



Homes  
England

Date: 28 June 2023

Our Ref: RFI4278

Tel: 0300 1234 500

Email: [infogov@homesengland.gov.uk](mailto:infogov@homesengland.gov.uk)

██████████  
By Email Only

Information Governance Team  
Homes England  
Windsor House  
6<sup>th</sup> Floor  
42-50 Victoria Street  
London  
SW1H 0TL  
United Kingdom

Dear ██████████

**RE: Request for Information – RFI4278**

Thank you for your request for information which was processed in accordance with the Freedom of Information Act 2000 (FOIA).

You requested the following information:

*I am trying to locate information relating to a development at Cottam.*

*I have attached a transfer, in which CNT transfers land to Bellway homes on the basis that the use of the property is as low cost housing in accordance with approval granted on 1st March 1999 (reference PL/WR/CL/98/09).*

*The buyers of the plots on this development enter into a deed of covenant with the Council as prescribed in the same transfer under Schedule 4. However, the legal effect of that Schedule shall cease on 31st March 2034.*

*I am hoping that you can assist by providing any documentation you have relating to the agreement between yourselves and Preston City Council in this regard. Also, any documentation you can provide relating to the planning reference mentioned above.*

**Response**

We can confirm that we hold the requested information.

Please see the attached Annex A, which includes the Section 106 agreement for the Cottam site on pages 18-19 and additional information we consider is in scope of your request.

Please note that we are withholding some information under Section 40(2) of the FOIA.

OFFICIAL



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### Section 40 – Personal information

We have redacted information on the grounds that it constitutes third party personal data and therefore engages section 40(2) of the FOIA.

To disclose personal data, such as names, job titles, signatures, contact details, addresses, email addresses and personal opinions could lead to the identification of third parties and would breach one or more of the data protection principles.

Section 40 is an absolute exemption which means that we do not need to consider the public interest in disclosure. Once it is established that the information is personal data of a third party and release would breach one or more of the data protection principles, then the exemption is engaged.

The full text in the legislation can be found on the following link:

<https://www.legislation.gov.uk/ukpga/2000/36/section/40>

### **Right to Appeal**

If you are not happy with the information that has been provided or the way in which your request has been handled, you may request an internal review. You can request an internal review by writing to Homes England via the details below, quoting the reference number at the top of this letter.

Email: [infogov@homesengland.gov.uk](mailto:infogov@homesengland.gov.uk)

Information Governance Team  
Homes England  
Windsor House  
6<sup>th</sup> Floor  
42-50 Victoria Street  
London  
SW1H 0TL  
United Kingdom

Your request for review must be made in writing, explain why you wish to appeal, and be received within 40 working days of the date of this response. Failure to meet this criteria may lead to your request being refused.

Upon receipt, your request for review will be passed to an independent party not involved in your original request. We aim to issue a response within 20 working days.

OFFICIAL



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England

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Email: [infogov@homesengland.gov.uk](mailto:infogov@homesengland.gov.uk)

You may also complain to the Information Commissioner's Office (ICO) however, the Information Commissioner does usually expect the internal review procedure to be exhausted in the first instance.

The Information Commissioner's details can be found via the following link:

<https://ico.org.uk/>

Please note that the contents of your request and this response are also subject to the Freedom of Information Act 2000. Homes England may be required to disclose your request and our response accordingly.

Yours sincerely,

**The Information Governance Team**  
For Homes England

s. 40(2)

12/09/03 16:12

To: s. 40(2) /EPS@EP

cc:

Subject: Cottam J2. "The Shires"

s. 40(2)

Please file in the 7(2) file

s. 40(2)

----- Forwarded by s. 40(2) /EPS on 12/09/03 15:13 -----



s. 40(2)

- Land Design"

s. 40(2) @ic24.net>

04/09/03 17:38

Please respond to s.

s. 40(2)

- Land Design"

To: s. 40(2) @bellway.co.uk>

cc: s. 40(2) @englishpartnerships.co.uk>

s. 40(2) @englishpartnerships.co.uk>

s. 40(2) - EP"

@englishpartnerships.co.uk>

Subject: Cottam J2. "The Shires"

s. I confirm the main points discussed at our meeting on site this afternoon.

1. EP will be connecting the land drain which appears to have been severed by the services and/or the highway drain located in the eastern footway of Dunnock Lane back to a new catch pit to the north of the landscape strip. This will necessitate excavating in the footway to Dunnock Lane and across the footpath which runs east-west. Our contractor will back fill properly with a lean mix concrete so that there will be no settlement. Bellway will reinstate the blacktop.
2. Bellway will complete the footpath connection to the "circus" on Valentines Lane in standard 2m. wide adoptable footpath construction, complete the construction of the concrete walling around the "circus" and both sides of the footpath connection, all as shown on dwg. no. H103/01A drawn by s. 40(2)
3. One item that we missed on site is the above dwg. shows a brick trim around the carved gateposts. This needs completing so as to avoid the weeds growing at the base of the sculptures as now.
4. The street lighting for the footpath is to be designed and agreed with Preston Borough and installed so that Bellway can get the footpath adopted. Valentines Lane is already adopted by Preston, and CNT did secure Preston's agreement in principle that this footpath link would be adoptable as highway.
5. We will both check what the evidence there is that it was part of the development agreement that this path had to be adopted. I will have to get files out of archive next week when I am in Arpley House, EP's Warrington office.
6. The landscape areas are in a terrible mess. You will organise the mowing of the grass; this will have to include raking off; the removal of the weeds in the "shrub beds" by whatever combination of methods your landscape contractor deems most efficient. Regrowth of weeds will have to be sprayed off a few days after reappearing. The shrub beds will have to be replanted and remulched. Having looked again at s. 40(2) planting plan I think it will look much better if the avenue trees are in mown grass only and the shrub bed to have a straight edge about one metre from the trees. Or three metres from the path. This will mean a smaller area of shrub planting is needed.
7. The avenue trees of corylus columna (turkish hazel) have all died, and it is my view that they are not entirely happy in the cold clay. It is a tree that grows very large (100ft) if successful. Therefore I suggest that a more suitable type of tree is chosen as a substitute. I suggest Acer Platanoides 'Deborah' or A.P. 'Emerald Green'. Trees shall be 12-14, double staked. I think that the four westernmost adjacent to Canberra Lane be omitted. This means

that there are 42 trees to be replaced.

8. Every tree pit is to be drained in to the adjacent land drains. On the south side of the path EP has installed a drain against the garden boundaries. This drain falls from west to east. On the north side of the path there should have been a drain installed when the path was built. See s. 40(2) drawing. If this drain is there then the street lighting will be best located on the south side of the path.

9. Providing that all the landscape works are completed satisfactorily then EP will be prepared to take over the maintenance before the 12 months aftercare period runs its course. I will ask s. 40(2) EP's landscape manager for Cottam, to inspect and monitor the works. s. 40(2) will be supervising the drainage work described at 1. above. We will take over the landscape areas before the path is adopted, provided that the path is in a section 38 agreement with Preston and that the streetlights are installed and the works to the "circus" are complete.

Should you have any queries then please contact me. My holidays are 10th to 12th September and 24th Sept. to 21st October.

s. 40(2)

for English Partnerships

26<sup>th</sup> April 2000

Your Ref:

Our Ref: IFD012/LD

Shackleton Associates

6A The Cross

Lymm

Cheshire

WA13 0HP

**FAO:** s. 40(2)

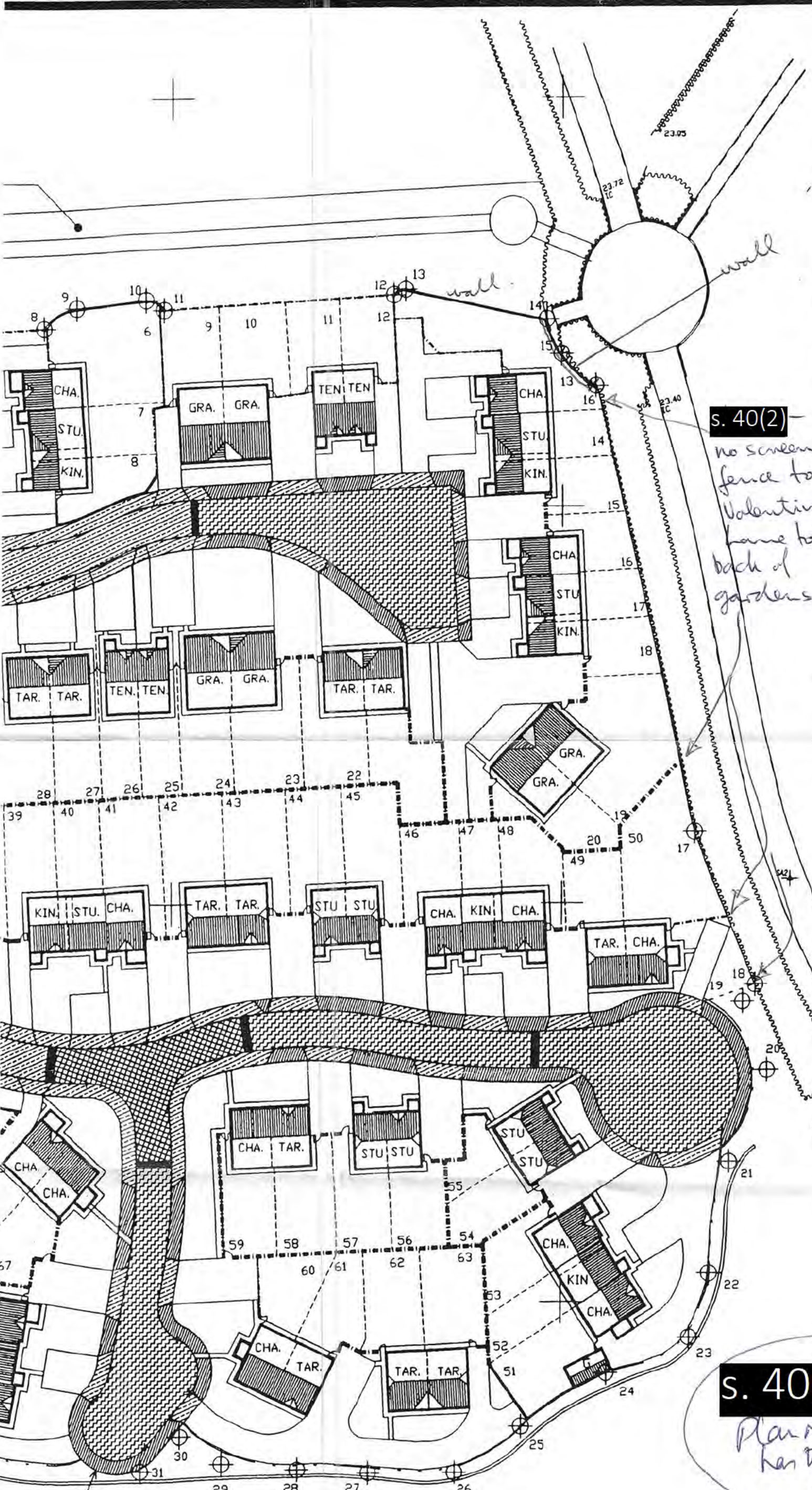
copy s. 40(2)

Dear s. 40(2)


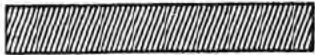



**COTTAM OPEN SPACE 14 AND CANAL FRONTAGE**

Further to our various discussions I list the following items of works.

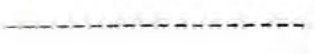




- 1 Footbridge and path connection to Site J2 (Bellway) will have to be adjusted to suit levels on the Bellway side.
- 2 Vehicular access from Site J2 into open space ie, bridge over ha-ha ditch.
- 3 Erection of all railings and gates which are not Bellways responsibility and the planting of the strip along the top of the wall and extra planting at Valentine Lane end of site with ditches to relieve water-logging.
- 4 Extra land drainage to open space to make some grass areas useable and to prevent water logging of planted areas.
- 5 Small timber deck adjacent to canal by sitting area to prevent trampling of marginal vegetation, replant marginal aquatics.
- 6 Footbridge over the "ditch" at the west end of open space 14.
- 7 Rebuild of canal culvert headwall (discuss and agree with BWB).
- 8 Canal frontage of Site K3:- consider combining existing ditch with pond, with small "weir" near new footbridge. Houses will "front" over this pond, suggest edge treatment.



# ROAD LEGEND

-  BLOCK PAVIOURS
-  SERVICE STRIP (GR)
-  BITMAC
-  HOT ROLLED ASPH
-  RUMBLE STRIP

# FENCE LEGEND

- (Refer to 5042/29)
-  DETAIL C
  -  DETAIL B
  -  DETAIL A
  -  DETAIL E
  -  DETAIL D

**s. 40(2)**  
 No screen  
 fence to  
 Valentine  
 home to  
 back of  
 gardens!!

people are short  
 cutting thro' gardens  
 and into gardens,  
 - 9 think we should  
 offer the hsq. Assoc.  
 and plot 50 screen  
 fencing on the  
 basis they take  
 over the ownership  
 of the fence.  
 Do  
 you  
 agree?

**s. 40(2)**

**s. 40(2)**

Plan rev H  
 has this fence on a  
 close board 150mm

CNT TO SUPPLY AND  
 EFFECT FENCE & GATE

SEB

19th April 2000

Our Ref: IFD017/LD

Bellway Homes  
Compass House  
Neville Street  
Chadderton  
Oldham OL9 6LW

Dear Sirs

**SITE J2, COTTAM HALL, PRESTON**

There are a number of issues around the boundaries of the above development, which need to be discussed.

I suggest that we meet on site to look at them.

- 1 Your Company is still to construct the footpath connecting Valentines Lane to your access road. You will recall that it was agreed at the pre-start meeting that this would be constructed as soon as the northern boundary fence/wall was complete. To date nothing has happened despite my writing last year informing you that the six carved stone posts are ready for installing around the small paved circles.
- 2 We need to agree the finished kerb level where the footbridge to your south boundary connects your development to the open space. This bridge is too high and will have to be dropped by EP.
- 3 The fencing and railings to the south boundary are partly your responsibility (private curtilage) and partly EP's (abutting highways). Lines of communication need to be agreed as does the exact setting out.
- 4 Your Company has damaged part of the ha-ha retaining wall by overloading the ground at the top and pushing the wall out. I attach a letter I received from Shackleton Associates.

*Continued . . .*



- 5 Generally, the landscaped areas immediately adjacent to your site need inspecting for stray building materials, any damage or surplus spoil.

Please telephone me so we can arrange a site meeting.

Yours Faithfully,

**S. 40(2)**

**CONSULTANT LANDSCAPE ARCHITECT**

Enc

cc

**S. 40(2)**

# SHACKLETON ASSOCIATES

LANDSCAPE ARCHITECTS  
ENVIRONMENTAL CONSULTANTS

BNPA/JS/MC  
10<sup>th</sup> April 2000

e-mail: **s. 40(2)** @cs.com

6A THE CROSS  
LYMM  
CHESHIRE  
WA13 0HP

TEL: (01925) 757043  
FAX: (01925) 757169

English Partnerships  
New Town House  
Buttermarket Street  
Warrington  
Cheshire  
WA1 2LF



For the attention of **s. 40(2)**

Dear Sir

## CONTRACT NL 41 – COTTAM, OPEN SPACE AREA 14

I refer to our recent telephone conversation. I confirm that the section of Revetlok walling between the grasscrete service track and play area has recently been damaged and will require reconstruction. This occurred after Bellway Homes had undertaken topsoiling works to the rear of the wall. The wall had only recently been reconstructed by Fountain Landscapes following similar damage earlier in the year. As agreed, no further remedial works will be instructed until English Partnerships have discussed the matter with Bellway Homes and also clarified the extent of additional works associated with the crossing of the wall/ditch and fencing in this area.

Should you wish to discuss the above please do not hesitate to contact me.

Yours faithfully

**s. 40(2)**  
Shackleton Associates



# WS Atkins

# Minutes of Meeting

Project: COTTAM HALL SITE J2  
 Purpose of Meeting: Pre-Start Meeting  
 Place of Meeting: New Town House, Warrington

Meeting No: N/A  
 Minutes By: s. 40(2)  
 Time & Date: 2:00 pm  
 30 June 1999

**Present:**

s. 40(2)



(part of meeting only)

s. 40(2)



**Representing:**

English Partnerships (EP)  
 English Partnerships (EP)  
 English Partnerships (EP)  
 English Partnerships (EP)

The Environment Partnership (TEP)

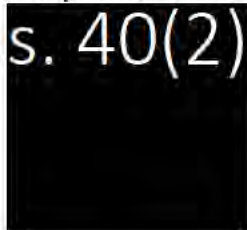
Bellway Urban Renewal (BUR)  
 Bellway Urban Renewal (BUR)  
 Bellway Urban Renewal (BUR)  
 Bellway Urban Renewal (BUR)  
 Bellway Urban Renewal (BUR)  
 Bellway Urban Renewal (BUR)

WS Atkins (WSA)  
 WS Atkins (WSA)

**Distribution:**

All present +

s. 40(2)



EP  
 EP  
 WSA  
 WSA  
 EP  
 EP/WSA

Date Issued: 22 July 1999

File Ref: Ay2226.566/irmj/167.36178

**NOTES TO RECIPIENTS: -**

- i)- Departments or individuals are expected to implement any actions as noted.
- ii)-These minutes record WS Atkins understanding of the meeting and intended actions arising therefrom. Your agreement that the minutes form a true record of the discussions will be assumed unless adverse comments are received in writing within five days of receipt of these minutes

		ACTION
<b>1.0</b>	<b><u>7(2) APPROVAL</u></b>	
<b>1.1</b>	<p><b>Planning</b></p> <p>§ 40(2) confirmed that the 7(2) Approval was granted on 1<sup>st</sup> March 1999. Once the freehold has been transferred to BUR, EP will no longer be the planning authority and any amendments will have to be approved by Preston BC. WSF requested that EP be given advance notice, however, of any changes for which BUR intends to make application for planning consent. BUR reported that they might change house types as the site works progress, for example if one type of property is selling well.</p>	
<b>1.2</b>	<p><b>Highways</b></p> <p>An adoption agreement is in place for the link road between Cottam Way and the site. The agreement covers the carriageway only. EP will let a contract for the street lighting and west footpath construction. BUR is anxious that this work is completed as quickly as possible so as to not have an adverse effect on sales. BUR will be advised of the programme.</p>	EP  EP
<b>1.3</b>	<p><b>Sewers</b></p> <p>§ 40(2) confirmed that WSA are satisfied with the main drainage details provided by BUR.</p> <p>BUR has not, however, included any land drainage details. The existing land drain running through the site is required to be replaced with a new land drain down the west side of the boundary to outfall into the existing ditch. The alignment of the new drain needs to be within the site boundary as far as possible. EP suggested that it run underneath the proposed gardens. WSA are to carry out a level survey on the existing drains. <i>Post Meeting Note: WSA faxed BUR details of the required diversion works 7/7/99.</i></p>	WSA/BUR
<b>1.4</b>	<p><b>Services Providers</b></p> <p>BUR confirmed that services installed would be sufficient to serve adjacent sites.</p> <p>Water has already been provided to the site boundary.</p>	BUR
<b>1.5</b>	<p><b>CDM</b></p> <p>§ 40(2) reported that letters are being drafted by EP exchanging Client responsibilities. BUR accepted that they automatically become the Client when they become the site developer and will notify the HSE in accordance with the CDM Regulations if they have not already done so. <i>Post Meeting Note: The EP Engineering Manager agreed that there was no requirement for EP to take further action on this matter.</i></p>	BUR

		ACTION
2.0	<b><u>OFF SITE WORKS</u></b>	
2.1	<p><b>Drainage</b>            BUR intends to commence the outfall connection works as soon as possible and expect to have completed the works outside their boundary within one month of commencement. It was agreed that BUR would contact s. 40(2) through EP when they are in a position to give s. 42 a date when these works will commence, in order that a meeting can be arranged with the EP consultant responsible for the adjacent works.            BUR stated that the main drainage works to the north of the site will be completed within 3 months of the commencement date.</p>	BUR
2.2	<p><b>External Footpath</b>            s. 40(2) advised that EP will remove the existing seat at the Valentine Lane footpath "circus". BUR are to contact HJ and arrange a site meeting before commencing works affecting the footpath connection to this circus. s. 40(2) will arrange the supply and delivery of special stone gateposts as soon as possible for installation by BUR. BUR will verify that this footpath is included in the S38 Agreement for adoption by Preston BC.</p>	BUR EP BUR
3.0	<b><u>START DATE</u></b>	
3.1	<p><b>Site Possession /Developer's Preferred Date</b>            The site will be available for the provisional start date, which was agreed for 12 July 1999. This date is dependent upon legal completion having been achieved.</p>	BUR/EP
3.2	<p><b>Pegging-out of Boundary</b>            The boundary will be pegged out by WSA and verified by BUR  <i>Post Meeting Note: This was completed 5/7/99.</i></p>	WSA
3.3	<p><b>Boundary Fencing, Permanent and Temporary</b>            BUR agreed to provide suitable protective and safety fencing to the site boundary where it abuts the ha-ha and existing vegetation. Fencing to the ha-ha is to be formed from day-glow perforated mesh. Suitable temporary fencing would also be erected around the outfall works to the south. The existing post and rail fence alongside the Valentine Lane planting belt would be retained until immediately before the erection of the permanent fencing.</p>	BUR

