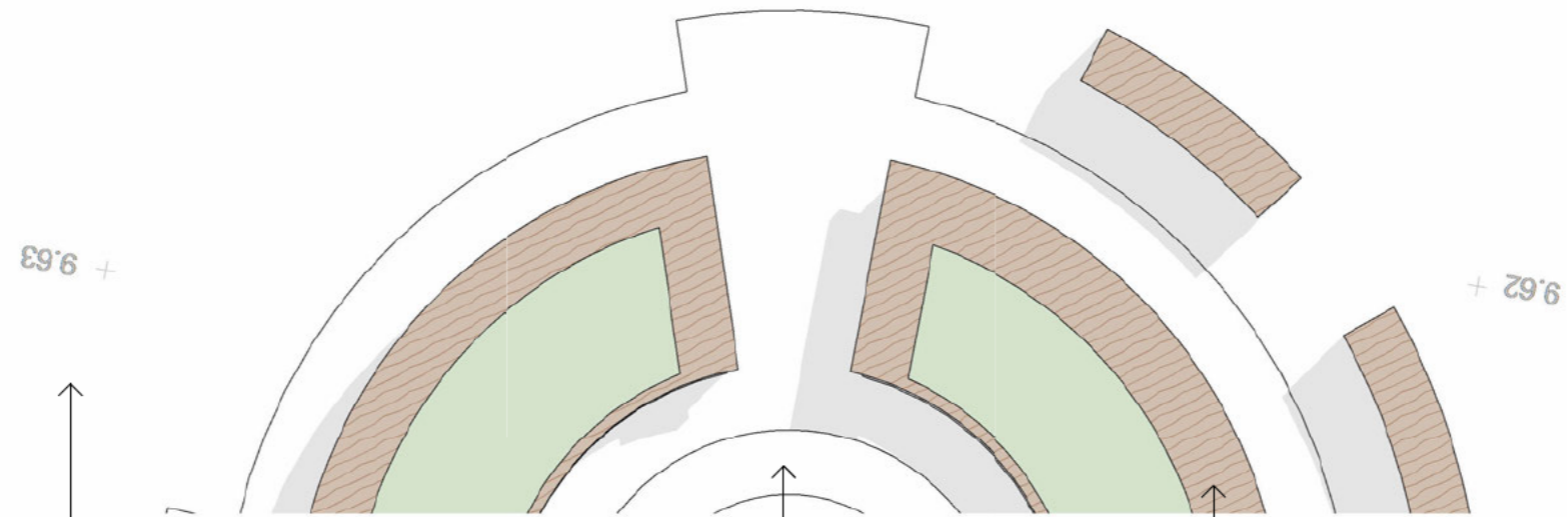
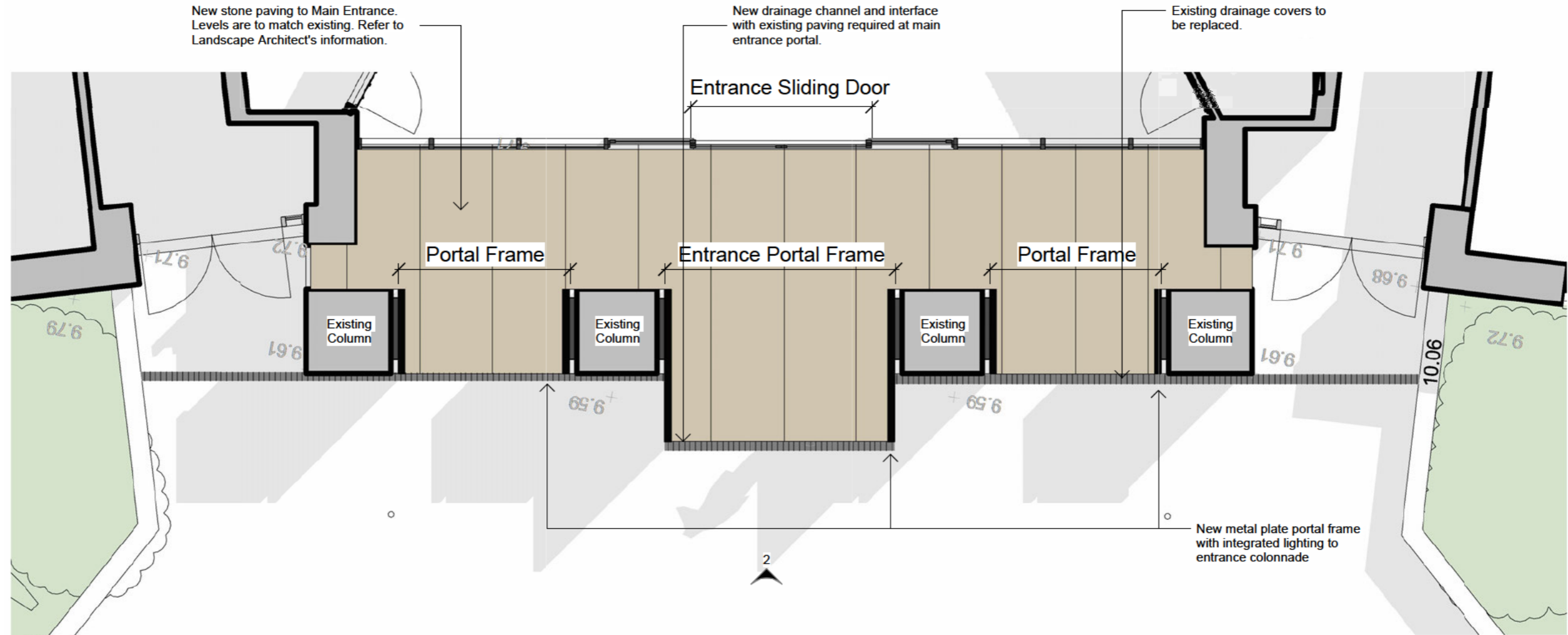
Artist's Impression View for illustrative purposes only.