		ACTION
4.0	<b><u>INSPECTIONS PROCEDURE</u></b>	
4.1	<p><b>Purpose</b> WSA will carry out occasional inspections to ensure that works, particularly the external main drainage works, are continuing in accordance with the 7(2) Approval and Brief Plan. TEP will carry out inspections particularly to those works which affect the surrounding EP interests or are to be taken over by EP upon completion.</p>	<p>WSA</p> <p>TEP</p>
4.2	<p><b>Procedure</b> WSA and TEP site representatives are to liaise with the site agent.</p>	TEP/WSA
4.3	<p><b>Liaison/Contacts</b> Inspections will be undertaken by: WSA - s. 40(2) s. 40(2) [REDACTED] TEP - s. 40(2) s. 40(2) [REDACTED] All relevant BUR contacts are to be notified to WSA and TEP.</p>	<p>WSA</p> <p>TEP</p> <p>BUR</p>
4.4	<p><b>Errors/Disputes etc – Remedy</b> Liaison is to be carried out at a site level as far as possible.</p>	
5.0	<b><u>ACCESS</u></b>	
5.1	<p><b>Site Access</b> This is directly off the existing but as yet unnamed road off the Cottam Way roundabout. WSA stressed that they will shortly be carrying out works on this road to enable its adoption and that it was therefore essential that BUR did not allow materials to be stored or cars parked on the road. A joint meeting will be arranged to agree the existing condition of the carriageway. It was agreed that BUR would provide EP with record photographs taken before construction commenced.</p>	<p>WSA/BUR</p> <p>BUR</p>
5.2	<p><b>Contractor's Compound Location Area</b> The contractor intends to locate his construction compound and car parking within plots 69-71.</p>	BUR
5.3	<p><b>Show Houses Location Area</b> These and customer car parking are to be positioned on plots 89 and 90.</p>	BUR

		ACTION
6.0	<b><u>LANDSCAPING</u></b>	
6.1	<p><b>Existing Landscaping</b>  S. 40(2) stated that [redacted] would initiate works to the site entrance and its surroundings to make it more presentable. This would include some forming of anti-gypsy mounds.  The existing barrier across the access road will be removed and re-located by TEP on 12/7/99  Any damage to the carriageway will be temporarily reinstated by TEP and WSA will carry out the permanent reinstatement.</p>	<p>EP</p> <p>TEP</p> <p>TEP/WSA</p>
7.0	<b><u>MARKETING</u></b>	
7.1	<p><b>Surrounding Development</b>  English Partnerships have 3 surrounding sites: K1 and K2 are proposed residential sites, and J1 which was considered for provision of a variety of community uses, is now expected to be allocated for residential uses.</p>	
7.2	<p><b>Approval of Signage and Temporary Sales Area by EP</b>  BUR is to provide EP with sign details in order for a licence to be issued.  BUR also expressed their intention to locate a temporary sales unit at the entrance to the site until the show homes are completed. BUR is to provide details of proposals for the unit and car parking for EP approval.</p>	<p>BUR</p> <p>BUR</p>
8.0	<b><u>ANY OTHER BUSINESS</u></b>	
8.1	BUR would prefer exchange and completion by Friday 2/7/99.	

# ENGLISH PARTNERSHIPS

\*\*\*\*\*

Developer: Bellway (Urban Renewal)  
Site: Cottam J2

Pre-Start Meeting to be held at New Town House  
On Wednesday, 30<sup>th</sup> June 1999 at 2.00p.m.

## AGENDA

### 1.0 7(2) Approval

- 1.1 Planning
- 1.2 Highways
- 1.3 Sewers
- 1.4 Service providers
- 1.5 CDM
- 1.6 Issue of 7(2) - Information required

*sub later amendments with be local*  
*FP ad entrance*  
*hand drawn*  
*10225*  
*held of for EP should be with Bellway*  
*Bellway already makes*  
*FP10 rathall*  
*Adoption status of entrance road.*  
*Street lights proposed on W side*  
*road not yet adopted*  
*Bellway should light within 4 months.*

*Maidanig OK*

### 2.0 Off-Site Works

### 3.0 Start Date

- 3.1 Developer's preferred date
- 3.2 Site possession / pegging out
- 3.3 Boundary fencing, permanent and temporary
- 3.4 Phasing / payment dates

*1 month pre start*  
*Month on site road*  
*MHA*  
*contact made 30/6/99*  
*Complete by 7/9/99*  
*Bellway work is complete*  
*Free 2/7/99*  
*SPS 12/7/99*  
*Free W/D disposal*

*Scorn*

*My WSA knowledge*

### 4.0 Inspections Procedure

- 4.1 Purpose
- 4.2 Procedure
- 4.3 Liaison - Contacts
- 4.4 Errors/disputes etc. - remedy

*Order of Build*  
*Complete April 1998*  
*2mths + 9mths paid*  
*5.38 with PR*  
*- need to verify that E/W part is in 5.38.*

### 5.0 Access

- 5.1 Site access
- 5.2 Compound location area
- 5.3 Show houses location area
- 5.4 Car parking provision during construction

*RB to immediately*

### 6.0 Landscaping

- 6.1 Existing Landscaping

### 7.0 Marketing

- 7.1 Surrounding development
- 7.2 Approval of signage by EP

### 8.0 Any Other Business



Sbn

22<sup>nd</sup> June, 1999

Your Ref.

Our Ref. WSF/CC

s. 40(2)

Development Director,  
Bellway Urban Renewal (NW),  
Compass House,  
Neville Street,  
Chadderton,  
OLDHAM,  
Greater Manchester,  
OL9 6LW.

Dear s. 40(2)

**RE: PRE-START MEETING – COTTAM SITE J2**

I refer to our recent telephone conversation concerning the above and confirm arrangements are now in hand for the meeting to be held at English Partnership's office at New Town House, Buttermarket Street, Warrington, commencing at 2.00p.m. on Wednesday, 30<sup>th</sup> June, 1999.

I would be most grateful if you would arrange for appropriate representatives of your Company including the Construction Manager, Site Agent and your Estates colleague, s. 40(2) s. 40(2) and any other representatives including sub-contractors, if you consider it appropriate to attend.

I enclose herewith a proposed agenda for the meeting.

Kind regards.

Yours sincerely

s. 40(2)

Director (Residential Land Sales)

Enc.

cc s. 40(2) Bellway Urban Renewal

*Your Ref:*  
*Our Ref.: RFG/MA*  
*Tel Direct Dial: 01925 644647*  
*Fax Direct Dial: 01925 644657*

01 March 1999

Acting Director of Development  
Preston Borough Council  
P O Box 10  
77/79 Lancaster Road  
Preston  
PR1 2RH

Dear [REDACTED]

**COTTAM J2, PRESTON - 7(2) AUTHORISATION - BELLWAY HOMES**

I attach for your records, a copy of the authorisation issued under Section 7(2) of the New Towns Act 1981, in respect of the above.

Yours faithfully

s. 40(2)  
s. 40(2)

Enc

*Your Ref:*  
*Our Ref.: RFG/MA*  
*Tel Direct Dial: 01925 644647*  
*Fax Direct Dial: 01925 644657*

01 March 1999

Howard & Seddon Partnership  
64 Washway Road  
Sale  
Cheshire  
M33 7RE

**FAO** s. 40(2)

Dear [REDACTED]

**COTTAM J2, PRESTON - 7(2) AUTHORISATION**

I enclose herewith authorisation issued under Section 7(2) of the New Towns Act 1981, in respect of your Company's proposals for development of the above site.

Yours faithfully

s. 40(2)

**s. 40(2)**

Enc

**MEMORANDUM**  
Warrington

Commission for the New Towns



To: s. 40(2) - s. 40(2)

Ref.:

From: s. 40(2) - s. 40(2)

Ref.: RFG/MA/

cc: Date: 01 March 1999

---

**COTTAM J2, PRESTON - BELLWAY HOMES (NORTHWEST)**

I attach for legal records copy of the S.7(2) authorisation in respect of the above development.

s. 40(2)  
s. 40(2)

ENC

**COMMISSION FOR THE NEW TOWNS**

Section 7 of the New Towns Act 1981 and the town and Country Planning (New Towns) Special Development Order 1977 and Town and Country Planning (New Towns) Special Development (Amendment) Order 1985.

**AUTHORISATION FOR DEVELOPMENT  
RESIDENTIAL DEVELOPMENT**

**SITE: COTTAM SITE J2, PRESTON**

**DEVELOPER: BELLWAY HOMES (NORTHWEST)**

- 1) On 15 August 1983 the Secretary of State for the Environment gave his written approval under Section 7(1) of the New Towns Act 1981 for development of land belonging to Central Lancashire Development Corporation at Cottam, Central Lancashire for residential and associated development. The Commission for the New Towns is the successor authority to the Development Corporation and was the owner of the land when this Authorisation was issued.
- 2) The Developer has submitted to the Commission for the New Towns proposals for the site on the drawings numbered:

**SEE ATTACHED SHEET**

- 3) The Commission has approved such proposals and **HEREBY CERTIFIES** that the development, in accordance with the drawings referred to in 2 above, is permitted development under the Town and Country Planning (New Towns) Special Development Order 1977 and Town and Country Planning (New Towns) Special Development (Amendment) Order 1985.

All planting, seeding or turfing comprised in the approved details of landscaping shall be carried out in the first planting and seeding seasons following the occupation of the buildings or the completion of the development whichever is the sooner and any trees or plants which within a period of 5 years from the completion of the development dies, are removed or become seriously damaged or diseased shall be replaced in the next planting season with others of a similar size and species unless the local planning authority gives written consent to any variation - in interests of local amenity.

- 4) No other form of permission, approval or authorisation shall be deemed to be given by this notice.

Signed ..... s. 40(2) ..... Dated 1/07/98  
s. 40(2)  
s. 40(2)

**COMMISSION FOR THE NEW TOWNS****AUTHORISATION FOR DEVELOPMENT  
RESIDENTIAL DEVELOPMENT****SITE: COTTAM SITE J2, PRESTON****DEVELOPER: BELLWAY HOMES (NORTHWEST)****DRAWING LIST FOR INCLUSION ON 7(2) CERTIFICATE**

<b><u>TITLE</u></b>	<b><u>DRAWING NUMBER</u></b>
LAYOUT	5042/28/H
LANDSCAPE	119/03
FOOTPATH WORKS	H/103/01/A
BOUNDARY TREATMENT	5042/29/A
HOUSE TYPES:	
	F/KINGSTON
	B/TARVIN
	B/D
	C/GRANGE
	A./TENBY
	E = 5042/20/A
	D/F = 5042/23
	D = 5042/19/A
	D/F = 5042/24
	E/D = 5042/26
	D = 5042/25
	B/D = 5042/21/A
GARAGE DETAILS	5042/27

s. 40(2)



CNT NORTH

New Town House, Buttermarket Street, Warrington, Cheshire WA1 2LF  
Tel: 01925 651144 Fax: 01925 411493 Web: www.cnt.org.uk/

Site J2, Cotton, Presta, for Bellways  
Urban Renewal.  
landscape Submission.

Drawing no. 119/03 "Soft landscape  
Detail Plan" scale 1:250 has been  
examined by myself and meets all the  
requirements for T(2) approval  
I attach 3 copies, I have retained one  
copy

s. 40(2)







s. 40(2)

Page 2

- 5042/31 Plans and elevations  
House types 'B' and 'D'
- 5042/32 Plans and elevations  
House type 'F'
- 5042/33 Plans and elevations  
House type 'C'

**NB!**

Drawing numbers 5042/30, 31, 32 and 33 are Bellway drawings.

Drawing numbers 5042/31, 32 and 33 were originally issued as 5042/27, 28 and 29.

I enclose herewith two full sets of drawings listed. Trusting this meets with your approval and the approval notice can be issued.

Yours sincerely

s. 40(2)

for HOWARD AND SEDDON

Encs

- cc s. 40(2) with plan enclosures
- cc with plan enclosures
- cc with plan enclosures

U



CNT NORTH

New Town House, Buttermarket Street, Warrington, Cheshire WA1 2LF  
 Tel: 01925 651144 Fax: 01925 411493 Web: www.cnt.org.uk/

s. 40(2)

Copy

Re J2 Cottam.

Your Ref.:

Our Ref.: IFD/MA/114/8/2/1/19

Tel Direct Dial: 01925 644658

Fax Direct Dial: 01925 644657

18 February 1999

Shackleton Associates  
 6A The Cross  
 Lymm  
 Cheshire  
 WA13 0HP

FAO s. 40(2)

Dear s. 40(2)

**CONTRACT NL41 - COTTAM OPEN SPACE 14**

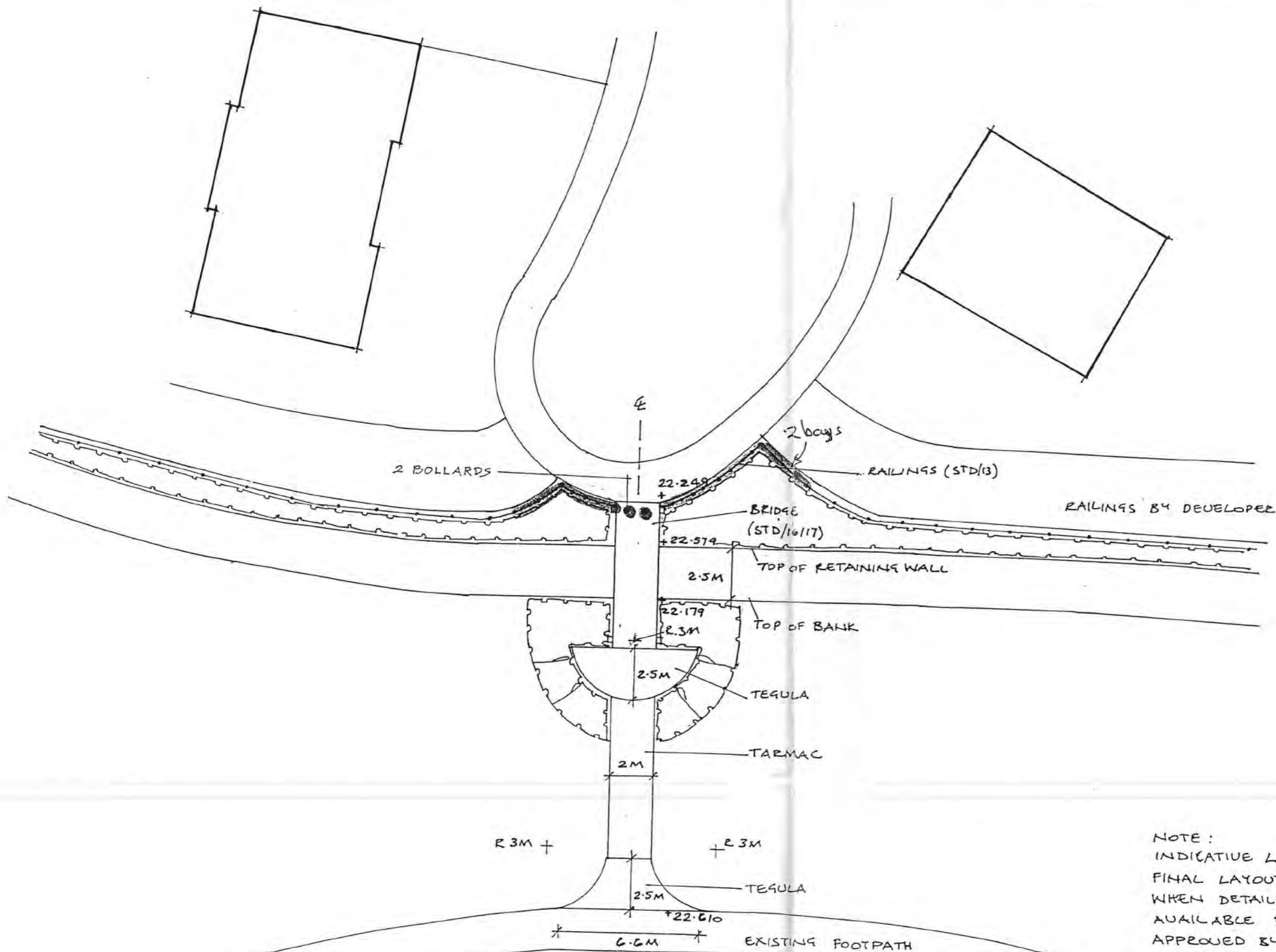
I enclose a copy of, what I hope is, the final layout of parcel J2, Bellway Homes. I have asked W S Atkins to peg out co-ordinate 31 so that you can set out the centre line of the bridge. Then you will instruct Fountain to construct the bridge and connecting footpath as soon as possible so we can get any extra lighting in as well.

I enclose copies of your drawings STD 18 and 19 marking in red the railings/gates etc. which CNT will, eventually, erect. We do not have a likely start date from Bellway, let alone a date for construction along the southern edge of their site.

Yours sincerely

s. 40(2)

s. 40(2)



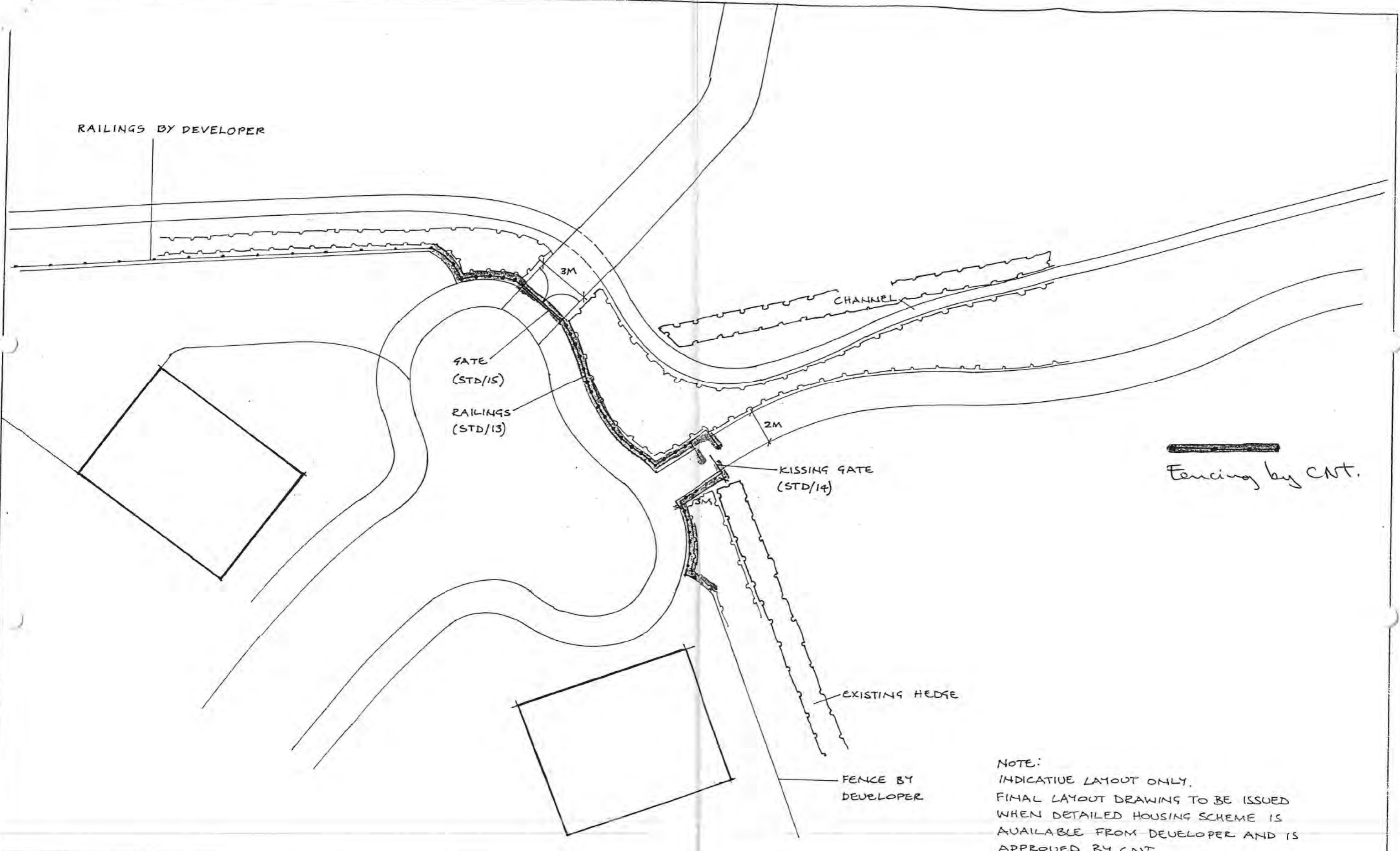
~~RAILINGS~~  
railings by cnt.

NOTE:  
INDICATIVE LAYOUT ONLY.  
FINAL LAYOUT DRAWING TO BE ISSUED  
WHEN DETAILED HOUSING SCHEME IS  
AVAILABLE FROM DEVELOPER AND IS  
APPROVED BY CNT.

6A THE CROSS  
LYMM  
CHESHIRE  
WA13 0HP  
  
TEL (01925) 757043  
FAX (01925) 757169

**SHACKLETON  
ASSOCIATES**  
  
LANDSCAPE ARCHITECTS  
ENVIRONMENTAL CONSULTANTS

COTTAM OPEN SPACE - AREA 14						
DRAWING TITLE						
BRIDGE/RAILING - SITE LOCATION						
SCALE	DRAWN	DATE	CHECKED	JOB NO	DRAWING NO	REV
1:200	AS	Oct 98	5.4012	BNPA	STD/18	



NOTE:  
 INDICATIVE LAYOUT ONLY.  
 FINAL LAYOUT DRAWING TO BE ISSUED  
 WHEN DETAILED HOUSING SCHEME IS  
 AVAILABLE FROM DEVELOPER AND IS  
 APPROVED BY CNT.

6A THE CROSS  
 LYMM  
 CHESHIRE  
 WA13 0HP  
 TEL. (01925) 757043  
 FAX. (01925) 757169

**SHACKLETON ASSOCIATES**  
 LANDSCAPE ARCHITECTS  
 ENVIRONMENTAL CONSULTANTS

COTTAM OPEN SPACE - AREA 14					
DRAWING TITLE					
GATE/KISSING GATE - SITE LOCATION					
SCALE	DRAWN	DATE	CHECKED	JOB NO	DRAWING NO
1.200	AS	Oct 98	5.40(2)	BNPA	STD/19
				REV	

COMMISSION FOR THE NEW TOWNS

**THE TOWN AND COUNTRY PLANNING (NEW TOWNS)  
SPECIAL DEVELOPMENT ORDER 1977**

SITE : Cottam Hall J2

In accordance with Article 8 of the above Order I confirm that the Commission for the New towns have consulted me regarding the layout of the new streets and I am satisfied with the proposals as shown on drawing no.5042/28H

Signed :

s. 40(2)

s. 40(2)

Preston Borough Council

Date :

4 JAN 1999

# HOWARD AND SEDDON PARTNERSHIP

Tel 0161 973 8298 64 Washway Road Sale Cheshire M33 7RE Fax: 0161 962 3485

In Association with Townland Consultants H.K.

e-mail: s. [redacted]@netcomuk.co.uk

Chartered Architects

web: www.netcomuk.co.uk/~hsriba

DKS/CB

16 November 1998



s. 40(2)

Commission for New Towns  
P O Box 49  
New Town House  
Buttermarket Street  
Warrington  
WA1 2LF

s. 40(2)

*I have had several discussions  
with [redacted]  
revised plan shortly  
way together with [redacted]*

Dear s. 40(2)

PROPOSED RESIDENTIAL DEVELOPMENT  
SITE J2 COTTAM VILLAGE PRESTON

Please find enclosed two copies of our drawing number 5042/28G further to our last meeting  
at your offices which illustrates surface finishes to the access roads.

Trusting the enclosed meet with your approval.

Yours sincerely

s. 40(2)

for HOWARD AND SEDDON

Enc

- cc s. 40(2) [redacted] n plan enclosure
- cc [redacted] with plan enclosure
- cc [redacted] with plan enclosure

18/11/98

MANCHESTER HONG KONG

DK Seddon BSc (Hons) MSc Dip Arch (Lon) RIBA

Associates: I McKinnell; EG Seddon MA Dip Arch (Manc) RIBA; F J Jafti (IT)



Compass House, Neville Street, Chadderton, Oldham, Greater Manchester OL9 6LW  
Telephone 0161 620 7797 Fax 0161 628 3223 DX 700267 Royton  
<http://www.bellway.co.uk>

s. 40(2)

CNT  
New Town House  
Buttermarket Street  
Warrington  
Cheshire  
WA1 2LF

14<sup>th</sup> December 1998

Date  
JQ/AO5320  
Our ref.  
  
Your ref.

Dear s. 40(2)

**RE: COTTAM, J2**

Following past correspondence I have instructed our architectural and engineering consultants to 'finalise' drawings as per agreed requirements and am informed that all amendments have been drawn and submitted.

Would it now be possible to receive confirmation that this is so in order that we have the confidence to commence, subject to DETR approval, without the fear of unforeseen delay.

I look forward to your positive response and if we don't speak before our respective close of businesses, may I take this opportunity to wish you a Merry Christmas and a Prosperous 1999.

Kind regards

Yours sincerely  
for **BELLWAY URBAN RENEWAL (NORTH WEST)**

s. 40(2)

15/12/98

s. 40(2)  
  
s. 40(2)

**BELLWAY URBAN RENEWAL**  
(NORTH WEST)

REPORT TO THE DIRECTOR OF PLANNING AND TECHNICAL SERVICES

WEST MIDLANDS AND NORTH

7 DECEMBER 1998

CENTRAL LANCS      COTTAM SITE J2, PRESTON  
(PL/WR/CL/98/09)

PURPOSE

1. To obtain approval to the granting of a 7(2) Authorisation for the erection of 90 dwellings and associated highway and landscaping at Cottam J2, by Bellway Urban Renewal (North West).

DESCRIPTION OF SITE

2. The site is situated in the south western area of Cottam and is adjacent to the proposed District Centre site. The site abuts the existing Lancaster Canal separated by a proposed landscaped buffer zone. To the east of the site, there are two parcels of land, K1 and K2, for future development.

INFORMATION

3. The site was approved under Section 7(1) of the New Towns Act, 1981, for residential and associated development by the Department of the Environment on 15 August 1983.
4. CNT is developing the site following a requirement from Preston Borough Council for social/affordable housing within the Cottam area. The site extends to 5.605 ha (2.268 ac) which will accommodate 90 dwellings. The site is split into 30 dwellings for rent and the remaining 60 dwellings for sale and they are of either semi detached or three-storey terrace configuration.
5. The terms for disposal were agreed by Chairman's approval on 25 February 1998 (ref. CH/L/81).

CONSULTATION

6. Preston Borough Council as the Planning and the Highway Authority were consulted on the Brief and on the proposals, Lea Parish Council were also consulted and no objections were received. No existing residents were consulted as none about the site.



**CONCLUSION**

7. It is considered that the submitted scheme is technically satisfactory and is in accordance with the 7(1) approval, current planning guidance and meeting the standards and requirements of the Commission for the New Towns, the Local Planning Authority, and the Highway Authority.

**RECOMMENDATION**

8. It is recommended that approval be granted under Section 7(2) of the New Towns Act 1981, for the erection of 90 dwellings and associated highway and landscaping works at Cottam site J2 by Bellway Urban Renewal (North West).

s. 40(2)

s. 40(2)

(WEST MIDLANDS AND NORTE)

s. 40(2)

14/12/98 16:40

To: s. 40(2) /CNT@CNT

CC:

Subject: Cottam Site J2

I am pleased to finally confirm DETR have given approval for CNT to proceed with this disposal .  
As such I assume you will now progress the Sect 7(2) approval and let me know when it is imminent so that I may arrange a Pre -Start Mtg

Thanks s. 40(2)

Δ1.  
20A.  
P & B. Blainey

CH/L/81  
25/2/98

LAND AGENCY WEST MIDLANDS AND NORTH

REPORT TO CHAIRMAN

23 FEBRUARY 1998

CENTRAL LANCASHIRE      SALE OF LAND

SUMMARY

Site/Property      Cottam J2, Cottam, Preston

Area      2.268 ha (5.605 acres)

Purchasers      County Palatine Housing Association  
Turner House  
56 King Street  
Leigh  
Lancashire  
WN7 4LJ

and

Bellway Urban Renewal (North West)  
Compass House  
Neville Street  
Chadderton  
Oldham  
Greater Manchester  
OL9 6LW

Price      £280,000 plus VAT as appropriate payable  
£75,000 on completion and the balance in  
two equal instalments 6 months and 12 months  
after completion. NPV £268,851.

Price per      £123,457 per ha (£49,955 per acre) straight  
bid. £118,541 per ha (£47,966 per acre)  
NPV when discounted at 11%

Pre-Sale valuation and date      Grimley valuation dated 22 October 1997.  
Value (a) £1,009,750; value (b) £1,027,430.

Franking      Not required, Sale at less than best price.  
Needs DETR approval.

117

73800

## INFORMATION

The site shown by red edging on the annexed plan is identified within the Cottam 7(1) as housing associated with the District Centre. This has been interpreted to include social/affordable housing.

Grimley were instructed to value the site on two bases:

- 1) assuming the whole site to be subject to a Section 106 Agreement requiring social/affordable housing, and
- 2) assuming approximately 35 social housing units and the remainder to be such conventional dwellings as the site would sustain.

A copy of their report is annexed.

Following discussions with Preston Borough Council regarding their requirement for social/affordable housing in the Cottam area the site was initially offered to six Housing Associations. They were each requested to put together a scheme comprising 30 rented dwellings with the balance of the development being housing for sale. In addition, it was to be assumed that no public funding, save for a reduced land value, was to be available to the Association. The six Associations were asked to make a preliminary bid for the site.

Out of the six Associations only two submitted realistic bids. Further detailed discussions were, therefore, held with the two Associations and their chosen partnership developers with a view to a Best Bids submission. Each partnership was requested to submit two bids based on the following:

Bid A                    30 dwellings for rent comprising:-  
12 x 2 bed houses at a rent of £55 per week  
12 x 3 bed houses at a rent of £60 per week  
6 x 4 bed houses at a rent of £65 per week

The remaining dwellings, up to a maximum of 90 units including the 30 rented, to be low-cost housing for sale.

Bid B                    30 dwellings for rent as for Bid A

The remaining dwellings, subject to the same

maximum number as Bid A, to be housing for sale of the developer's choice.

Bids were to be submitted by 12 noon on 28 January 1998.

The result of the competition was as follows:

<u>Partnership</u>	<u>Bid A</u>	<u>Bid B</u>
1. County Palatine Housing Association/Bellway Urban Renewal (North West)	£280,000	£975,000
2. New Progress Housing Association/Lovell Partnerships	NIL	£693,205

Further discussions with Preston Borough Council concluded that their preferred development was the 90 social/affordable dwellings as provided for in Bid A. A meeting was, therefore, held with County Palatine and Bellway to fine-tune their layout to render it acceptable in planning terms.

Payment of the Bellway/County Palatine bid A will be £55,000 in respect of the rented housing land plus one third (£75,000) of the balance on completion. The remaining £150,000 will be paid in two equal payments 6 months and 12 months after completion. The NPV of the Bellway/County Palatine Bid A when discounted at 11% is £268,851.

From the bids and Grimley's valuation it can be seen that a development of the site with 90 social housing units will result in a reduction in the sale price from £1,009,750 (Grimley's value) to £268,851 (the NPV of the Bellway/County Palatine bid) - a sum of £740,899 or 73.37% of its full value. This is the only public subsidy provided for the whole development, which will cost in the region of £5.5m, and is, therefore, considered value for money.

It should be noted that the private housing land will be subject to covenant control within the freehold transfer of the land and individual covenants within each private house transfer to ensure that the dwellings remain in the low-cost category. The usual social housing clawback provisions for a period of 35 years will apply to the rented housing land.

RECOMMENDATION

That the offer of £280,000 from Bellway Urban Renewal (North West/County Palatine Housing Association for the freehold interest in the 2.268 ha (5.605 acre) site known as Cottam J2, Preston, CENTRAL LANCASHIRE subject to covenant control on the private housing and clawback control on the rented housing, be accepted subject to DETR approval.

s. 40(2)

s. 40(2)

.....  
Director West Midlands & North

s. 40(2)

s. 40(2)

25/2/98

Ref. No. CH/L/81

Return to \_\_\_\_\_

*Subject to clarification  
of relation to Grinley  
figures*

COTTAGE J2

2/11/98

IFD) WSP) SBW) RFG) AHC)

s. 40(2) s. 40(2)

AY 2226/536i/001/B (1/4/97) Brief showed "footpaths by developer/J2."

Footpaths to NNE.

Bellway, had allowed for construction & adaptation of lanes & footpaths.

Bellway concerned about tegula circles.

JQ needs to speak to Richard who had been involved in earlier meeting.

Seat & CRT's for relocation.

- Landscape plan is required.

- Draining Drawing.

AHC. to get PBC to confirm Article 8 applies SD42/28/E.

Agreed (now sample vegas).

Working areas need marks on map.

Agreed that bdy. Surround driveway & at back of highway verge.

Plot 5. Needs steel rail at drive face. p108.

5. Wall at side south (1/17).

Plot 50 Steel railing at side 18/19 points.

Plot 56

External Works Dwg will be provided. - Driveway need squaring with pinked edge

£25k. Claimed by Norweb. - Needs Maudslayi to agree to waive the £25k  
 & when Norweb see this they will let the matter go

# HOWARD AND SEDDON PARTNERSHIP

Tel 0161 973 8296 64 Washway Road Sale Cheshire M33 7RE Fax 0161 962 3485

In Association with Townland Consultants HK:

e-mail: s.40(2)@netcomuk.co.uk

Chartered Architects

web: www.netcomuk.co.uk/~hsriba

IMcK/JSS

27th October 1998

s. 40(2)

Commission for the New Towns,  
P.O. Box 49,  
New Town House,  
Buttermarket Street,  
WARRINGTON,  
Cheshire.  
WA12 2LF.



Dear s. 40(2),

**PROPOSED RESIDENTIAL DEVELOPMENT: SITE J.2. -  
COTTAM VILLAGE, PRESTON.**

Please find enclosed 2 No. copies of our amended drawing No. 5042/ 28E in substitution of the previously submitted drawing.

Please note that we have indicated where it is proposed to have grassed service strips which Steve Hunt Partnership have agreed with Preston's Engineers.

Our drawing also illustrates paving to perimeter of dwellings.

With regard to the fencing adjacent to open meadow, I wish to confirm that C.N.T. will supply and fix the fencing and gates adjacent to the proposed public highway between Plots 60 / 64 and 72 / 76.

Trusting the enclosed meets with your approval.

Yours sincerely,

s. 40(2)

- C.C. s. 40(2) Bellway Urban Renewal + copy of drawing
- s. 40(2) - Steve Hunt Partnership + copy of drawing
- s. 40(2) + copy of drawing

MANCHESTER

HONG KONG

s. 40(2)

Assoc: Hong Kong IASCI Dip Arch (Land RIBA)

Associates: s. 40(2)

MA Dip Arch (Ment) RIBA, R J Jack (IT)



Your Ref.: JJQ/jkw/0002  
Our Ref.: SER068/AS/Cottam J2(7.2)  
Tel Direct Dial: 01925 644646  
Direct Fax: 01925 644657

05 October 1998

Bellway Urban Renewal (NW)  
Company House  
Neville Street  
Chadderton  
Oldham  
Greater Manchester OL9 6LN

For the attention of s. 40(2)

Dear s. 40(2)

**COTTAM VILLAGE SITE J2**

I refer to your letter of 2nd September and the concern you have expressed in connection with the landscape details which are proposed for the footpath along the north boundary of the site.

I have discussed this matter with s. 40(2) s. 40(2) and it is suggested that this is discussed jointly at a meeting when we are nearer to concluding the contract for this development.

Yours faithfully

s. 40(2)  
[Redacted signature block]  
s. 40(2)

cc s. 40(2)

**SH Partnership**  
Steve  
Hunt  
Partnership

**Facsimile Cover Sheet.**

CONSULTING CIVIL AND STRUCTURAL ENGINEERS  
NEWSPAPER HOUSE  
TANNERY LANE  
PENKETH  
WARRINGTON WA5 2UD  
TEL:-01925 722003  
FAX:-01925 728002

COMPANY. *ENT* s. 40(2)  
FOR THE ATTENTION OF s. 40(2)  
FACSIMILE N° s. 40(2)  
YOUR REF.

DATE. *2/10/98*  
FROM. s. 40(2)  
PAGE N° *1* OF *2*  
JOB REF.

COMMENTS :

*PLEASE FIND ATTACHED REVISED  
PLOT LAYOUTS FOR 1-12 INC  
FOR YOUR APPROVAL*

*REGARDS*

s. 40(2)

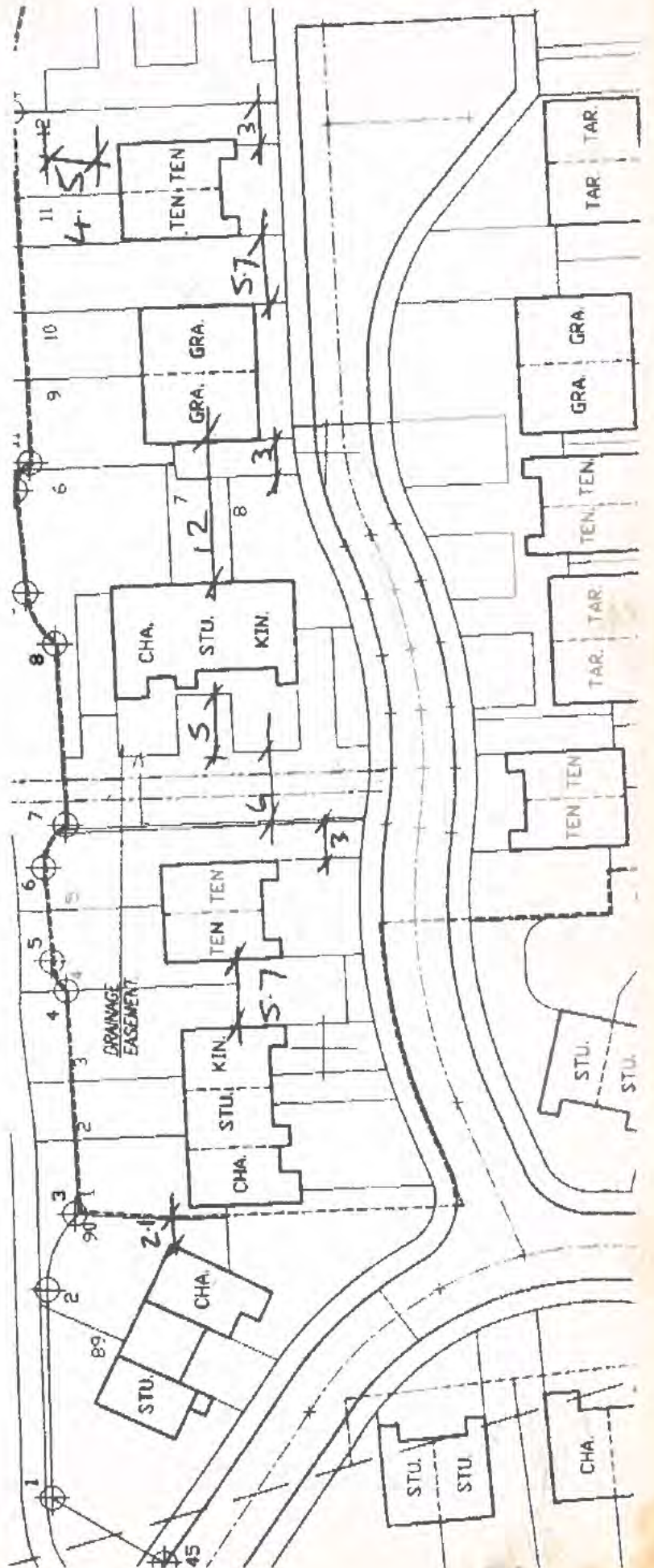
COMMISSION FOR THE  
NEW TOWNS  
RECEIVED  
-2 OCT 1998  
REF: *DS*  
PASS TO: *s. 40(2)*

*OK'd. Son. 3.30pm  
+ PBC OK'd.*

s. 40(2)

cc - s. 40(2)  
cc - s. 40(2)

J2.





Steve  
Hunt  
Partnership

Facsimile Cover Sheet.

CONSULTING CIVIL AND STRUCTURAL ENGINEERS  
NEWSPAPER HOUSE  
TANNERY LANE  
PENKETH  
WARRINGTON WAS 2L0  
TEL:-01925 722003  
FAX:-01925 728002

COMPANY. *CNT*  
FOR THE ATTENTION OF *s. 40(2)*  
FACSIMILE N° *s. 40(2)*  
YOUR REF.