Typical Entrance Detail Elevation (NTS)

3.0 Proposals

3.9 Main Entrance Proposal



Existing paving to be reset where required and gaps refilled. Refer to Landscape Architect's Information.

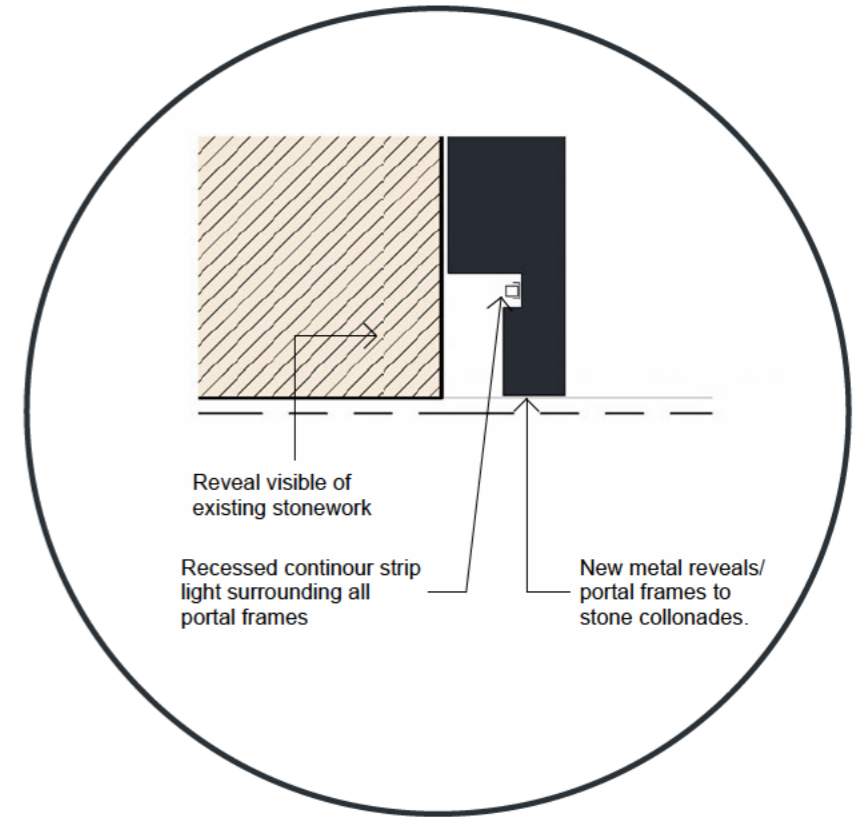
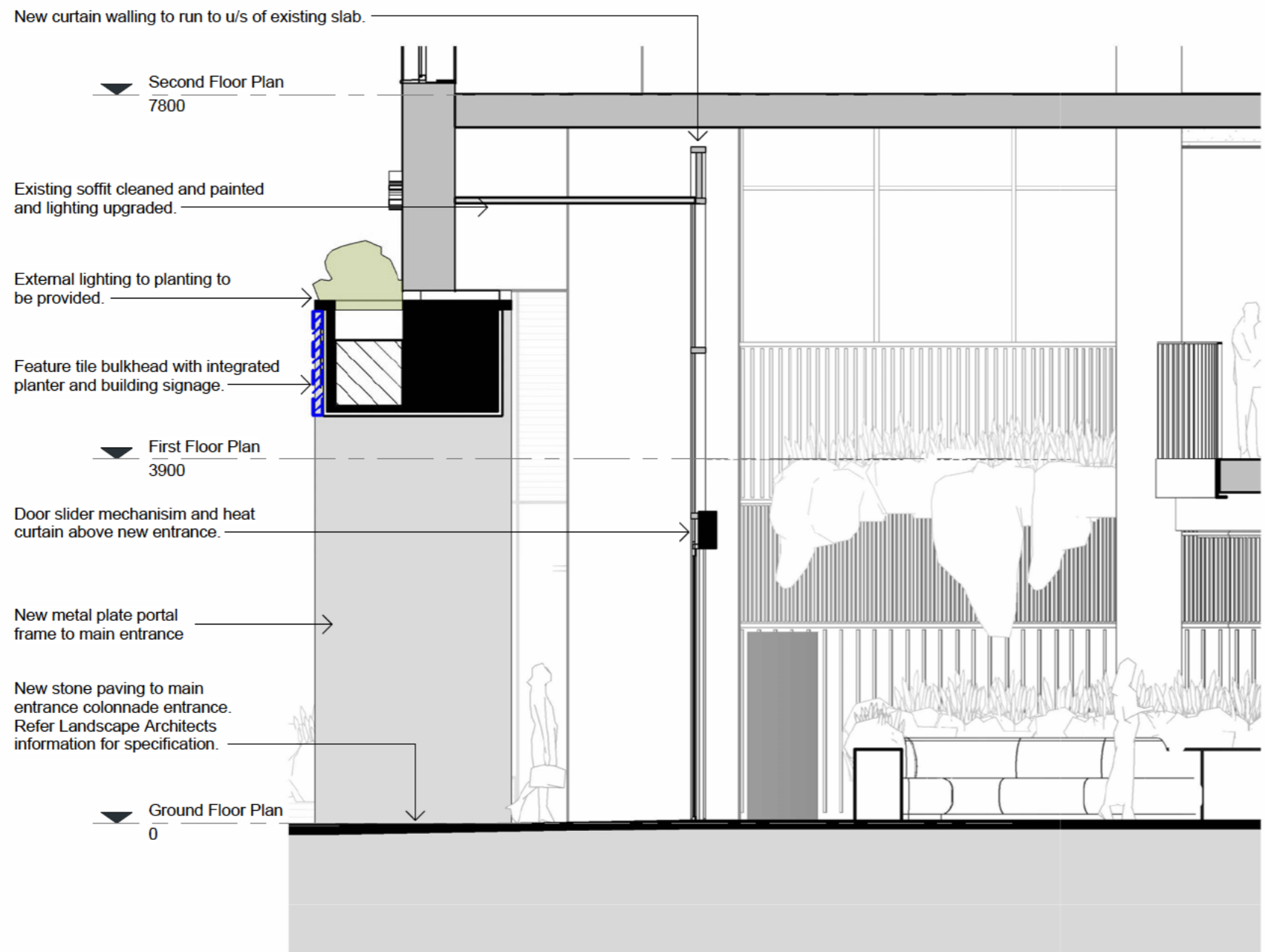
Existing Public Realm Plinth & Obelisk