DATE. *1/10/98*  
FROM. *s. 40(2)*  
PAGE N° *1* OF *2*  
JOB REF.

COMMENTS :

*PLEASE CAN YOU CONFIRM THE  
PROPOSED LAYOUT FOR PLOTS  
6-8 (INC) MEETS WITH  
YOUR APPROVAL.*

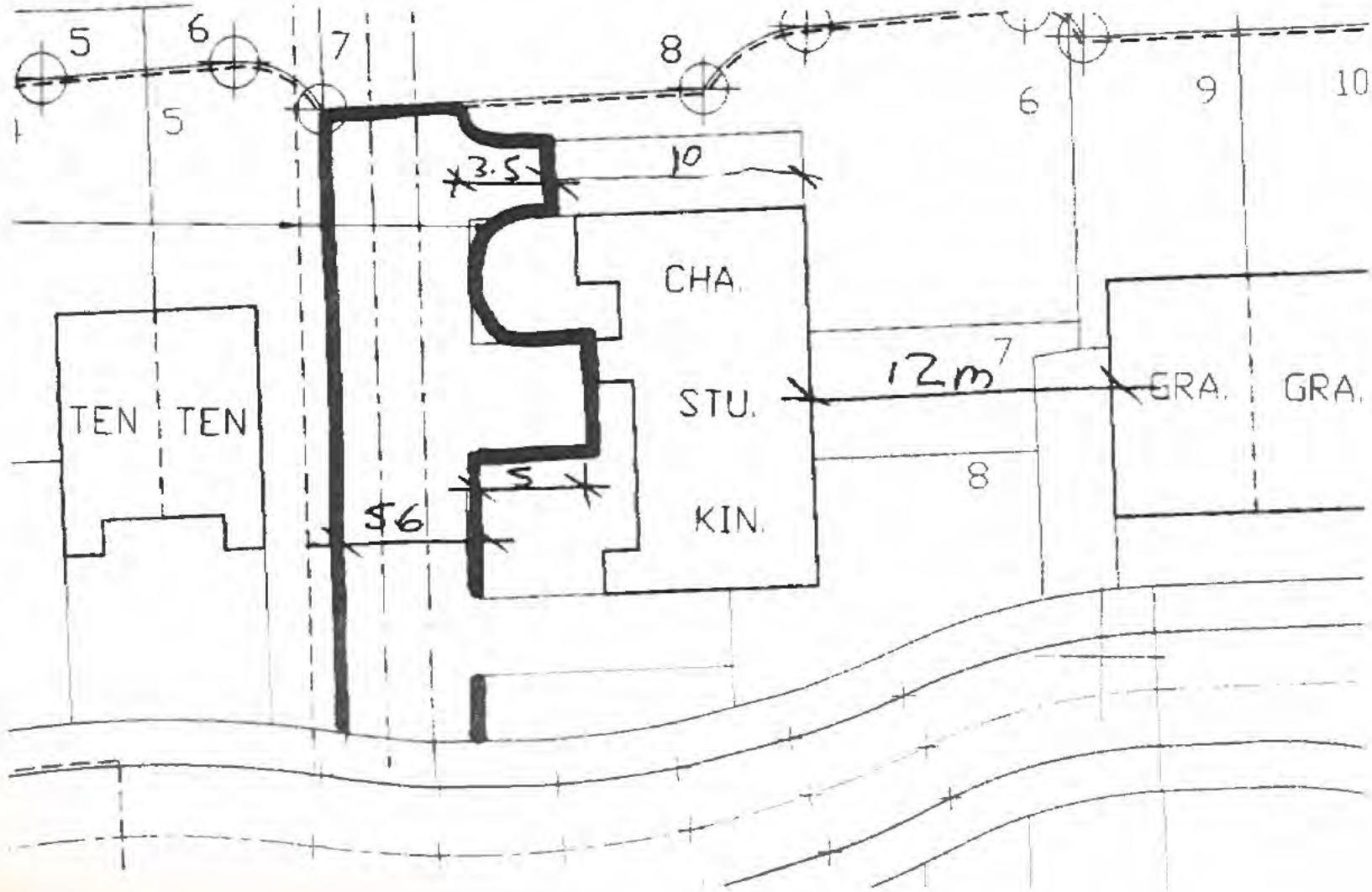
*Regards*

*s. 40(2)*



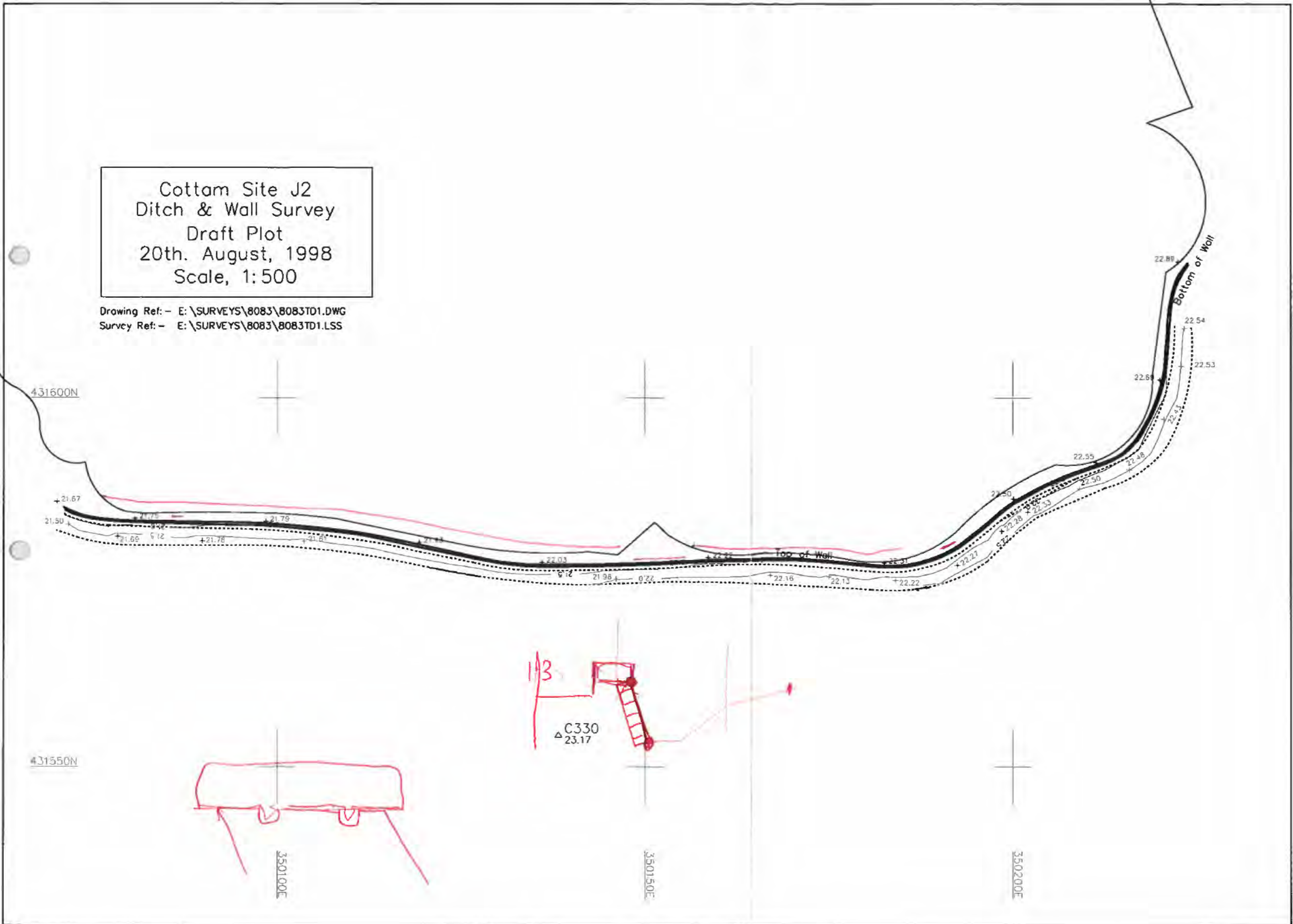
*CC - BELLWAY - fad  
CC HOWARD & SEMON*

*s. 40(2)*



Cottam Site J2  
Ditch & Wall Survey  
Draft Plot  
20th. August, 1998  
Scale, 1:500

Drawing Ref: - E:\SURVEYS\8083\8083TD1.DWG  
Survey Ref: - E:\SURVEYS\8083\8083TD1.LSS



132



## ACTIVITY REPORT

TRANSMISSION OK

TRANSACTION = 3769

CONNECTION TEL 0161 628 3223

CONNECTION ID 63

START TIME 24 09 14 07

USAGE TIME 01 13

PAGES 3 / 3



CNT NORTH

## FACSIMILE

New Town House, Buttermarket Street, Warrington, Cheshire, WA1 2LF  
 Tel: 01925 651144 Fax: 01925 411493 Web: www.cnt.org.uk/

TO:	s. 40(2)	COMPANY:	Bellway UrbanRenewal
FAX NO:	s. 40(2)	FROM:	s. 40(2)
DATE:	24/09/98	TIME:	2.05
NO. OF PAGES (INC. COVER):			2
<p>MESSAGE: <i>Cotton J2</i></p> <p>Response as promised</p> <p>Also to Howard &amp; Sedden        + s. 40(2)</p>			
ANY PROBLEMS CONTACT:		s. 40(2)	
DIRECT DIAL:		s. 40(2)	
DIRECT FAX:		s. 40(2)	



## ACTIVITY REPORT

TRANSMISSION OK

TRANSACTION #	3770
CONNECTION TEL	01619623485
CONNECTION ID	G3
START TIME	24/09 14:16
USAGE TIME	01'24
PAGES	3 / 3



CNT NORTH

**FACSIMILE**

New Town House, Buttermarket Street, Warrington, Cheshire, WA1 2LF  
 Tel: 01925 651144 Fax: 01925 411493 Web: www.cnt.org.uk/

<b>TO:</b>	s. 40(2)	<b>COMPANY:</b>	Howard & Seddon
<b>FAX NO:</b>	s. 40(2)	<b>FROM:</b>	s. 40(2)
<b>DATE:</b>	24/09/98	<b>TIME:</b>	2.10
<b>NO. OF PAGES (INC. COVER):</b>			3
<p><b>MESSAGE:</b> Cottam J2</p> <p>Response as promised</p> <p>Also sent to Bellways and s. 40(2)</p>			
<b>ANY PROBLEMS CONTACT:</b>		s. 40(2)	
<b>DIRECT DIAL:</b>		s. 40(2)	
<b>DIRECT FAX:</b>		s. 40(2)	

COTTAM SITE J2 - PLANNING COMMENTS ON LAYOUT 5042/28A

1 Assuming this drawing is intended as the planning layout for 7(2) purposes, a number of presentational and information details are required:

Dwellings to be highlighted and indicated with heavy outlines, and to show roof form and ridge lines

Garages to be built shown as 'G' and highlighted as for the houses, NB at plots 51, 64, 79.

Indicate highway surface treatments, and materials for driveways and other hard areas

Schedule of house types

Area for transfer to HA (rented properties)

Boundary responsibilities at outer edge of site

Layout comments. Many of these have been covered before, but now that the scheme has been redrawn, a number of the tight areas have become unsatisfactory.

2 Where is the parking provision for plots 89/90?

3 Generally, all parking areas are to be either 5m or 10m long several are less than this and require amendment

4 Plots 6-8 inadequate turning and parking space: these properties require to be moved to the east

5 Plot 8 garden side wall to be moved to the rear of the footpath

6 Plot 13 wall to be extended from point 14 to point 16

7 Plot 36 garden side wall to be moved to the rear of the footpath

8 parking provision not indicated for plots 40, 47, 70

9 screen wall at gable of plot 55 should be shortened

10 Plot 72 garage requires moving to the SE to allow 5m in front, as shown on A4 extract, and side garden to be brick wall

11 rearrange 77/78/79 as shown on A4

12 relocate Detail D fencing to sides of drives, adoption limits from boundary points 36 to 19

13 Detail D fencing to be at points 18/19 and from point 21 and to run through to point 24; and from point 25 to 36 and point 39 to the garden fencing of plot 76. Indicate as residents' responsibility.

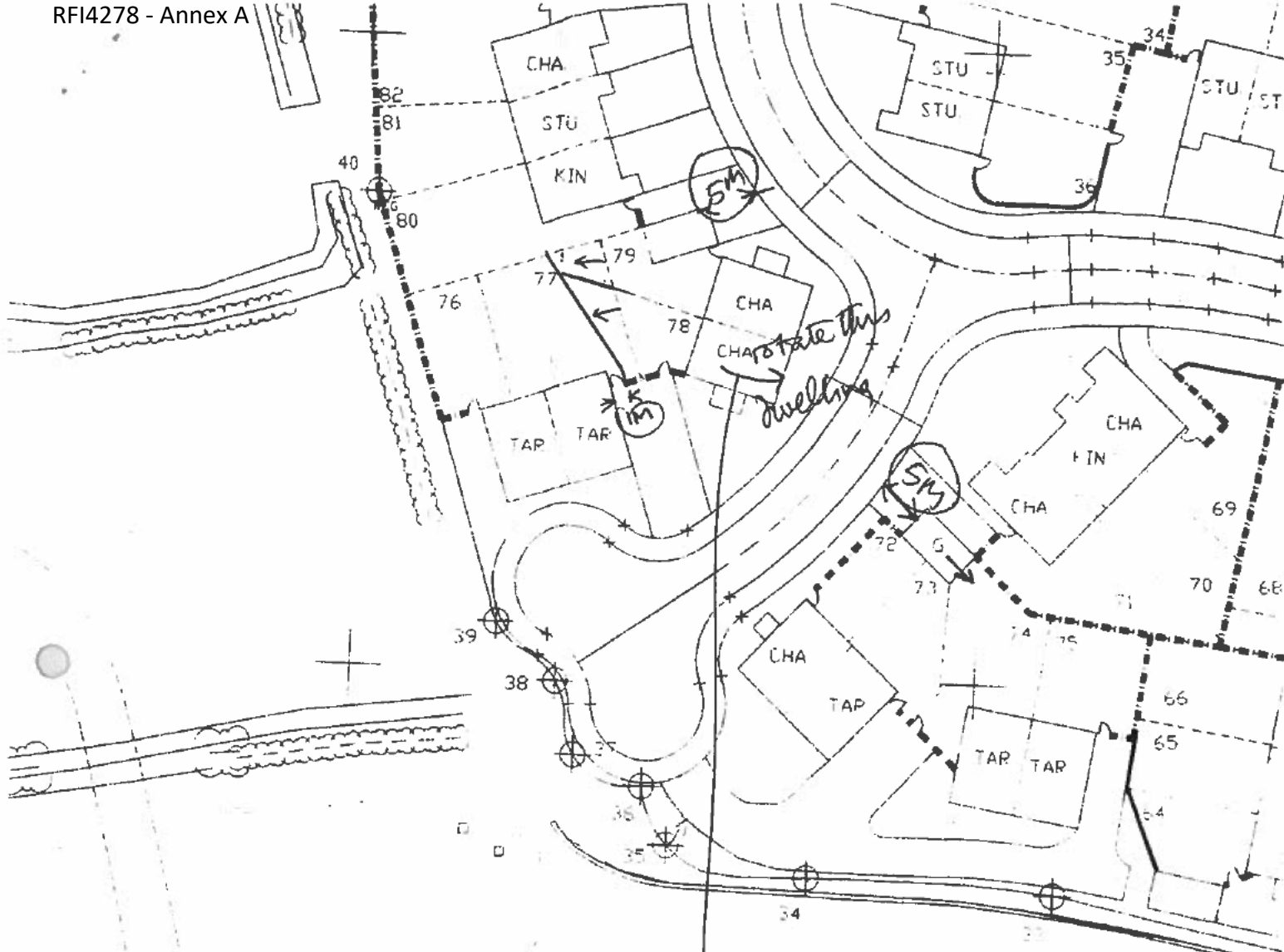
14 Detail D fencing satisfactory for garden/driveway boundaries, but will require to be more substantial where adjacent to highway verges eg points 19 to 21. NB CNT will be responsible for implementing the gateways/barriers at the three accesses to the open space at points 30/31 and 36/39.

15 Plot 5 side garden fencing to extend no further south than building line

16 Plot 88 Detail E wall to return to drive way.

The south boundary of the site will be adjusted to accord with your amended layout once the above matters have been taken care of. I suggest that the layout is passed from **s. 40(2)** Ptnrs to **s. 40(2)** at W S Atkins by disk or email so the coordinated boundary can be revised.

SER 24/09/98



Move slightly to SE and  
 rotate 78/79 (anticlockwise)  
 slightly to increase gardens  
 and still maintain  
 privacy to fronts of 70/71

ENCLOSURE  
 OF SITE  
 PROVIDED AT  
 THE DISCRETION OF  
 THE OFFICE OF  
 THE CITY ENGINEER

PROPOSED BOUNDAR

TO BE  
 UNDER

## ACTIVITY REPORT

MISSION OK

SECTION # 3771

SECTION TEL. 01925728002

SECTION ID G3

START TIME 24 09 14:10

END TIME 01:30

PAGE 3 3



CNT NORTH

## FACSIMILE

New Town House, Buttermarket Street, Warrington, Cheshire, WA1 2LF  
 Tel: 01925 651144 Fax: 01925 411493 Web: www.cnt.org.uk/

<b>TO:</b>	s. 40(2)	<b>COMPANY:</b>	Steve Hunt Ptnrs
<b>FAX NO:</b>	s. 40(2)	<b>FROM:</b>	s. 40(2)
<b>DATE:</b>	24/09/98	<b>TIME:</b>	2.15
<b>NO. OF PAGES (INC. COVER):</b>			3
<p><b>MESSAGE:</b> Cottam J2</p> <p><b>Response as promised</b></p> <p><b>Also sent to Bellways and Howard and Seddon</b></p>			
<b>ANY PROBLEMS CONTACT:</b>		s. 40(2)	
<b>DIRECT DIAL:</b>		s. 40(2)	
<b>DIRECT FAX:</b>		s. 40(2)	

# HOWARD AND SEDDON PARTNERSHIP

Tel: 0161 973 8296 64 Washway Road Sale, Cheshire, M33 7RE Fax: 0161 962 3485

In Association with Townland Consultants H.K.

e-mail: s.40(2)@netcomuk.co.uk

Chartered Architects

web: www.netcomuk.co.uk/~hsriba

BLW/JSS

14th September 1998

s. 40(2)

Commission for the New Towns,  
P.O. Box 49,  
New Town House,  
Buttermarket Street,  
Warrington,  
WA1 2LF.



Dear s. 40(2)

PROPOSED RESIDENTIAL DEVELOPMENT: SITE 'J2' -  
OFF COTTAM WAY, COTTAM VILLAGE, PRESTON.

Please find enclosed 2 No. copies of our drawing Nos.- 5042/ 28A & 29A.

Could you please substitute these drawings for those previously submitted

s. 40(2)

C.C. s. 40(2) (+ Drawings)

Enc.

s. 40(2)

MANCHESTER

HONG KONG

s. 40(2) BSc (Hons) MSc Dip Arch (Lond RIBA)

Assoc (Lond) s. 40(2) MA Dip Arch (Manc) RIBA s. 40(2) (IT)



Compass House, Neville Street, Chadderton, Oldham, Greater Manchester OL9 6LW  
Telephone 0161 620 7797 Fax 0161 628 3223 DX 700267 Royton  
<http://www.bellway.co.uk>

s. 40(2)

CNT North  
New Town House  
Buttermarket Street  
Warrington  
Cheshire  
WA1 2LF

Date 2<sup>nd</sup> September 1998

Our ref. JJQ/jkw/0002

Your ref.

Dear s. 40(2)

**Re: Cottam Village, J2**

Thank you for the courtesy extended to myself and associates at our meeting in your offices on Tuesday 1<sup>st</sup> September 1998.

I am currently endeavouring to co-ordinate production of plans and layouts for presentation and subsequent approval.

Having received from s. 40(2) plan H103/01, I am slightly perturbed to notice that these extensive works have not been previously detailed and/or presented. Indeed no account has been made for these works within the tender offer presented.

Our tender offer has allowed for footpath works, as detailed on drawings AY2226/536i/001, original and revision A.