Proposed feature seating around the existing sculpture with upgraded Planting and refurbished paving.

Typical Entrance Detail Plan (NTS)

3.0 Proposals

3.9 Main Entrance Proposal



Indicative Lighting Detail
Main Entrance Feature

Typical Entrance Detail Section (NTS)



3.0 Proposals



3.10 Balconies & Terraces

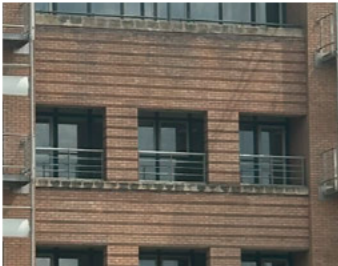

External balconies are to remain as existing, with replacement composite decking to all balconies across the building (this includes balconies fixed back to the facade & balconies that are set-back behind the brickwork). External terraces located in the rear courtyard will take the same approach and are to remain as existing, with replacement floor finishes.

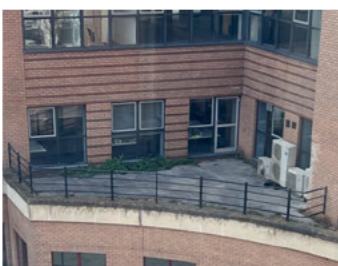
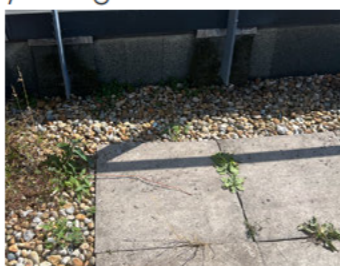
Key:

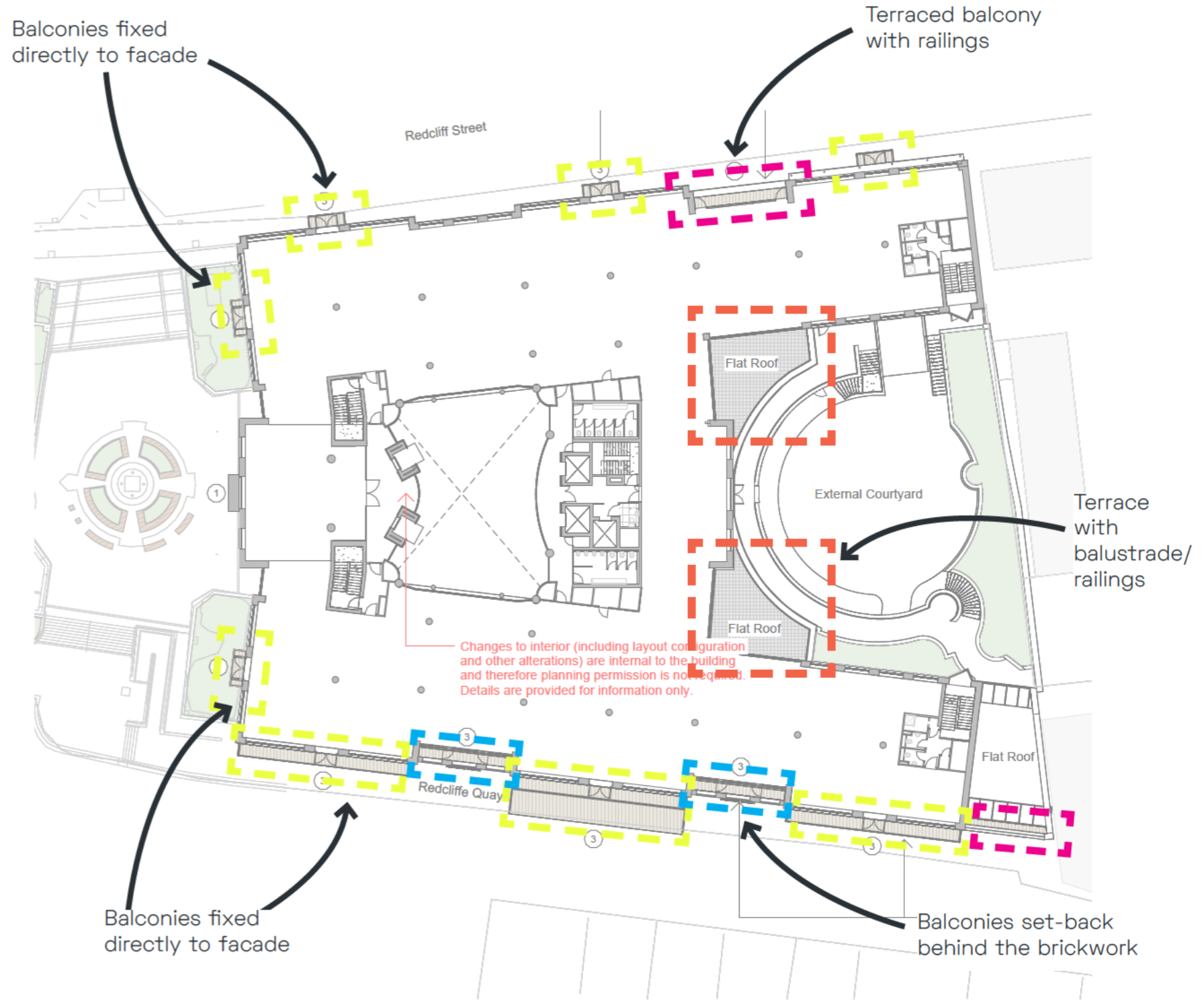
- █ Balconies fixed directly to facade



- █ Terraced balcony with railings



- █ Balconies set-back behind brickwork



- █ Terrace with balustrade/railings



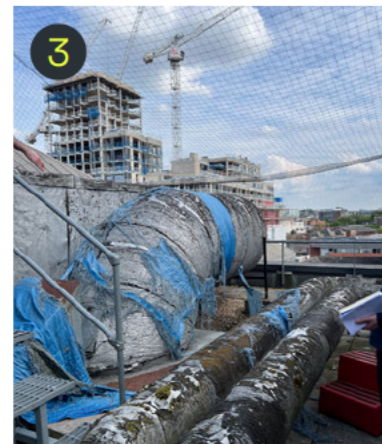
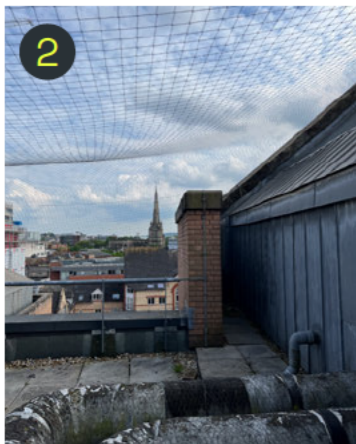
Typical Upper Level Floor Plan showing all balcony/terrace types (NTS)


3.0 Proposals

3.11 Roof Works

The roof build-up will be replaced. The depth will increase by circa. 150mm, to upgrade the roof's performance. This will have a minimal visual impact to the building elevations, as the ductwork cannot be viewed from ground level.

There is currently existing ductwork to the main roof which will be replaced on like-for-like basis.



Aerial Plan View of Existing Roof 

Examples views of replacement ductwork finish (Sizing does not reflect proposals)



3.0 Proposals

3.12 Entrance & Public Realm - Landscape Plan

Existing lights fittings to be replaced. Appearance to remain the same.