Yours faithfully  
For BELLWAY HOMES (URBAN RENEWAL NORTH WEST) LIMITED

s. 40(2)

s. 40(2)

BELLWAY URBAN RENEWAL  
(NORTH WEST)





1/9/98

s. 40(2)

s. 40(2)

s. 40(2) allow layout to move slightly to 1.3m north of rear face of  
back wall.

s. 40(2) layout to be resubmitted  
WSP note. Co-ordinate hole for counter balance hole.  
T.M.C. to produce details for entrance walls & any at plots in this site  
his case to be put in place for sewer connection to north a

# HOWARD AND SEDDON PARTNERSHIP

Tel: 0161 973 8296 64 Washway Road Sale Cheshire M33 7RE Fax: 0161 982 3485

In Association with Townland Consultants H.K.

e-mail: s.40(2)@netcomuk.co.uk

Chartered Architects

web: www.netcomuk.co.uk/~hsriba

DKS/CB

24 July 1998

s. 40(2)

Commission for New Towns  
P O Box 49  
New Town House  
Buttermarket Street  
Warrington  
WA1 2LF



Dear s. 40(2)

PROPOSED RESIDENTIAL DEVELOPMENT  
SITE J2 COTTAM VILLAGE PRESTON

Thank you for your fax received yesterday in connection with the above mentioned.

We have pleasure in enclosing herewith four copies of our drawing numbers 5042/22I, 26A and 27. Please substitute these drawing from those previously submitted for detailed planning consent.

Kindly note that item 3 of your fax will be dealt with by s. 40(2) of Steve Hunt Partnership, the client's engineer, and items 5 and 12 will be dealt with by s. 40(2) the client's landscape architect. I note that CNT are to advise on items 6 and 13 - all with reference to the planning comments on drawing number 5042/22H.

We trust we have addressed the issues referred to in the fax and accordingly look forward to your confirmation of approval thereof.

Yours sincerely

s. 40(2)

*7/5/98 sent to s. 40(2) of Steve Hunt Partnership 01925 722003*

Encs

s. 40(2)

*disk of layout who sent to Gareth Morgan @ WSAH*

cc  
cc  
cc  
cc  
cc

MANCHESTER

HONG KONG

s. 40(2) BSc (Hons) MSc Dip Arch (Lond) RIBA

Associates: s. 40(2) MA Dip Arch (Hong) RIBA s. 40(2) (IT)

ACTIVITY REPORT

TRANSMISSION OK

TRANSACTION # 3381  
CONNECTION TEL 01619623485  
CONNECTION ID G3  
START TIME 23/07 14:38  
USAGE TIME 00'52  
PAGES 2/ 2



CNT NORTH

# FACSIMILE

New Town House, Buttenmarket Street, Warrington, Cheshire WA1 2LF  
Tel 01925 651144 Fax 01925 411493 Web www.cnt.org.uk

TO: S. 40(2)	COMPANY: Howard & Seddon
FAX NO: S. 40(2)	FROM S. 40(2)
DATE: 23/7/98	TIME: 2.50
FAX CONTAINS COVER SHEET PLUS	1 PAGES

MESSAGE:

*Contain JD*

ANY PROBLEMS CONTACT: S. 40(2)	
TELEPHONE: S. 40(2)	EXTENSION
FAX:	

**COTTAM SITE J2 - PLANNING COMMENTS ON LAYOUT 5042/22H**

1 Please provide this layout on film to enable the coordinated boundary to be revised accurately. It is intended to revise the boundary to accord with the proposed garden boundaries along the north of the site from plots 88 to 13, as well as several other locations where for instance landscape work is to be undertaken by developer and then the land returned to CNT.

2 Omit misleading hedge and tree symbols plots 80 to 88. Just show the existing vegetation to be retained beyond the site boundary.

3 Provide key notation for surface treatments, and show materials types for hard surfacing

4 Shade roofs to garages as for houses to indicate that they are to be built. No details provided for free standing garages.

5 Details required for screen walls at plots 8, 89. If piers are not intended don't show them. Align the wall at plot 8 along the adoption line.

6 Plot 88 garden too small - we will be indicating a revised site boundary in this location so that the gardens for 87,88 can be increased and 85,86 reduced in size.

7 Plot 88 driveway access too acute angle rotate the driveway anticlockwise

8 Plot 78,79 gardens too small; increase size by narrowing garden of Plot77 by approx 1m.

9 Plot 89 no windows presently overlook the main garden area. Suggesting handing of this property and having windows overlooking the garden.

10 Plot 50 too close to the path. Move 49&50 to the east to enable property to be moved further from the footpath.

11 Plots 6,7,8 inadequate turning for access to parking possibly ease this by shortening rear gardens.

12 Plots 68,69 which version is intended for driveways? The layout on the landscape plan is different from the layout on scheme four. Suggest that the landscape plan 119/01A is preferable

13 Footpath Corridor at north of site. No clear detail of this actually being undertaken by the developer. CNT is producing comments in sketch form this area and these will be sent in due course.

SER 23/07/98

BSI Registered Firm  
BSEN ISO 9001 : 1994  
Certificate No FS20794

## WS Atkins - North West

A division of WS Atkins Consultants Limited

WS Atkins House  
Birchwood Boulevard  
Birchwood  
Warrington  
WA3 7WA

### FACSIMILE TRANSMISSION

Tel: (01925) 828987 Fax: (01925) 828153

To :  Company :

From :  Date :

Your Ref :  Our Ref :

Destination Fax No. :  Number of pages to follow :

Subject :

#### Message:

s. 40(2)

We estimate the following "abnormal" costs as requested by s. 40(2) today:

- |  |       |
|--|-------|
| 1. Footpath to the north of the site between valentine Lane and the existing collector road at £61/sq.m.:- | £9500 |
| 2. Gas main from existing on Cottam Way to site boundary:-   | £6000 |
| 3. LV electric cable from sub-station to site boundary   | £2500 |

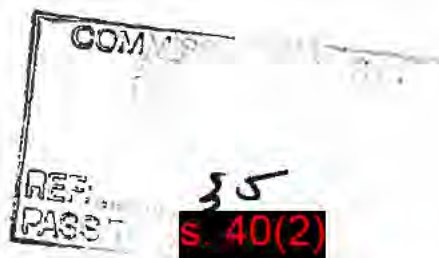
*(Water already provided by CNT)*

As an aside we understand from a recent meeting with TransCo that should the houses fronting Site J1 and coming within 23 metres of the above gas pipeline comprise 15% of the houses within that site then the owner of the pipeline will have total rights to the infrastructure for Site J1.

Because this has occurred at Cottam Site A Transco are claiming the rights to the infrastructure for Site A1.

Regards

s. 40(2)



**HOWARD AND SEDDON PARTNERSHIP**  
64 WASHWAY ROAD  
SALE  
CHESHIRE  
M33 7RE

**FACSIMILE TRANSMISSION**

TEL: 0161 973 8296  
FAX: 0161 962 3485

COMMISSION FOR THE  
NEW TOWNS  
RECEIVED  
20 JUL 1998  
REF: ...  
PASS T

To: s. 40(2)

From: BK SEDDON s. 40(2)

Fax: Pages: 2

Phone: Date: 20 July 1998

Re: CC:

Urgent    For Review    Please Comment    Please Reply    Please Recycle

• Comments: SITE J2 COTTAM WAY COTTAM VILLAGE PRESTON

# HOWARD AND SEDDON PARTNERSHIP

Tel 0161 93 8236 64 Washway Road Sale Cheshire M33 7RE Fax 0161 962 3485

In Association with Townland Consultants H.K.

e-mail s.40(2)@netcomuk.co.uk

Chartered Architects

web www.netcomuk.co.uk/~hsriba

DKS/CAS

20 July 1998

BY FAX

s. 40(2)

Commission for the New Towns

P O Box 49

New Town House

Development Office

Warrington

Cheshire

WA1 2LF

Dear s. 40(2)

PROPOSED RESIDENTIAL DEVELOPMENT

SITE J2

COTTAM WAY COTTAM VILLAGE PRESTON

Further to your discussions with our s. 40(2) this morning, we would be grateful for your urgent observations in relation to our drawing number S042/22H in your possession in order that the outstanding Detailed Planning application can be approved, to enable works to commence on site. Your faxed response would be very much appreciated please.

Yours sincerely

s. 40(2)

cc Faxed to

Faxed to s. 40(2)

MANCHESTER

HONG KONG

HK Seddon 95, (Hong) MS, Dir. No. 11, 121, 1184



# HOWARD AND SEDDON PARTNERSHIP

Tel 0161 973 8296 64 Washway Road Sale Cheshire M33 7RE Fax 0161 962 3485  
In Association with Townland Consultants H.K.

e-mail: s.40(2)@netcomuk.co.uk Chartered Architects web: www.netcomuk.co.uk/~hsriba

DKS/CAS

20 July 1998

BY FAX

s. 40(2)

Commission for the New Towns  
P O Box 49  
New Town House  
Buttermarket Street  
Warrington  
Cheshire  
WA1 2LF



Dear s. 40(2)

PROPOSED RESIDENTIAL DEVELOPMENT  
SITE J2  
COTTAM WAY COTTAM VILLAGE PRESTON

Further to your discussions with our s. 40(2) this morning, we would be grateful for your urgent observations in relation to our drawing number 5042/22H in your possession in order that the outstanding Detailed Planning application can be approved, to enable works to commence on site. Your faxed response would be very much appreciated please.

Yours sincerely  
s. 40(2)

MANCHESTER HONG KONG

s. 40(2) BSc (Hons) MSc Dip Arch (Lond) RIBA  
Associates s. 40(2) MA Dip Arch (Mand) RIBA s. 40(2) (T)

# HOWARD AND SEDDON PARTNERSHIP

Tel: 0161 973 8296 64 Washway Road Sale Cheshire M33 7RE Fax: 0161 962 3485

In Association with Townland Consultants H.K.

e-mail: s.40(2)@netcomuk.co.uk

Chartered Architects

web: www.netcomuk.co.uk/~hsriba

IMcK/CAS

1 July 1998

s. 40(2)

Commission for the New Towns  
P O Box 49  
New Town House  
Buttermarket Street  
Warrington  
Cheshire  
WA1 2LF



Dear s. 40(2)

PROPOSED RESIDENTIAL DEVELOPMENT  
SITE J2  
COTTAM WAY COTTAM VILLAGE PRESTON

Further to the issue of the amended co-ordinated boundary Brief Plan, numbered AY2226/536i/001 rev. A, and your comments/sketches, please find enclosed two copies of our amended drawing number 5042/22H, for your approval.

Trusting the enclosed meets with your approval.

s. 40(2)

s. 40(2) way Urban Renewal, with drawing  
s. 40(2) Steven Hunt Partnership, with drawing

MANCHESTER

HONG KONG

s. 40(2) BSc (Hons) MSc Dip Arch (Lon) RIBA

Associates s. 40(2) MA Dip Arch (Manc) RIBA; s. 40(2) (T)

Specific work requirement in  
respect of additional services

**CNT**

PO Box 49  
New Town House  
Buttermarket Street  
Warrington, Cheshire WA1 2LF

Tel: 01925 651144  
Fax: 01925 411493

**WEST MIDLANDS & NORTH**

No <b>NL 0044</b>				
Consultants Instruction No <b>LE04</b>			File reference <b>SER/COTTAM J2</b>	
Ranking/Target/Completion date <b>07/06/98</b>				
Date <b>02/06/1998</b>				
Town <b>Central Lancashire</b>				
Location <b>Cottam Residential Area, Site J2, Central Lancashire.</b>				
Code <b>24</b>	<b>80</b>	<b>20</b>	<b>01</b>	<b>VDC CL</b>

To:

**The Environment Practice  
Genesis Centre,  
Birchwood Science Park,  
WARRINGTON.  
WA3 7BH**

Details of work required

**DEVELOPER'S LANDSCAPE SCHEME : COTTAM J2**

You have been sent Drawings 119/01 (and coloured A3 extracts), 5042/22 and plant species list, in respect of above site which is currently undergoing 7(2) consultation.

The layout maybe subject to minor amendments and require further detail in respect of fences etc.

Please prepare comments for passing back to developer.

**s. 40(2)**

Signature \_\_\_\_\_

Is this confirmation a

Original + White = Consultant

Green = Input

Yellow = Finance

Pink = Originator

Blue = File

For Management Unit use

Invoice No. \_\_\_\_\_ dated \_\_\_\_\_ fee paid against this agreement £ \_\_\_\_\_

Fees paid against previous invoices for this requirement £ \_\_\_\_\_

Fees paid to date for this requirement £ \_\_\_\_\_

Are further fee payments anticipated — Yes/No Time/Cost estimate: 4 hrs £ \_\_\_\_\_

Coyne to

s. 40(2)

Howard &amp; Seddon



CNT NORTH

FACSIMILE

New Town House, Buttermarket Street, Warrington, Cheshire WA1 2LF  
Tel 01925 851144 Fax 01925 411493 Web www.cnt.org.uk

TO: s. 40(2)	COMPANY: Bellewa Homes.
FAX NO: 0161 628 3223	FROM: s. 40(2)
DATE: 25/6/98	TIME: 1.05.
FAX CONTAINS COVER SHEET PLUS 1	PAGES

MESSAGE:

Cottan 02.

- 1) Drive way of Plot 76 extends beyond coordinated boundary  
∴ Plot 76 & adjacent need slight adjustment.
- 2) Amorphous head needs moving in approximately SE direction and this needs discussing with s. 40(2) @ WSA (01925 828987)
- 3) Drive way in front of No 72, 73 needs to be moved up to within a coordinated boundary so that boundary fencing follows line of drive way with no private land on opposite side of drive way from the properties.
- 4) Realign maintenance areas to open space.

ANY PROBLEMS CONTACT s. 40(2)

TELEPHONE: s. 40(2)

EXTENSION

FAX:

WARRINGTON

RESIDENTIAL DEVELOPMENTS

MEMORANDUM

DATE 21. MAY. 1998

Commission for the New Towns



FROM

s. 40(2)

YOUR REFERENCE

RFG/BR

[Ext 4647]

TO

s. 40(2)

&

MY REFERENCE

s. 40(2)

DDPTS

LPE,

EM

RLSS

s. 40(2)

Comments

SUBJECT:

7(2) Submission

Name of Scheme: BELWAY HOMES

Site: COITAM SITE 52.

The attached drawings as described below have been submitted for approval by the Commission under S7(2). Any comments should be passed to s. 40(2) as soon as possible.

Please return the drawings with your reply.

Drawings:

AS ATTACHED.

Comments:

RAO advise fencing canal body, etc.

Encl:

Approve 7(2) then advise RAO of approval & consultation open space.

COMMISSION FOR THE NEW TOWNS

**THE TOWN AND COUNTRY PLANNING (NEW TOWNS)  
SPECIAL DEVELOPMENT ORDER 1977**

SITE: Cottam Hall Site J2

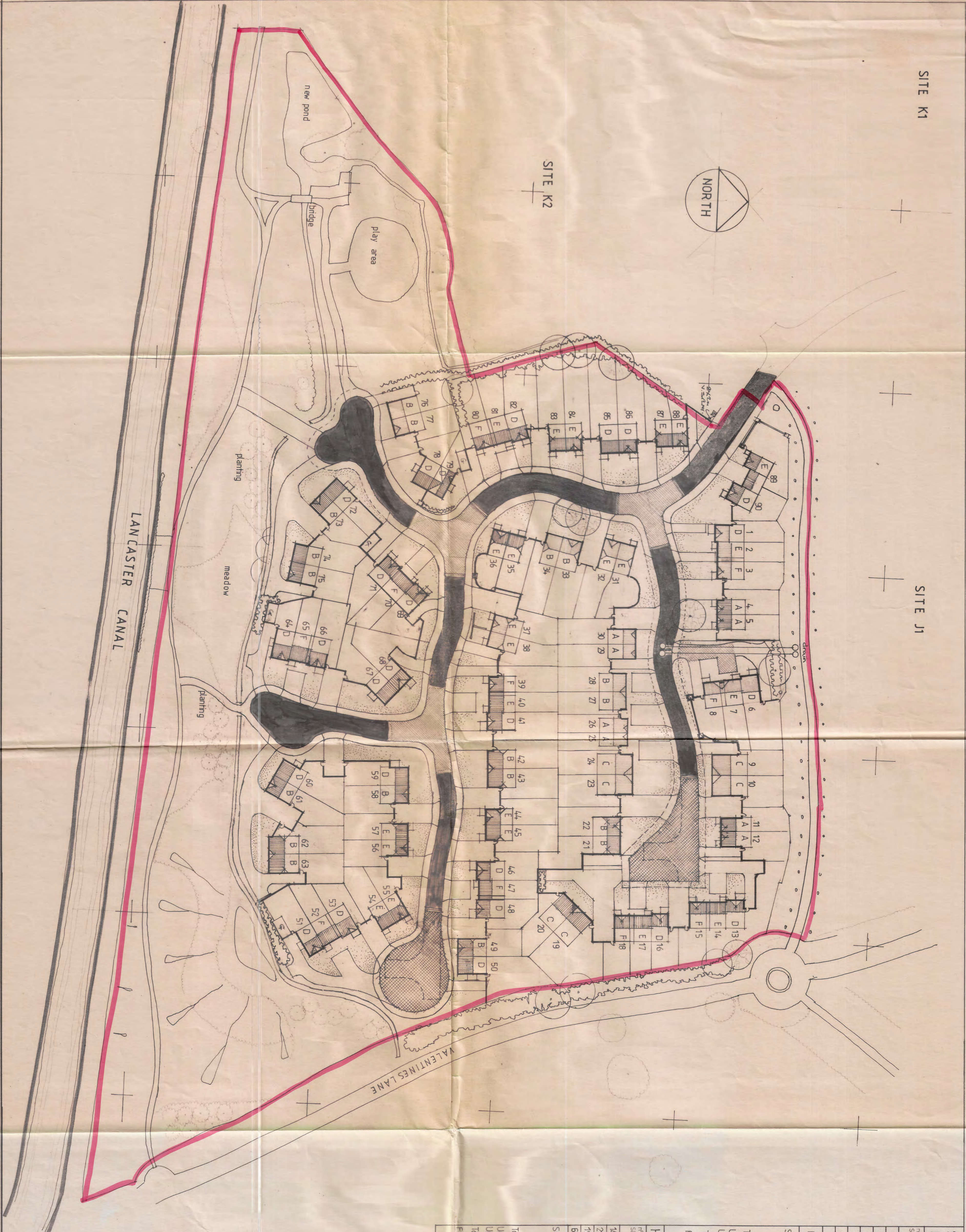
In accordance with Article 8 of the above Order I confirm that the Commission for the New Towns have consulted me regarding the layout of new streets and I am satisfied with the proposals as shown on Drawing Number:

5042/22 Rev.G

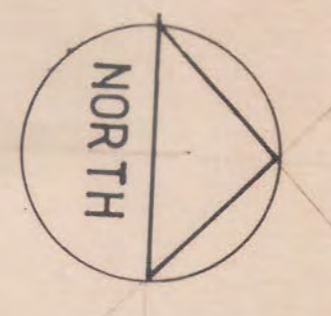
Signed: ... **s. 40(2)**  
**s. 40(2)**  
Preston Borough Council

Date: ..... 11th June 1998 .....

• Site J2 • off Cottam Way • Cottam Village •



SITE K1



SITE K2

SITE J1

SCHEDULE FOR ACCOMMODATION  
HOUSES FOR RENT - PLOTS 1 to 30

NO. ON SITE	DWELLING TYPE	BEDS	CONVERSION	CAR PARKING PROVISION	GROSS FLOOR AREA
8	A - TENBY	2	SEMI-DET	2P SPACES	600
4	B - TARVIN	3	SEMI-DET	2P SPACES	740
6	C - GRANGE	4	SEMI-DET	2P SPACES	1065
4	D - CHATSWORTH	3	END TERRACE	2P SPACES	728
4	E - STODLEY	2	MID TERRACE	2P SPACES	583
4	F - KINGSTON	3	END TERRACE	2P SPACES	655

NB: 1 PLOTS 25 & 26 PARKING PROVISION = SPACE +50%

Site area	Overall	Developable	Public open space
	Acres 1.56	Acres 1.56	Acres 0
Total no of units on site	30		
Units per overall acre	19.23		
Units per developable acre	19.23		
Total gross internal floor area	50 FT	22078	
Floor area+ site area (overall) (developable)	50 FT	12832	12832

HOUSES FOR SALE - PLOTS 31 to 90

NO. ON SITE	DWELLING TYPE	BEDS	CONVERSION	CAR PARKING PROVISION	GROSS FLOOR AREA
14	B - TARVIN	3	SEMI-DET	2P SPACES	740
21	D - CHATSWORTH	3	END TERRACE	2P SPACES	728
19	E - STODLEY	2	MID TER./SEMI	2P SPACES	583
6	F - KINGSTON	3	END/MID TER	2P SPACES	655

Site area Overall  
Developable Acres 4.03  
Public open space Acres 3.45

Total no of units on site 60  
Units per overall acre 8.02  
Units per developable acre 14.89  
Total gross internal floor area 50 FT 54.36  
Floor area + site area (overall) (developable) 50 FT 12089

**BELTWAY HOMES**  
URBAN RENEWAL (NORTHERN)  
(a member of Building The Group of Companies)  
Cottam House, Middle Street, Chadderton, Oldham,  
Greater Manchester, OL3 7JL  
Tel: 0161 629 7777 Fax: 0161 619 3233

Urban Renewal Southern  
11th Floor, 1 Finsbury Square, London, EC2A 3DF  
Tel: 020 7460 8000 Fax: 020 7460 8000

9 Kewer Crescent, Chadderton, Oldham, Greater Manchester, OL3 7JL  
Tel: 0161 629 7777 Fax: 0161 619 3233

**PROPOSED SITE LAYOUT  
SCHEME FOUR**

SITE J2 off COTTAM WAY  
COTTAM VILLAGE  
PRESTON

Architect: **HOWARD & SEDDON** 504/21/22

Printed

# HOWARD AND SEDDON PARTNERSHIP

Tel: 0161 973 8296 64 Washway Road Sale Cheshire M33 7RE Fax No 0161 962 3485

In Association with Townland Consultants H.K.

Chartered Architects



PRO  
Lan. McKinnel  
12 Bridge Road

With Compliments

PR1 2RL

SEM/IMCK 23/6/98

Dear s. 40(2)

## PROPOSED RESIDENTIAL DEVELOPMENT COTTAM WAY COTTAM VILLAGE PRESTON

Further to our telephone discussions with reference to the above, please find enclosed a copy of our drawing number 5042/22C incorporating the following changes:

- 1) Plots 82 to 85 have been moved forward to reduce the depth of the front garden.
- 2) Plots 19 and 20 have been reorientated through 45° to face hammerhead.
- 3) Plots 49 to 50 have been moved forward to accommodate privacy distance.
- 4) We have examined the cul-de-sacs and amended same so there is variation to the turning head designs.

Trusting these meet with your approval. Could you please confirm same.

Yours sincerely

s. 40(2)

s. 40(2)

SEDON

llway Urban Renewal  
Bellway Urban Renewal  
llway Urban Renewal  
eston Highways Department  
Commission for the New Towns

PRO JUST Hamby  
New paper house

Tanning house

Penketh

Warrington

UAS 24D.

0925 722 003

Plenary hall  
to architect

MANCHESTER

HONG KONG

s. 40(2)

Sc (Hons) MSc Dip Arch (Lon) RIBA AB Babington Dip Arch (Manc) RIBA





Actual impact point  
A Carter → 20122 The Coopers



s. 40(2)  
15 Tew Tree Drive  
Blackburn  
Lancs.  
BB2 7DW  
England  
Tel: 01254 265036 (H)  
01772 404016 (W)

COMMISSION FOR THE  
NEW TOWNS  
RECEIVED  
24 APR 1998  
REF: ..... 26 .....  
PASS TO: s. 40(2) .....


20<sup>th</sup> April 1998

Mr. s. 40(2)  
Commission for New Towns North  
P.O. Box 49  
New Town House  
Buttermarket Street  
Warrington  
WA1 2LF

Dear s. 40(2)

Firstly please accept my apologies for the delay in sending this letter. I was hoping to be able to include the artwork for the line drawing, which I would like to include on the proposed memorial plaque, but I am afraid that I am still awaiting this. I have enclosed copies of the two recent newspaper articles on this project, which were initiated in the hope that relatives of the pilot may still live in the Lytham St Annes area. These articles resulted in the pilots technical observer getting in touch, he apparently should have accompanied s. 40(2) on the fateful flight, but a minor technical problem with his parachute led to s. 40(2) telling him not to bother rather than delay what was to be only a five minute "hop" anyway. He is very keen on this project and wishes to be involved in any unveiling that may take place, as no doubt the local R.A.F.A. would be as well.

The proposed layout for the plaque is as follows:



On March 25<sup>th</sup> 1952, close to this spot, Flight Lieutenant T.B.O. s. 40(2) lost his life in English Electric Canberra WD 991 whilst apparently trying to take the aircraft clear of nearby residential districts. The aircraft, on its maiden flight from the Samlesbury factory to Warton Aerodrome for final testing, exploded on impact in what was then farmland damaging a nearby cottage on Valentines Lane but causing no further casualties.

Placed by the Lancashire Aircraft Investigation Team in association with The Commission for New Towns

not a Canberra

I hope this meets with your approval. I feel that it is important to keep the inscription simple and to the point, although a little more detail may be appropriate and I may update this when I send the artwork. The statement of responsibility is obviously open to rearrangement or addition if required. I look forward to your comments or any news of any progress on this project.

s. 40(2)







**MINISTRY OF DEFENCE**  
**3-5, Great Scotland Yard, London SW1A 2HW**

Telephone (Direct dial) 0171 218 5458  
(Switchboard) 0171 218 9000  
(Fax) 0171 218 5927

s. 40(2)  
13 Yew Tree Drive  
Blackburn  
Lancashire  
BB2 7DW

Your Reference  
  
Our Reference  
D/AHB(RAF)8/17  
Date  
18 February 1998

*Dear* s. 40(2)

Thank you for your letter of 30 January 1998 concerning Flight Lieutenant s. 40(2) 186109.

Brief information taken from the casualty file shows that on 25 March 1952, Flt Lt s. 40(2) was piloting a Canberra aircraft for The English Electric Company Limited, which crashed and exploded in a field near Preston, Lancashire, sadly resulting in the loss of life of the Pilot.

s. 40(2) was born in South Wales on 16 September 1922 and was serving with 42 Reserve Centre, RAF Fazakerley, Liverpool, at the time of his death. s. 40(2) had not been decorated.

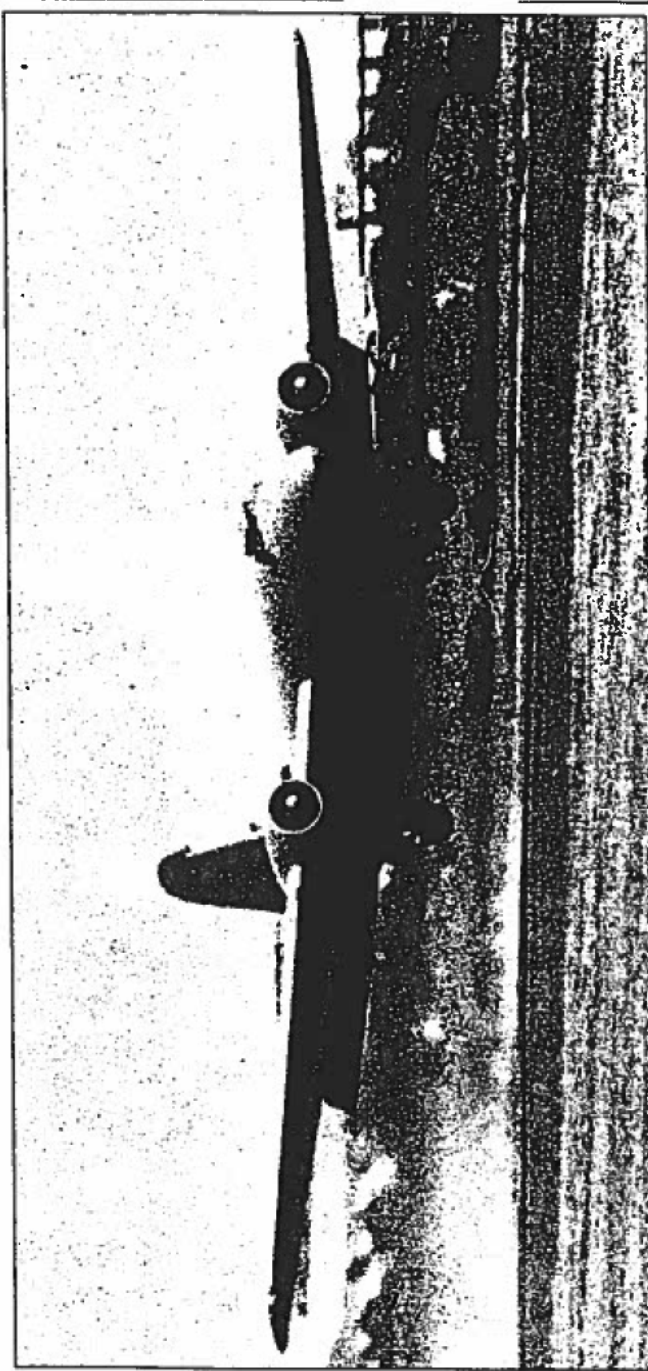
The Air Historical Branch has no objection to s. 40(2) rank being included on the plaque.

I hope this information proves helpful.

Yours sincerely  
s. 40(2)  
AHB3(RAF)



"L-ST.A EXPRESS", THUR, 26.3.98, PAGE 25.



● Lift off: The take-off from Warton Aerodrome of the first Canberra prototype in 1949

# Lasting tribute to crash pilot

**A COURAGEOUS St**  
Annes pilot who died  
on a test flight to  
Warton is due to be  
remembered with a  
memorial.

Flight Lieutenant  
Thomas James was fly-  
ing an Electric Canber-  
ra when it mysteriously  
crashed on its first  
flight in March 1952.

The 29-year-old, of Light-  
burne Avenue, died in the  
Cottam area just outside  
Preston after diverting the  
aircraft from a residential  
area below.

Now the Lancashire Air-  
craft Investigation Team is  
hoping to erect a plaque in  
his name at the crash site.

They pinpointed the  
spot, after researching the  
accounts of local eye-wit-  
nesses and old records, as  
lying under a recently built  
housing development.



● Grim news: A newspa-  
per report after the crash

By [redacted]  
And with the help of the  
landowners, they are hop-  
ing to erect the plaque as  
part of a newly refur-  
bished footpath.

The Welsh-born test  
pilot, known as [redacted]  
was flying the English  
Electric Canberra on its  
first flight from Samles-  
bury to the company's  
Warton airfield for final  
pre-delivery testing.

The plane was seen fly-  
ing low over the outskirts  
of Preston before coming  
down in a field, making a  
huge crater and exploding.

It was thought [redacted]  
decided to stay with his  
stricken plane, rather than  
eject, until he was clear of  
a residential area below.

Wreckage was scattered  
over several fields, and  
parts of the shell burst into  
flames.

The front windows of a  
nearby cottage were  
smashed and flying debris  
made a hole in its roof.

Firefighters and ambu-  
lance staff went to the  
scene but there was noth-  
ing they could do to save  
[redacted] who was serving  
with the RAF.

Officials had to break the  
heartbreaking news to his  
wife and three children.

And [redacted] friends -  
many from the St Annes  
area - were devastated.

The exact cause of the  
accident is a mystery but  
one explanation is a techni-  
cal problem with the  
tailplane.

B O R O U G H C O U N C I L

Date : 23rd March 1998  
Your ref: RFG/MA  
Our ref: ADP/WJH-G/9-33-8  
Ask for: Mr Harwood-Geall  
Telephone: (01772) 906584  
Fax: (01772) 906762

S. 40(2)



COMMISSION FOR THE  
NEW TOWNS  
RECEIVED  
29 JUN 1998  
REF:.....  
PASS TO:..... S. 40(2).....

S. 40(2)  
S. 40(2)

Dear Sirs,

NEW TOWNS ACT 1981: SECTION 7(2) CONSULTATION. PARCELS N1 AND J2, COTTAM, PRESTON. PROPOSED RESIDENTIAL DEVELOPMENT.

I refer to your letters of the 20th and 25th May and enclosures regarding the above development.

A report, copy enclosed, regarding the above parcels was considered by Planning Committee on the 17th June. The Committee agreed the recommendation set out in paragraph 7.1. of the report.

S. 40(2)

RGK/WJH-G Admin 30/6/98

SRM  
Application  
On the  
Aug 6 1998  
Planning Office

Copied to  
31/6/98  
S. 40(2)  
Howard Seddon  
p 32.

CNT NORTH  
NEW TOWN HOUSE  
BUTTERMARKET STREET  
WARRINGTON  
CHESHIRE  
WA1 2LF









COMMITTEE	•	PLANNING COMMITTEE
DATE	•	17th June 1998
REPORT BY	•	s. 40(2)
WARDS	•	WARD PRESTON RURAL WEST
SUBJECT	•	New Towns Act 1981. Section 7(2) Consultation. Parcels J2 and N1, Cottam, Preston.

## 1. PURPOSE OF THE REPORT

- 1.1. The development of the Cottam Area was approved in principle under the New Towns Act 1965 (now the New Towns Act 1981). The development proposed was for housing, local and district centre, public house, schools and open space. As each parcel is released for development the Commission consult this authority for that parcel. This report considers the consultation in respect of Parcels J2 and N1.

## 2. THE PROPOSALS.

- 2.1. Parcel J2 - This is immediately to the west of Valentines Lane and abuts the canal. 90 dwellings are proposed in the form of either semi-detached or terraces of 3 dwellings. Of these 30 dwelling will be social/affordable housing.
- 2.2. Parcel N1 - This is to the west of the proposed Village Centre. The illustrative layout shows a development of 59 dwellings and includes the adjoining small farm to the east which is not in CNT ownership (Woodfield Farm). 48 dwellings are on Parcel N2 and 11 dwellings on the farm site. It is a mix of detached, terraced and a courtyard development. Most will be two storey but three dwellings have been designated "landmark buildings" and will have be three storeys. The farm will have to be the subject of a planning application as it is not included within the original 7(1) approval; it will have vehicular accesses from Parcel N1.
- 2.3. The two parcels are shown on the attached location plan. The layouts will be displayed at the meeting.
- 2.4. A public footpath crosses N1 and either CNT or the developer will have arrange for this to be diverted.



3. OBSERVATIONS.

- 3.1. All of the land is allocated for residential development in the Deposit Draft Preston Local Plan.
- 3.2. Housing development is assessed against Policy D12 (Housing Standards) of the Deposit Draft Local plan. This seeks to raise design standards, creating distinctive housing schemes and have a sense of place. This objective is reinforced through the Housing Design Guide which forms Supplementary Guidance to the Draft Local Plan.
- 3.3. Both submissions followed design guidance given by my officers and pre-submission discussions. This has been proved very worthwhile and both layouts reflect this advice and the criteria of Policy D12 and the Design Guide. Parking provision is adequate and play provision is made either within the site (J2) or on adjacent parcels and within CNT overall provision.
- 3.4. The diversion of the public footpath across Parcel N2 and Woodfield Farm will have to be the subject of a closure order under with the Town and Country Planning Act 1990 or the Highways Act. This would seem justifiable bearing in mind the alternative route which will pass through the village green to the south, and the extensive footpath network which will form part of the Cottam development.

4. IMPACT STATEMENT

- 4.1. Equal Opportunities Policy - The proposed development does not have a significant impact on the Council's Equal Opportunities Policy.
- 4.2. Agenda 21 - The proposed development does not have a significant impact on the Council's Agenda 21 Policy.
- 4.3. Anti-poverty Strategy - The provision of social housing is supportive of the Council's anti-poverty strategy.

5. COMMITTEE TARGETS

- 5.1. This report does not relate to a Committee target.

6. CONCLUSIONS.

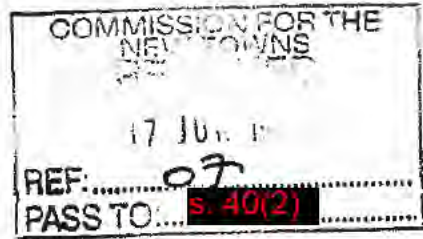
- 6.1. Both schemes are satisfactory in that they have taken on board the criteria set out in policy D12 and the design guide.

7. RECOMMENDATION

- 7.1. That Committee is recommended to:

- (1) raise no objection to the development of Parcel J2 and
- (2) raise no objection to the layout proposed for Parcel N1 as a Section 7(2) submission, subject to being consulted on the design of the detailed house types.
- (3) raise no objection to the proposed development of Woodfield Farm as an extension of the residential development of Parcel N1.





**LEA PARISH COUNCIL**

Clerk to the Council -  
s.40(2)  
30 Gaythorne Avenue  
Preston  
Lancs  
PR1 5TA.

Phone : 01772 792235

Commission for New Towns  
PO Box 49  
New Town House  
Buttermarket Street  
Warrington  
WA1 2LF

13 June 1998

Your Ref RFG/AS

FAO s.40(2)

Dear s.40(2)

New Towns Act 1981 : Section 7(2) parcels N1 & J2 Cottam

Further to your letter dated 26 May 1998 regarding the above applications I wish to inform you that the Parish Council will be considering these at their meeting on the 29 June 1998. I regret that I am unable to give the council's response until after the meeting, but in the meantime I would be grateful if you could supply some further information regarding the application for parcel N1.

Can you let me know (a) who the applicant is (b) for how many houses and (c) the numbers for sale or rent, as detailed in the plans you have sent me for parcel J2.

Yours sincerely

s.40(2)

s. 40(2)

DEBBYONS.

J2

Your Ref.:  
Our Ref.:  
Please ask for:  
Ext.:

REG/AS  
s. 40(2)  
4647

26 May 1998

s. 40(2)  
s. 40(2)

30 Gaythorne Avenue  
Preston  
Lancashire  
PR1 5TA

Dear s. 40(2)

**NEW TOWNS ACT 1981 : SECTION 7(2) PARCELS N1 AND J2, COTTAM**

CNT has received applications for both parcel N1 and J2 at Cottam for residential development.

I attach a copy of drawings submitted and should be pleased to receive any comments within 21 days of the date of this letter. If I do not hear from you by then, it will be assumed you have none to offer.

Yours sincerely

s. 40(2)

s. 40(2)

Encl.:- Site Layout 97/4/2611/7-01  
Location Plan  
House Types

*File Ref: PC/WR/CL/98/08*  
*Our Ref: RFG/MA*  
*Tel Direct Dial: 01925 644647*

22 May 1998

s. 40(2)

Preston Borough Council  
P O Box 10  
Lancastria House  
77/79 Lancaster Road  
Preston  
Lancs  
PR1 2RH

Dear

**NEW TOWNS ACT 1981 : SECTION 7(2)**  
**SITE J2 - COTTAM - PRESTON**

The CNT have received an application from Howard and Seddon Partnerships on behalf of Bellway Homes for erection of 90 houses on the above site.

I attach copy drawings submitted and should be pleased to receive any comments within 21 days of the date of this letter. If I do not hear from you by them, it will be assumed you have none to offer.

Yours faithfully

s. 40(2)

s. 40(2)

Enc



# HOWARD AND SEDDON PARTNERSHIP

Tel 0161 973 8296 54 Washway Road Sale Cheshire M33 7RE Fax 0161 962 3485

In Association with Townland Consultants H.K.

email: s.40(2)@netcomuk.co.uk

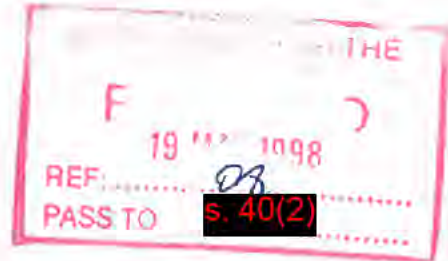
Chartered Architects

web: www.netcomuk.co.uk/~hsnba

BLWCB

18 May 1998

s.40(2)  
Commission for the New Towns  
New Town House  
Buttermarket Street  
Warrington  
WA1 2LF



Dear s.40(2)

**PROPOSED RESIDENTIAL DEVELOPMENT  
SITE J2 OFF COTTAM WAY COTTAM VILLAGE PRESTON**

Please find enclosed further to our discussions the following for your detailed planning approval:-

- 1) A copy of your submission Form 1.
- 2) 6 no. copies of our drawing numbers 5042/19A, 20A, 21A, 22G, 23, 24, 25, 26, 27, 28, 29, 30.

Should you have any queries please do not hesitate to contact us.

Yours faithfully

**s. 40(2)**

for HOWARD AND SEDDON

Encs

cc s.40(2) Bellway Urban Renewal  
cc s.40(2) Bellway Urban Renewal

NEW TOWNS ACT 1987 · SECTION 7 · THE TOWN  
AND COUNTRY PLANNING (NEW TOWNS) SPECIAL  
DEVELOPMENT ORDER 1977 AND TOWN AND  
COUNTRY PLANNING (NEW TOWNS) SPECIAL  
DEVELOPMENT (AMENDMENT) ORDER 1985.

Commission for the New Towns



NORTH

APPLICATION No.

APPLICATION FOR AUTHORISATION OF PROPOSED  
DEVELOPMENT (FORM 1)

Application is hereby made to The Commission for the New Towns for  
authorisation of the development described below and in the  
accompanying drawings and associated documents (if any)

SIGNED .....

DATE .....