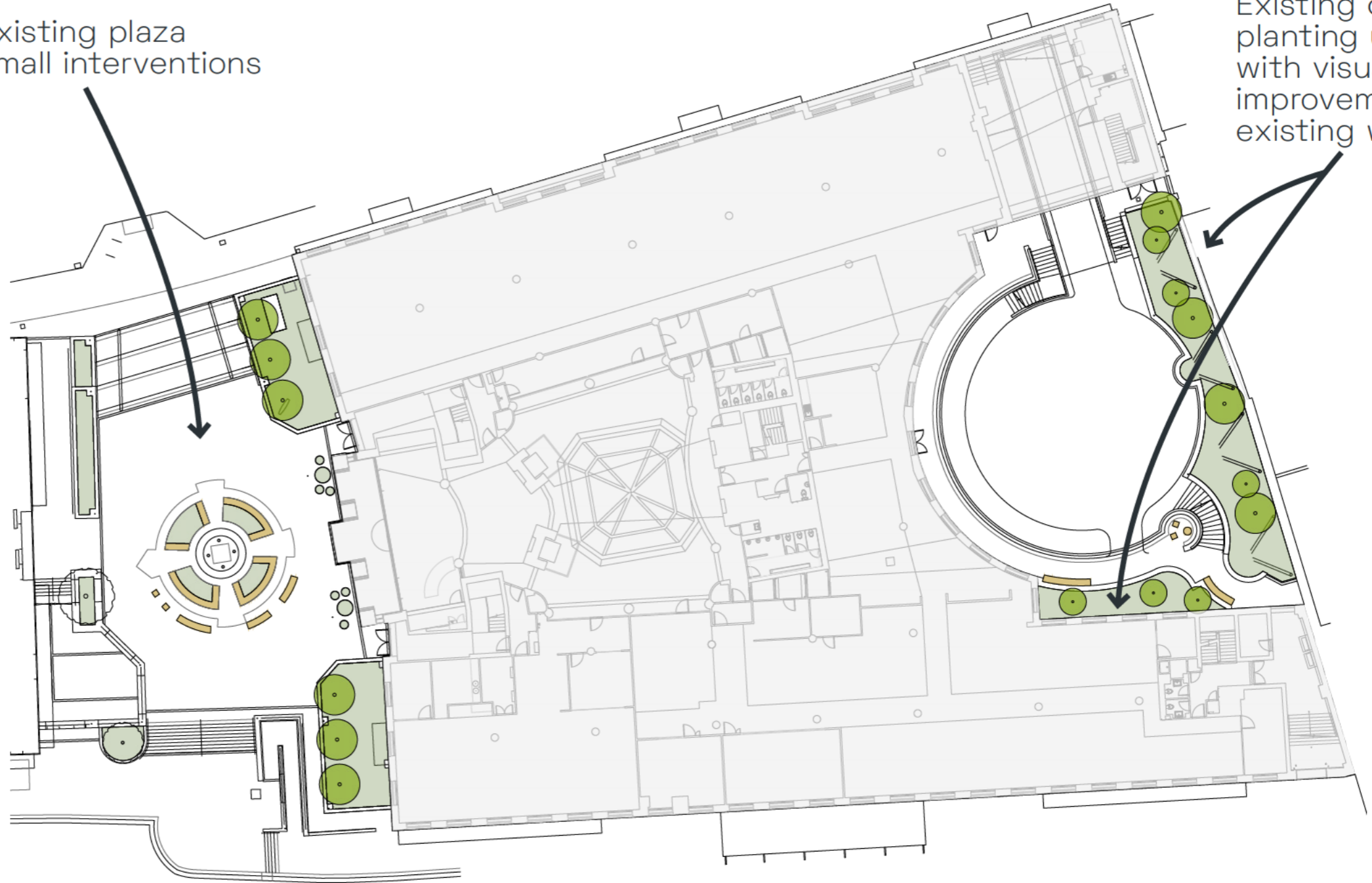
Typical proposed wall-mounted lights



Typical proposed floor-mounted uplights to Sculpture



Existing plaza small interventions



Existing courtyard planting upgrades with visual improvements to existing wall

Typical Landscaping Plan (NTS)

3.0 Proposals

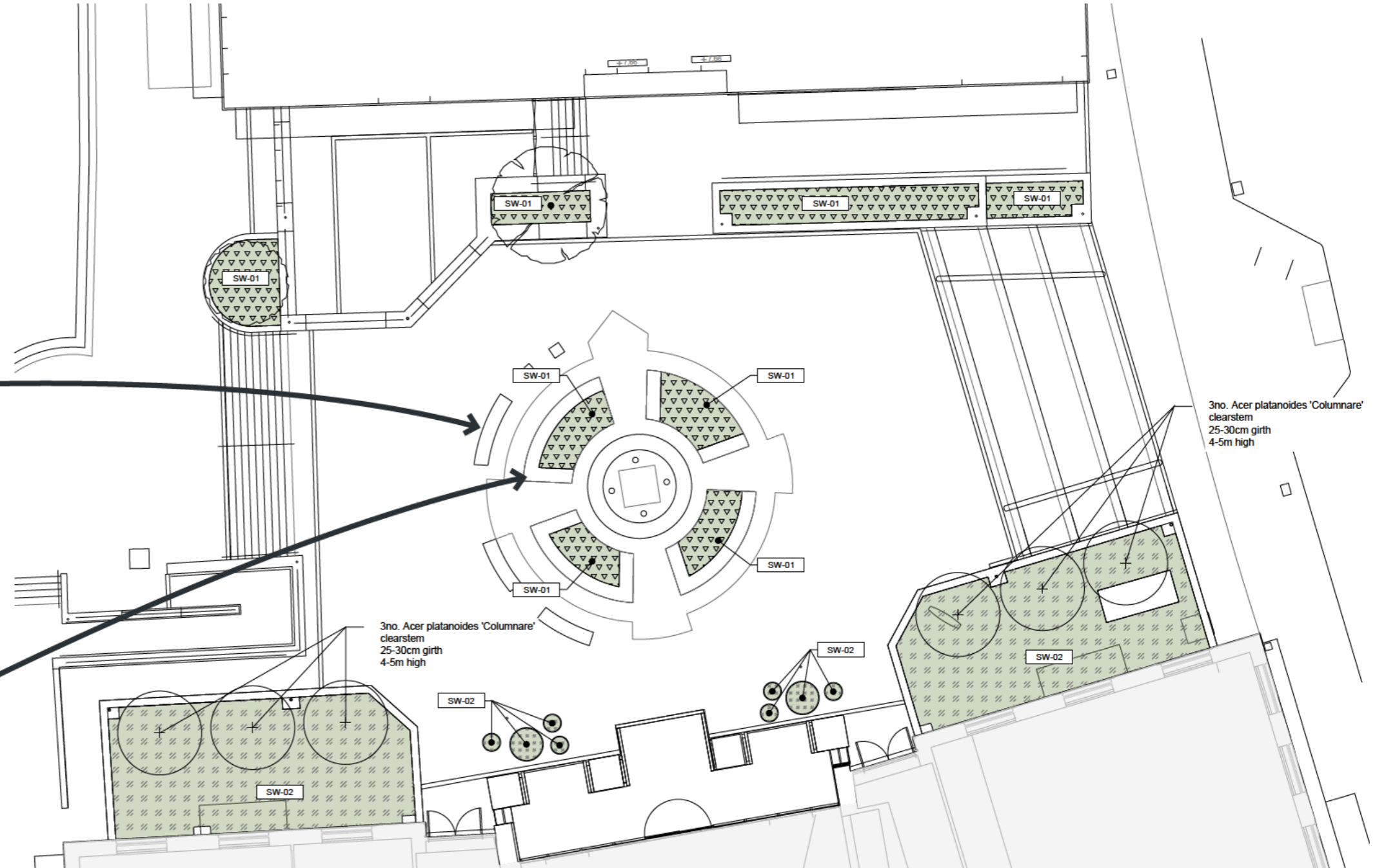
3.12 Entrance & Public Realm - Landscape Plan