NAME OF APPLICANT Bellway Homes  
(Urban Renewal Northwest)

NAME OF AGENT (IF ANY) Howard and Seddon  
Partnership

ADDRESS Compass House, Neville Street,  
Chadderton, Oldham, OL9 6LD.

ADDRESS 64 Washway Road  
Sale, Greater Manchester, M33 7RE

TELEPHONE No. 0161 620 7797

TELEPHONE No. 0161 973 8296

ADDRESS OR LOCATION OF PROPOSAL  
Site 'J2' off Cottam Way  
Cottam Village, Preston.

IN THE CASE OF INDUSTRIAL OR COMMERCIAL DEVELOPMENT  
DESCRIBE:

DESCRIPTION OF DEVELOPMENT Erection of  
90 houses in semi-detached news setting.

1. THE PRODUCTION PROCESS AND PRODUCT .....

N/A

AREA 9.04 ac/ha

INTEREST TO BE ACQUIRED:

FREEHOLD  SEWERS

LEASEHOLD  OPEN SPACE

BUILDING LICENCE  FOOTPATHS

2. THE TYPE OF PLANT AND MACHINERY TO BE INSTALLED:

N/A

3. ANY TOXIC, FLAMMABLE, EXPLOSIVE OR OTHERWISE  
POTENTIALLY DANGEROUS MATERIALS TO BE USED OR STORED  
ON SITE:

N/A

LIST TYPE AND NUMBER OF DWELLINGS: A. Terby 8 no. 2 bed  
B. Tarvin 22 no. 3 bed; C. Grange 6 no. 4 bed;  
D. Chatsworth 25 no. 3 bed;  
E. Studley 23 no. 2 bed;  
F. Kingston 10 no. 3 bed.

4. THE NUMBER OF EMPLOYEES N/A

5. GROSS FLOOR SPACE FOR THE FOLLOWING USES: N/A

OFFICE ..... FACTORY ..... TOTAL .....

WAREHOUSE ..... OTHER ..... RETAIL .....

6. NUMBER OF PARKING SPACES:

STAFF ..... VISITORS ..... DELIVERY .....

THE ABOVE IS A SUMMARY OF THE PROPOSAL BUT FURTHER INFORMATION MAY BE  
REQUIRED.

LIST OF DOCUMENTS AND THEIR NUMBERS  
5042/22G, 19A, 20A, 21A, 23, 24,  
25, 26, 27, 28, 29, 30.

RETURN TO

s. 40(2)

COMMISSION FOR THE NEW TOWNS  
NEW TOWN HOUSE  
BUTTERMARKET STREET  
WARRINGTON, WA1 2LF

WARRINGTON

RESIDENTIAL DEVELOPMENTS

MEMORANDUM

DATE 21 MAY 1998

Commission for the New Towns



FROM s. 40(2) g &  
TO s. 40(2)

YOUR REFERENCE

RFG/BR  
[Ext 4647]

MY REFERENCE

s. 40(2) DDPTS  
LPE,  
EM  
RLSS

SUBJECT: 7(2) SUBMISSION  
Name of Scheme: BELLWAY HOMES  
Site: COITAM SITE J2.

The attached drawings as described below have been submitted for approval by the Commission under S7(2). Any comments should be passed to s. 40(2) as soon as possible.

Please return the drawings with your reply.

Drawings: AS. ATTACHED.

Comments:

Encl:

# PRESTON

B O R O U G H C O U N C I L



s. 40(2)

s. 40(2)

From

For information

As requested

For action/reply



With Compliments

Planning Department  
Lancastria House, 77/79 Lancaster Road, Preston, PR1 2RH.



Date : 11th May 1998  
Your ref:  
Our ref: ADP/WJH-G/913c  
Ask for: s. 40(2)  
Telephone: (01772) 906584  
Fax: (01772) 906762

Dear Sirs,

NEW TOWNS ACT 1985 - PROPOSED RESIDENTIAL DEVELOPMENT, PARCEL J1 COTTAM, PRESTON.

I refer to your letter of the 27th April, its enclosure and to s. 40(2) telephone conversation of the 11th May with your s. 40(2) regarding the above development.

I confirm that the layout details shown on drawing number 5042/22/C incorporate the improvements which I have previously requested. The scheme is considered to be satisfactory.

In the circumstances, I would suggest that you make a formal submission to the Commission for the New Towns. Please contact s. 40(2) of the Commission as to the form and content of the submission.

Yours faithfully,

s. 40(2)  
s. 40(2)

s. 40(2) Commission for the New Towns

HOWARD AND SEDDON PARTNERSHIP  
64 WASHWAY ROAD  
SALE  
CHESHIRE  
M33 7RE

# HOWARD AND SEEDON PARTNERSHIP

Tel: 0161 973 8296 64 Washway Road Sale Cheshire M33 7RE Fax No 0161 962 3485

In Association with Towland Consultants H.K.

Chartered Architects

COMMISSION FOR THE  
NEW TOWNS  
RECEIVED

28 APR 1998

REF: [REDACTED] s. 40(2)

PASS TO:.....

With Compliments

# HOWARD AND SEDDON PARTNERSHIP

Tel: 0161 973 8296 64 Washway Road Sale Cheshire M33 7RE Fax: 0161 962 3485

In Association with Townland Consultants H.K.

Chartered Architects

IMcK/CB

27 April 1998

s. 40(2)

Planning Officer  
Preston Borough Council  
Planning Department  
P O Box 10  
Lancastria House  
77/79 Lancaster Road  
Preston  
PR1 2RL

Dear s. 40(2)

PROPOSED RESIDENTIAL DEVELOPMENT  
COTTAM WAY COTTAM VILLAGE PRESTON

Further to our telephone discussions with reference to the above, please find enclosed a copy of our drawing number S042/22C incorporating the following changes:

- 1) Plots 82 to 85 have been moved forward to reduce the depth of the front garden.
- 2) Plots 19 and 20 have been reorientated through 45° to face hammerhead.
- 3) Plots 49 to 50 have been moved forward to accommodate privacy distance.
- 4) We have examined the cul-de-sacs and amended same so there is variation to the turning head designs.

Trusting these meet with your approval. Could you please confirm same.

Yours sincerely

s. 40(2)

for HOWARD AND SEDDON

- cc s. 40(2) ellway Urban Renewal
- cc Bellway Urban Renewal
- cc Bellway Urban Renewal
- cc Preston Highways Department
- cc Commission for the New Towns

MANCHESTER

HONG KONG

DK Seddon BSc (Hons) MSc Dip Arch (Lon) RIBA AB Babington Dip Arch (Manc) RIBA

Associate: EG Seddon MA Dip Arch (Manc) RIBA

FOR EARLIER  
CORRESPONDENCE

SEE FILE REF: PL/WRK/98/09.

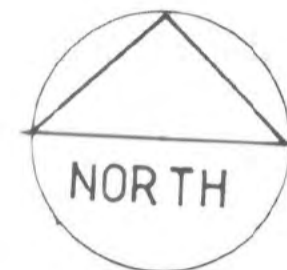
COTTAM JJ .



SITE K1

SITE J1

SITE K2



SCHEDULE FOR ACCOMODATION HOUSES FOR RENT - PLOTS 1 to 30					
N° ON SITE	DWELLING TYPE	N° OF BEDS	CONFIGURATION	CAR PARKING PROVISION	GROSS FLOOR AREA
8	A-TENBY	2	SEMI-DET	2r° SPACES	600
4	B-TARVIN	3	SEMI-DET	2r° SPACES	740
6	C-GRANGE	4	SEMI-DET	2r° SPACES	1065
4	D-CHATSWORTH	3	END TERRACE	2r° SPACES	728
4	E-STUDLEY	2	MID TERRACE	2r° SPACES	583
4	F-KINGSTON	3	END TERRACE	2r° SPACES	656

NB! PLOTS 25 & 26 PARKING PROVISION = SPACE + 50%

Site area Overall	Acres	1.56
Developable	Acres	1.56
Public open space	Acres	0
Total n° of units on site	n°	30
Units per overall acre	n°	19.23
Units per developable acre	n°	19.23
Total gross internal floor area	SQ FT	22018
Floor area + site area (overall)	SQ FT	12832
(developable)	SQ FT	12832

HOUSES FOR SALE - PLOTS 31 to 88					
N° ON SITE	DWELLING TYPE	N° OF BEDS	CONFIGURATION	CAR PARKING PROVISION	GROSS FLOOR AREA
15	B-TARVIN	3	SEMI-DET	2r° SPACES	740
15	D-CHATSWORTH	3	END TERRACE	2r° SPACES	728
23	E-STUDLEY	2	MID TERRACE	2r° SPACES	583
5	F-KINGSTON	3	END TERRACE	2r° SPACES	656

Site area Overall	Acres	7.48
Developable	Acres	4.03
Public open space	Acres	3.45
Total no of units on site	N°	58
Units per overall acre	N°	7.75
Units per developable acre	N°	14.39
Total gross internal floor area	SQ FT	38709
Floor area + site area (overall)	SQ FT	5175
(developable)	SQ FT	3605

• Site J2 • off Cottam Way • Cottam Village •

AMENDMENTS		1	DATE
<p><b>BELLEVUE HOMES</b> (URBAN RENAISSANCE NORTHERN) (a member of Bellway Plc Group of Companies) Compass House, Neville Street, Chadderton, Oldham, Greater Manchester, OL9 6EJ Tel: 061 620 7797 Fax: 061 678 3223</p>			
Urban Renewal Southern 26272 Field End Road, Eastcote, Middlesex, Tel: 081 858 4488 Fax: 081 858 6700		Urban Renewal Scotland 9 Marine Crescent, Glasgow, G51 1HD Tel: 041 429 5213 Fax: 041 429 6818	
<p>Project: <b>SITE J2 off COTTAM WAY COTTAM VILLAGE PRESTON</b></p>			
<p>Subject: <b>PROPOSED SITE LAYOUT SCHEME FOUR</b></p>			
Scale 1:500	Date 31 MARCH 98	Drawn S. 40(2)	Checked
Drawing No. 5042/22	Revision		
<p>Note: All specifications, materials and workmanship to be in accordance with current NHBC and Building Regulations. Make drawings to comply with Section for Adoption current edition. Highways to be in accordance with Local Authority specifications. Do not scale from this drawing. All dimensions to be verified with the drawing office.</p>			
<p>Reference <b>HOWARD &amp; SEDDON 5042/22</b></p>			



To **s. 40(2)**

From **s. 40(2)**

Company Banway

Date 11.1.00

Fax No 0161-628-3223

No. of pages (including this one) 3

Subject 7(2) authorisation Cotton J2

FAX

Message

**s. 40(2)**

PLEASE FIND ATTACHED  
THE AUTHORISATION YOU REQUESTED.

Regards

**s. 40(2)**

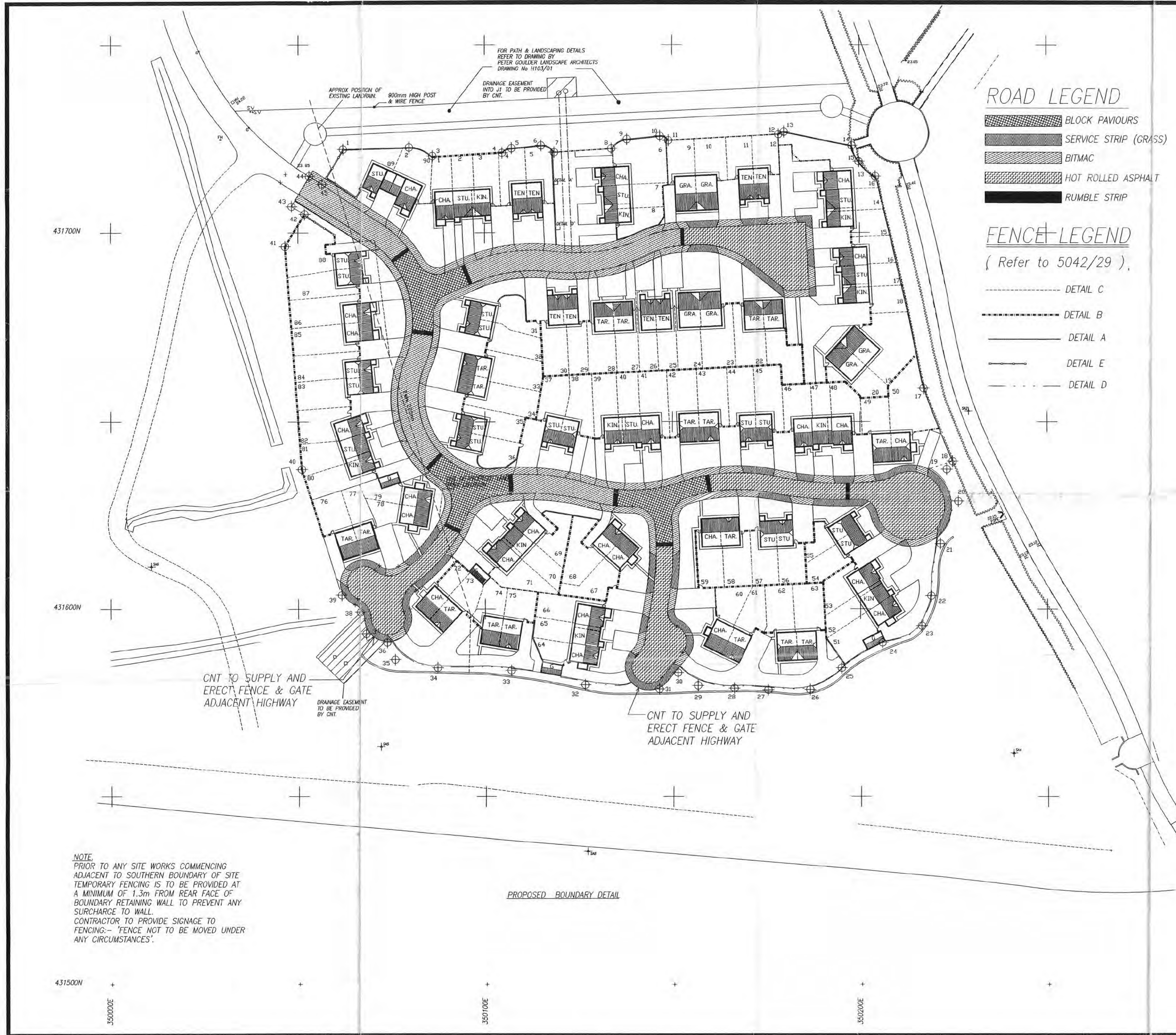
If you do not receive all the sheets please contact:

Name \_\_\_\_\_

Tel No \_\_\_\_\_

Fax No \_\_\_\_\_

New Town House  
 Buttermarket Street  
 Warrington  
 Cheshire  
 WA1 2LF  
 DX 717410 Warrington B  
 Tel: 01925 651144  
 Fax: 01925 411493  
 www.englishpartnerships.co.uk



**ROAD LEGEND**

- BLOCK PAVOIRS
- SERVICE STRIP (GRASS)
- BITMAC
- HOT ROLLED ASPHALT
- RUMBLE STRIP

**FENCE LEGEND**

- (Refer to 5042/29)
- DETAIL C
  - DETAIL B
  - DETAIL A
  - DETAIL E
  - DETAIL D

**SCHEDULE OF ACCOMODATION  
HOUSES FOR RENT < PLOTS 1 TO 30**

no. on site	dwelling type	no. of beds	configuration	car parking provision	gross floor area
8	A-TENBY	2	SEMI-DET	2no.spaces	600
4	B-TARVIN	3	SEMI-DET	2no.spaces	740
6	C-GRANGE	4	SEMI-DET	2no.spaces	1065
4	D-CHATSWORTH	3	END TERRACE	2no.spaces	728
4	E-STUDLEY	2	MID TERRACE	2no.spaces	583
4	F-KINGSTON	3	END TERRACE	2no.spaces	656

NB! PLOTS 25&26 PARKING PROVISION < SPACES+50%

Site area	Overall	Acres
Overall	Developable	Acres 1.56
	Public open space	Acres 0
Total no. of units on site	No.	30
Units per overall acre	No.	19.23
Units per developable acre	No.	19.23
Total gross internal floor area	Sq.ft.	22018
Floor area+site area(overall)	Sq.ft.	12832
(developable)	Sq.ft.	12832

**HOUSES FOR SALE < PLOTS 31 TO 90**

no. on site	dwelling type	no. of beds	configuration	car parking provision	gross floor area
14	B-TARVIN	3	SEMI-DET.	2no.spaces	
21	D-CHATSWORTH	3	END TERRACE	2no.spaces	
19	E-STUDLEY	2	MID.TER/SEMI.	2no.spaces	
6	F-KINGSTON	3	END/MID.TER.	2no.spaces	

Site area	Overall	Acres
Overall	Developable	Acres 7.48
	Public open space	Acres 4.03
		Acres 3.45
Total no. of units on site	No.	60
Units per overall acre	No.	8.02
Units per developable acre	No.	14.89
Total gross internal floor area	Sq.ft.	40661
Floor area+site area(overall)	Sq.ft.	5436
(developable)	Sq.ft.	10089

AMENDMENTS	I	DATE
H	NORTHERN FOOTPATH ALIGNED AS PG PLAN 1103/01	13/12/98
G	ROAD & KERB AMENDED	24/11/98
F	ROAD & KERB INDICATED	5/11/98
E	Planning revisions	27/10/98
D	Planning revisions	5/10/98
C	Planning revisions	26/9/98
B	Bellway revisions	17/9/98
A	Bellway revisions	11/9/98

**CNT**  
COMMISSION FOR THE NEW TOWN  
LAND AGENCY

Drawings certified as being true and correct copies of the original drawings as in the development, dated: 11/09/99

11/09/99

**Proposed Residential Development**  
Site J2  
off Cottam Way  
Cottam Village

**CLIENT:** s.40(2) Way Homes

**SUBJECT:** SITE LAYOUT PLAN

DRAWN: s.40(2)	DATE: 8/9/98
CHECKED:	SCALE: 1:500
APPROVED:	

**HOWARD & SEDDON A.R.I.B.A**  
CHARTERED ARCHITECTS  
64 WASHWAY ROAD  
SALE, CHESHIRE M33 7RE  
TEL: 0161 973 8296 FAX: 0161 962 3485  
E-MAIL: HSRIBANET@CNDUK

**BELLWAY HOMES**  
(URBAN RENEWAL NORTHWEST)

JOB No	DRAWING No	AMENDMENT
5042	28	H

**NOTE**  
PRIOR TO ANY SITE WORKS COMMENCING ADJACENT TO SOUTHERN BOUNDARY OF SITE TEMPORARY FENCING IS TO BE PROVIDED AT A MINIMUM OF 1.3m FROM REAR FACE OF BOUNDARY RETAINING WALL TO PREVENT ANY SURCHARGE TO WALL. CONTRACTOR TO PROVIDE SIGNAGE TO FENCING:- 'FENCE NOT TO BE MOVED UNDER ANY CIRCUMSTANCES'.