Precedents;

New seating



New planters with integrated seating



Detail Landscaping Plan of Plaza proposal (NTS)



KEY

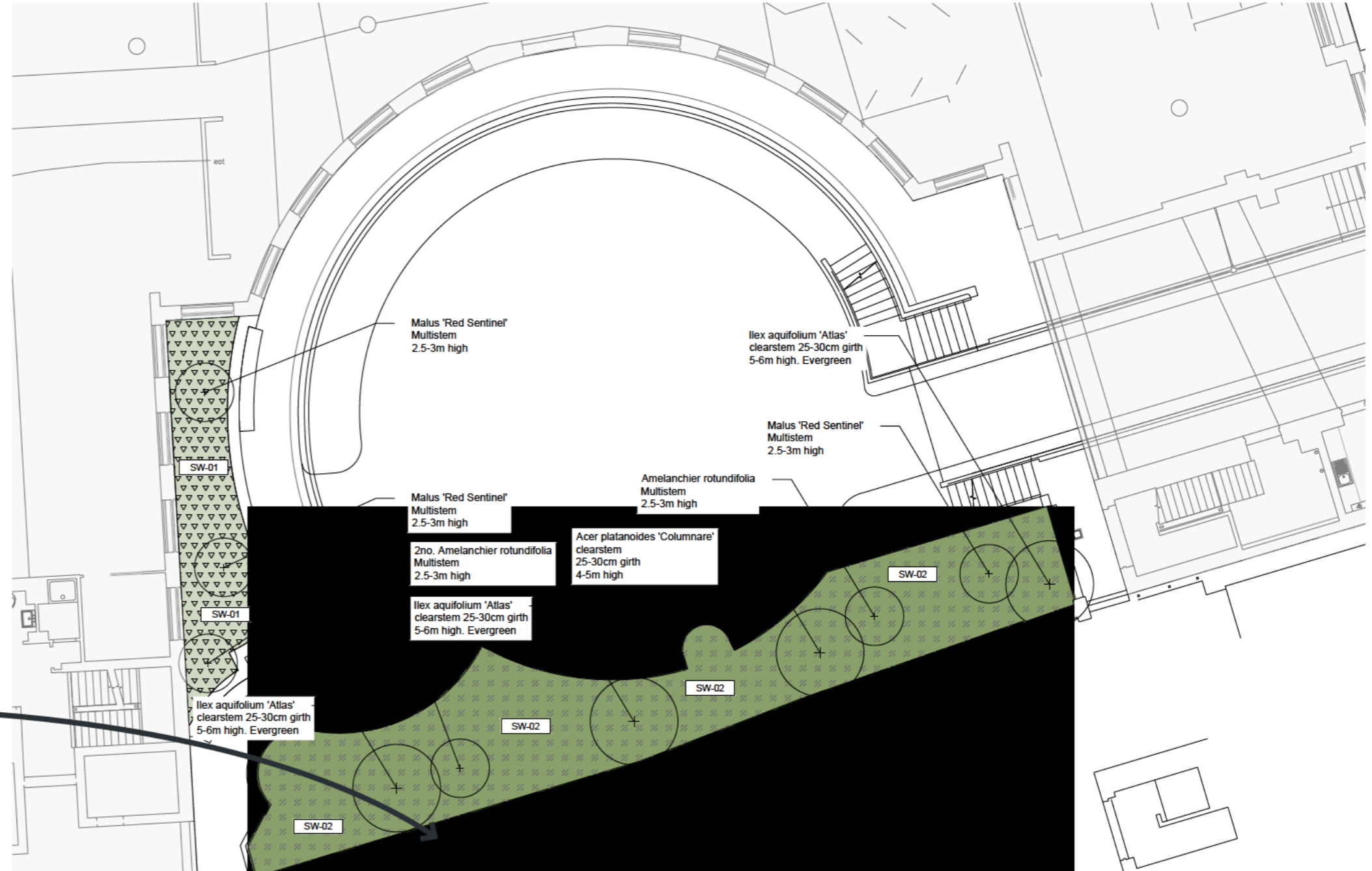
	Existing Trees		Coastal Garden. Flowering Shrub and Perennial.		Woodland edge. Flowering Shrub and Perennial Shady Mix		Lobby planting ground floor.		Lobby planting first floor.
	Proposed trees		Key plants: Anemone x hybrida 'Honorine Jobert' Asterina maritima Santolina chamaecyparissus Salvia 'Blue Spire' Olearia x haastii Stipa gigantea Stipa calamagrostis Artemisia 'Powis Castle'		Key plants: Geranium macrorrhizum 'Ingwersen' Rodgersia aesculifolia Carex Evergreen Heuchera 'Plum pudding' Vinca minor Euphorbia amygdaloides Dryopteris lepidopoda Dryopteris marginalis		Key plants: Monstera deliciosa Spathiphyllum wallisii Begonia Rex Begonia 'Tiger Paws' Ficus elastica 'Robusta' Nephrolepis exaltata Aspidistra elatior Oxalis triangularis		Key plants: Epipremnum aureum Chlorophytum comosum Hedera helix Tradescantia zebrina

3.0 Proposals

3.12 Entrance & Public Realm - Landscape Plan

Precedents;

New planting and visual improvements to existing boundary wall.



Detail Landscaping Plan of Plaza proposal (NTS)



KEY

	Existing Trees		Coastal Garden. Flowering Shrub and Perennial. SW-01		Woodland edge. Flowering Shrub and Perennial Shady Mix SW-02		Lobby planting ground floor. SW-03		Lobby planting first floor. SW-04
	Proposed trees		Key plants: Anemone x hybrida 'Honorine Jobert' Ameria maritima Santolina chamaecyparissus Salvia 'Blue Spire' Olearia x haastii Stipa gigantea Stipa calamagrostis Artemisia 'Powis Castle'		Key plants: Geranium macrorrhizum 'Ingwersen' Rodgersia aesculifolia Carex Evergreen Heuchera 'Plum pudding' Vinca minor Euphorbia amygdaloides Dryopteris lepidopoda Dryopteris marginalis		Key plants: Monstera deliciosa Spathiphyllum wallisii Begonia Rex Begonia 'Tiger Paws' Ficus elastica 'Robusta' Nephrolepis exaltata Aspidistra elatior Oxalis triangularis		Key plants: Epipremnum aureum Chlorophytum comosum Hedera helix Tradescantia zebrina

4.0 Access



4.0 Access

4.1 Access, Refuse & Servicing Strategy

From Redcliff Street and the existing plaza the access routes into Redcliff Quay are as existing. Vehicular and cycle access is achieved through gated access from Redcliff Street into a private courtyard.



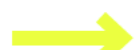

All refuse & servicing routes are as existing, from Redcliff Street and the existing plaza. The building's servicing and waste management strategy will follow the same procedures as the existing building arrangement.

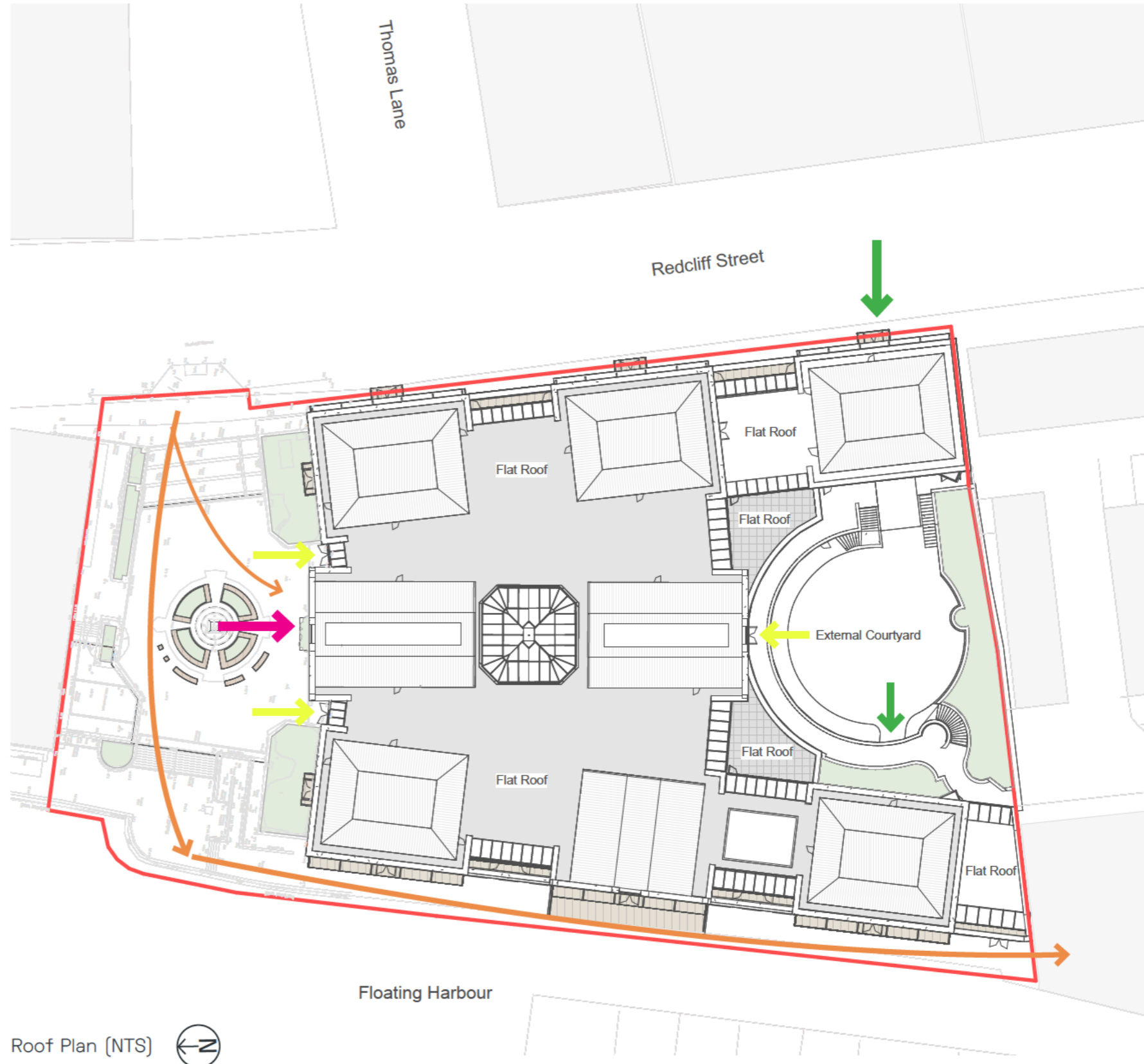
The proposed feature entrance is pedestrian only, accessed from existing pedestrian plaza/public realm area from Redcliff Street. The plaza is a key pedestrian route to the continual harbourside pathway.

The main entrance proposal includes proposed seating and planting, to activate the arrival to the building, and providing a meeting/socialisation space directly outside of the building becoming part of the public realm.

Replacement balcony/terrace finishes are to be accessed for maintenance and cleaning through the facade glazing system doors in each location.

Key:

-  Key Pedestrian Route
-  Building Main Entrance
-  Building Secondary Entrance
-  Vehicle/Cycle Access



Roof Plan (NTS) 

4.0 Access

4.2 Maintenance Strategy

The building's maintenance strategy will follow the same procedures. An additional maintenance strategy is required for the proposed feature entrance.

Cleaning & Maintenance

A portion of the facade can be maintained and cleaned by traditional methods, accessed from ground level. For the remaining areas around the elevations they are within range of a reach and wash system being used.

A MEWP (Mobile elevated work platform) or scaffold can be used to maintain high level areas of the building safely, for the proposed signage zone with planting maintenance and cleaning. The intervals for this are expected to be infrequent.

Planting

Planting is to be maintained from a MEWP or scaffold. The frequency of maintenance to be as per the Landscape Architect's advice.

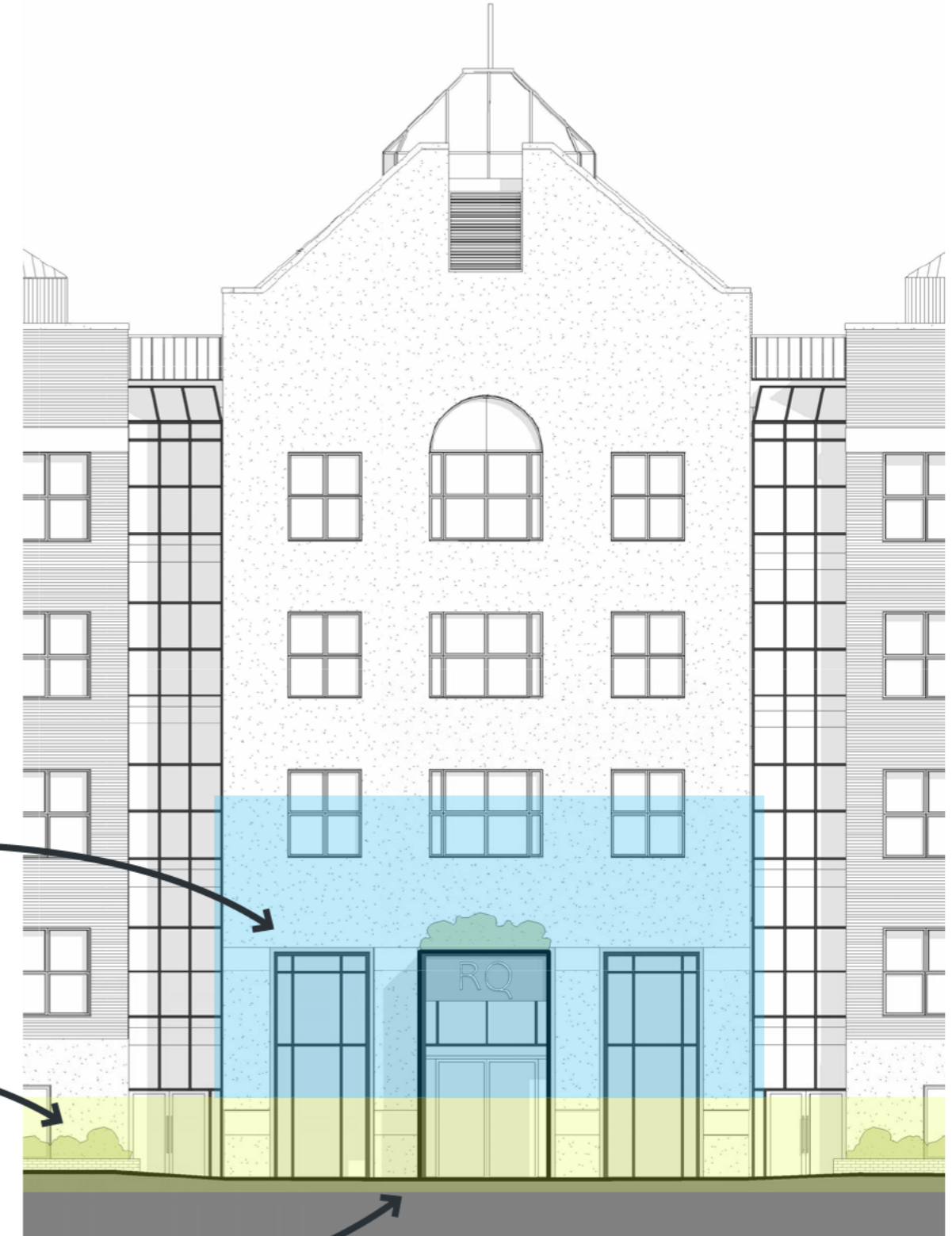
Key:

- Traditional Method:
Elevation accessible from Ground Level
- Reach & Wash:
Elevation accessible via Secure Access

Feature entrance frame & lighting to be cleaned & maintained from ground level and up to first floor level with secure access

Plaza planting to be maintained from ground level

Drainage to be cleaned and maintained from ground level



Get in touch

info@aww-uk.com

aww-uk.com

Bristol
pivot + mark
48 - 52 Baldwin Street
Bristol BS1 1QB

0117 923 2535

London
106 Weston Street
London SE1 3QB

020 7160 6000

AWW