PROPOSED BOUNDARY DETAIL

431700N

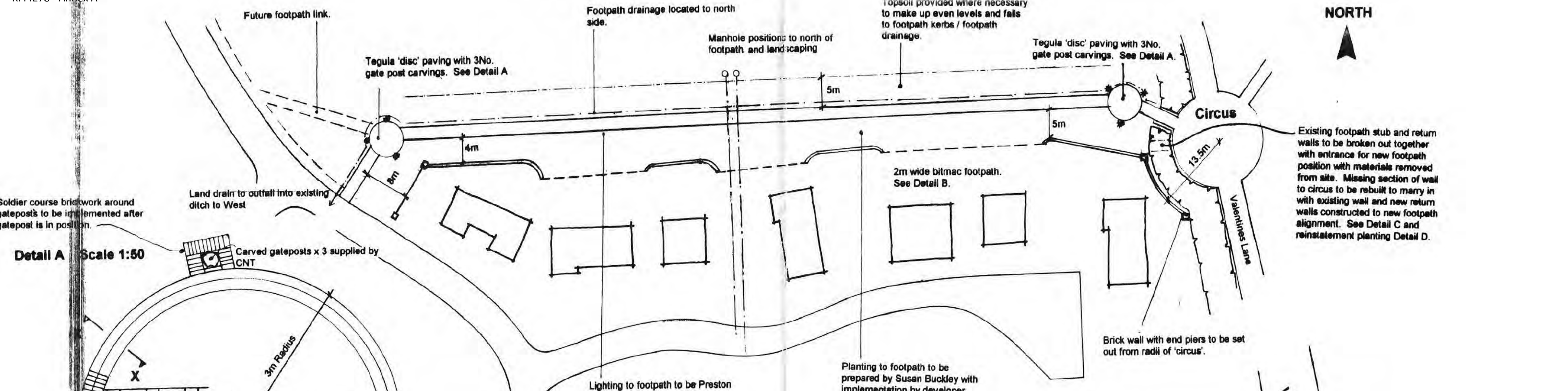
431600N

431500N

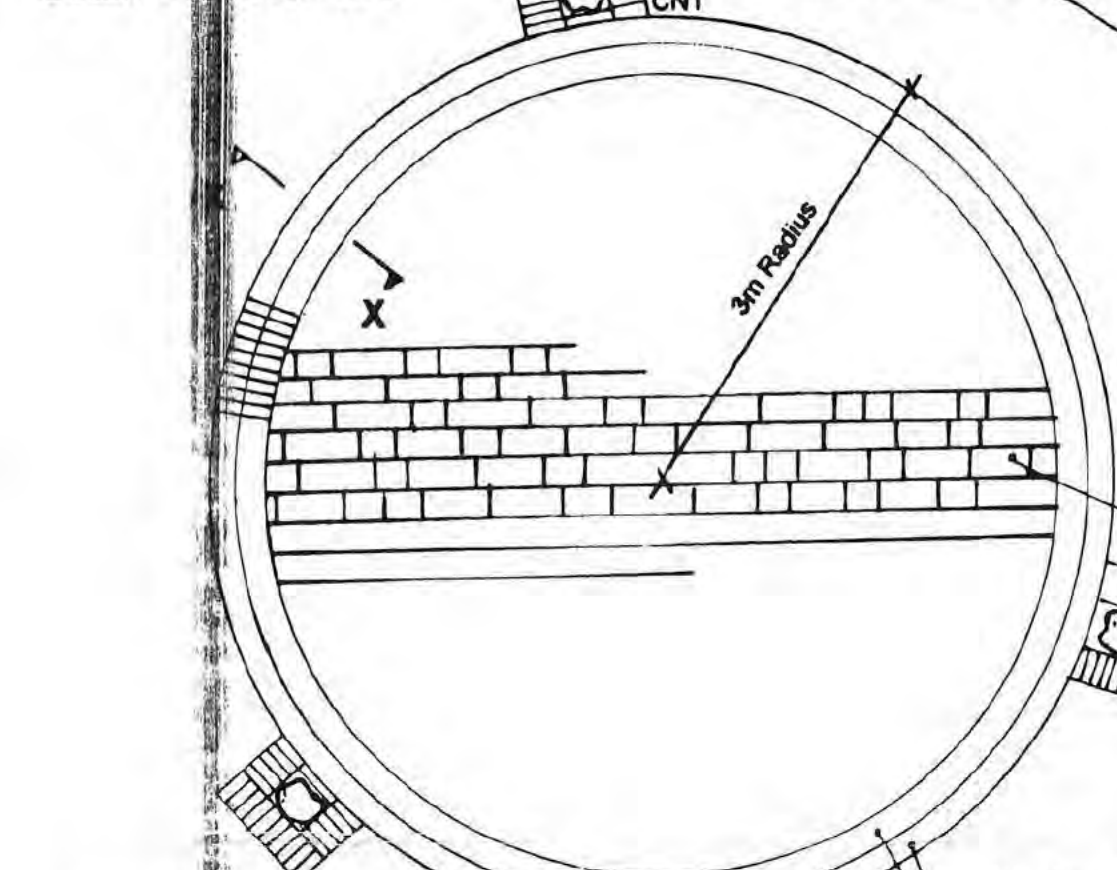
350000E

350100E

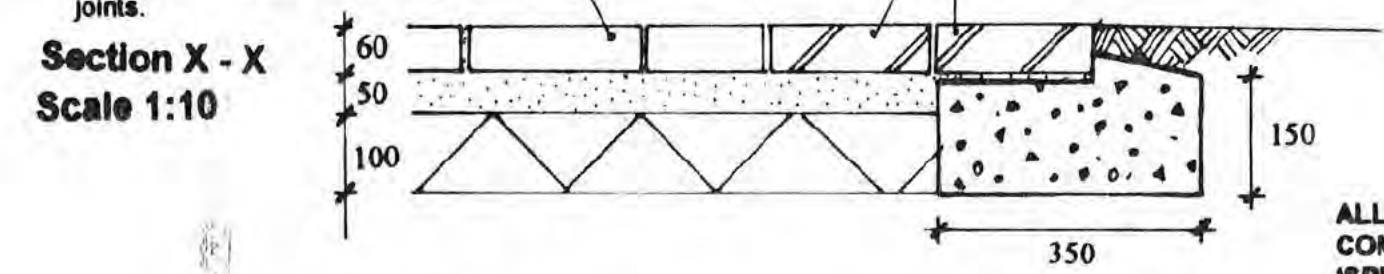
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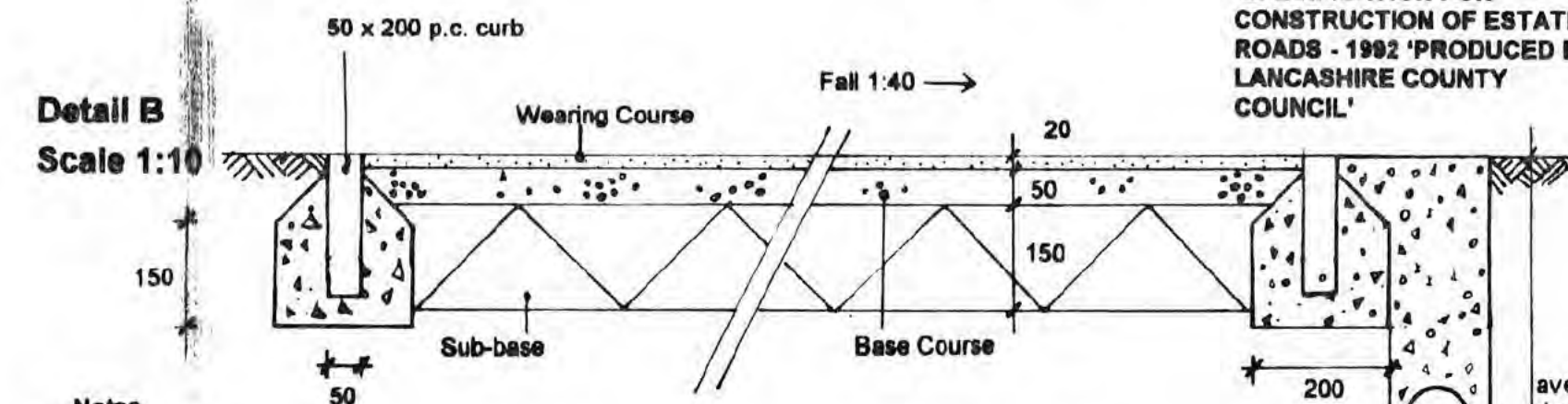
Detail A Scale 1:50



Section X - X Scale 1:10



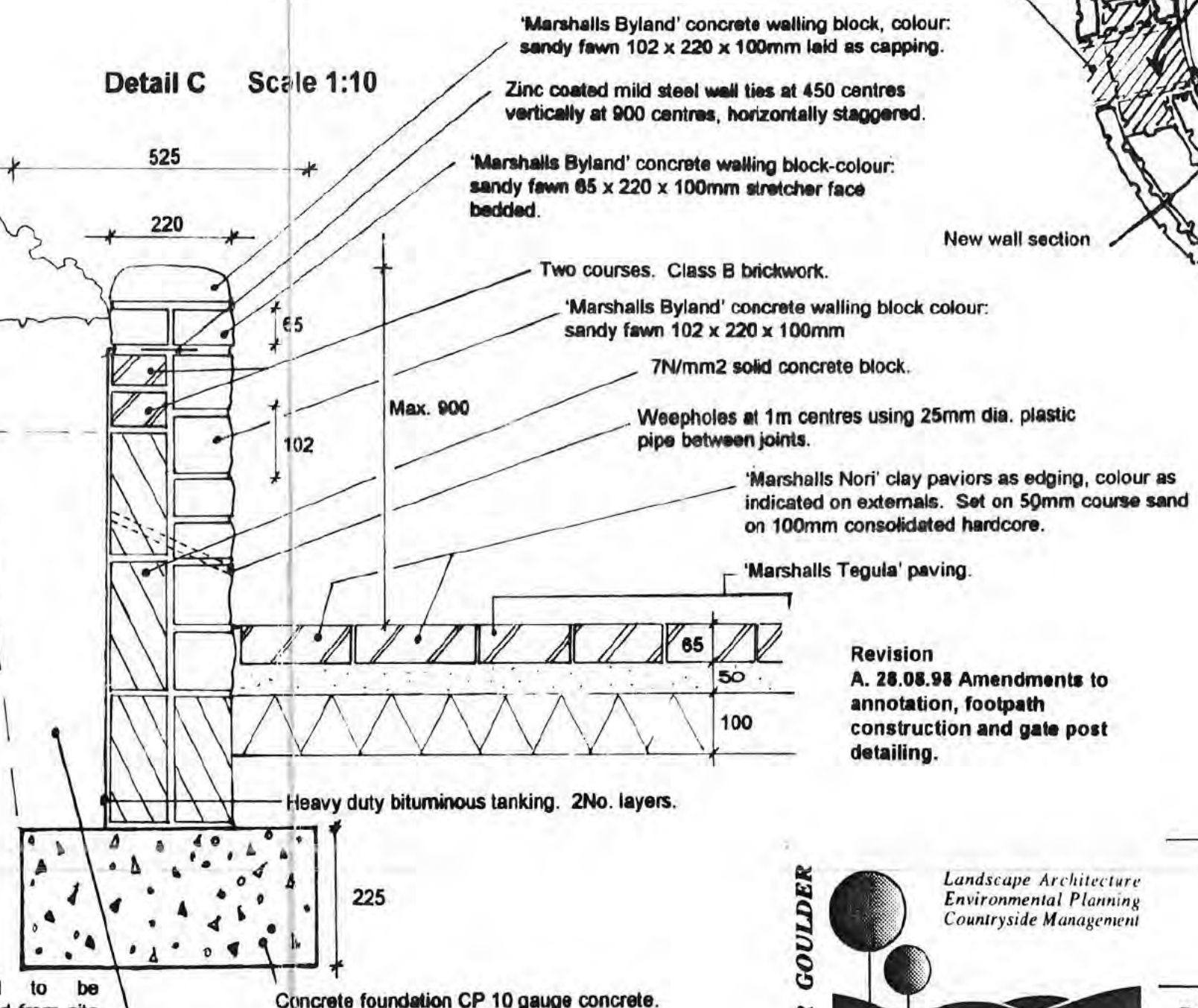
Detail B Scale 1:10



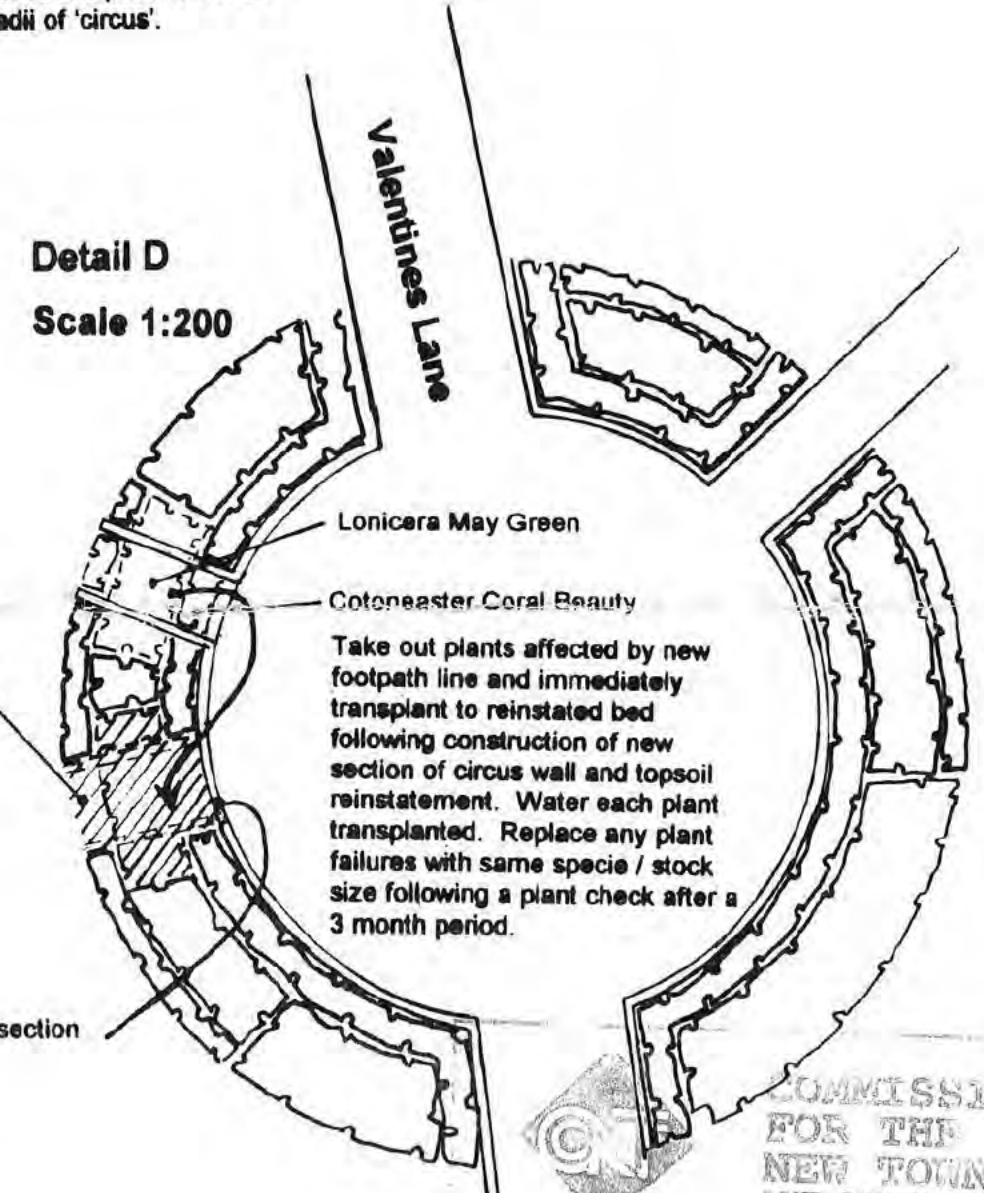
Notes

- Wearing Course**  
Shall be 20mm depth of bitumen macadam (medium grade 5mm nominal size to BS4987 Part 1 (7.7) and to clause 6.8.2 of the LCC specification and compacted in accordance with MOT Clause 705.
- Sub Base**  
Shall be 150mm depth crushed limestone, free from clay to comply with MOT table 8/4 sub base Type 1, and to be compacted with vibrating roller.
- Concrete Edging**  
Shall be 50 x 150mm square edged pre-cast concrete hydraulically pressed to BS340 laid true to line and level and in and on concrete haunch.
- Concrete Haunch**  
Shall be 200 x 150mm C.P.7 concrete.
- Drainage**  
Shall be 150 x 150mm clean hard limestone chippings 6-10 gauge with no fines. 100mm dia. perforated UPVC land drain shall be laid true to line and level with falls of not less than 1:80
- Setting Out**  
Footpath to be set out as shown on drawings No. — Exact setting out to be as agreed on site with S.O. to conform to site conditions.
- Footpath**  
2m wide footpath to be constructed to above specification.

Detail C Scale 1:10



Detail D Scale 1:200



COMMISSION FOR THE NEW TOWNS LAND AGENCY

Planning certified as being one of the approved drawings referred to in the authorisation of development, dated: s. 40(2)

21/06/98/09

DINGSDALE BA MCD MRTPI

DIRECTOR, PLANNING & TECHNICAL SERVICES

(WILTSHIRE & NORTH)

1. Developer to implement all works as Illustrated and described.
2. Developer to secure highway adoption of footpath and lighting.
3. Gate post features to be supplied by CNT for incorporation in the works by the developer.

Revision  
A. 28.08.98 Amendments to annotation, footpath construction and gate post detailing.



Cottam J2 Site  
Bellway Homes  
Footpath works (North Site)

PLANT SCHEDULE

AVENUE PLANTING TO FOOTPATH BETWEEN J1 AND J2: Selected Standard Trees: Bare root 10-12cm girth 3-3.5m high

Table with 3 columns: Abbr, Species, Nr. Row 1: Cc, Cornus columba, 46.

Note: Avenue trees to be of similar height and head size.

SELECTED STANDARD TREES: Bare root 10-12cm girth 3-3.5m high

Table with 3 columns: Abbr, Species, Nr. Lists various tree species like Acer saccharinum, Fraxinus excelsior, Malus floribunda, etc.

FEATHERED TREES: Bare root 1800-2400mm high

Table with 3 columns: Abbr, Species, Nr. Lists species like Acer campestre, Betula adongensis, etc.

ORNAMENTAL HEDGES: All pot grown in 3L pots 500-600mm high

Table with 3 columns: Abbr, Species, Nr. Lists species like Berberis darwinii, Buxus sempervirens, etc.

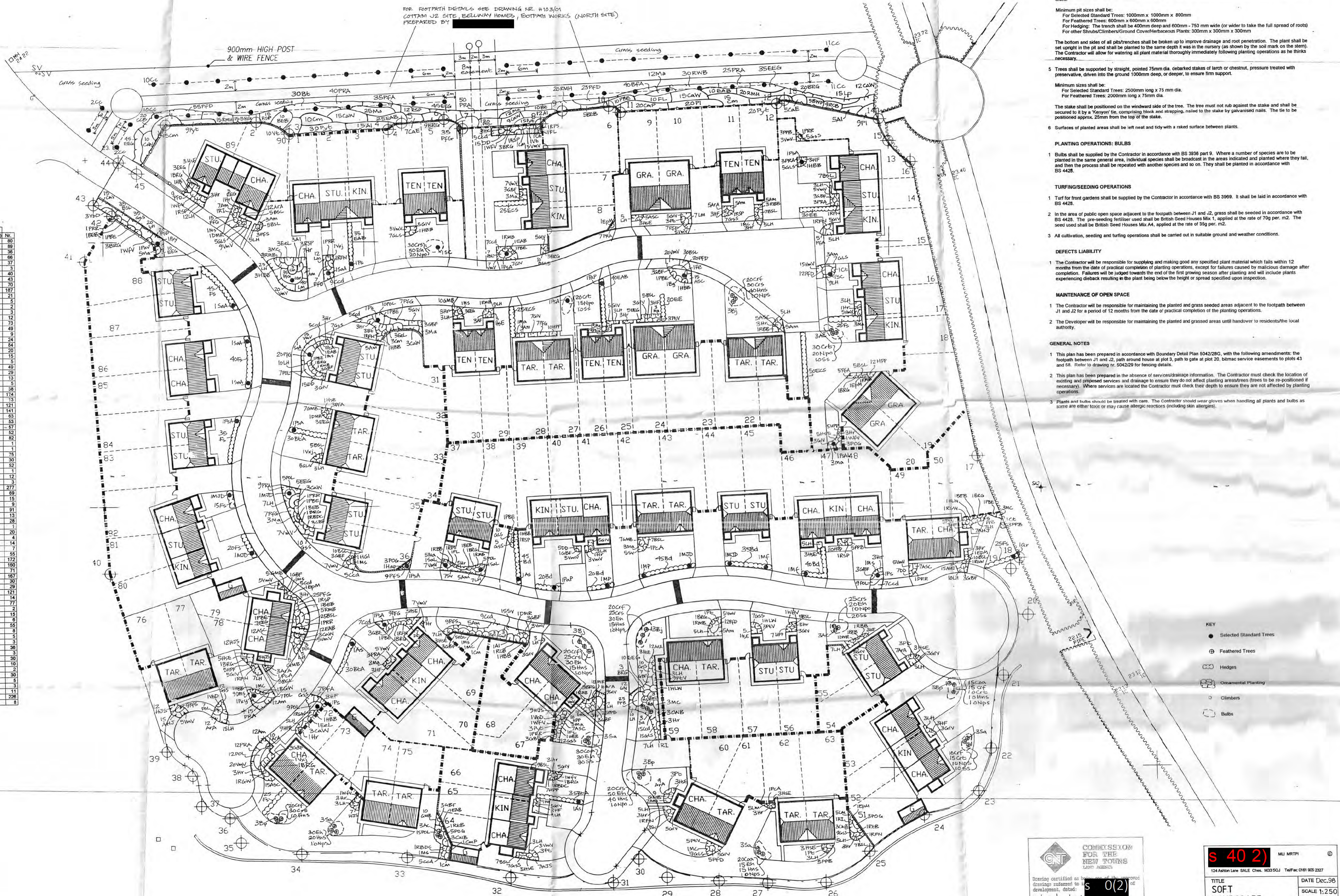
Note: Hedge to be planted as double row at 500mm centres, staggered, in rows 300mm apart.

SHRUBS, CLIMBERS, GROUND COVER AND HERBACEOUS PLANTS: All pot grown

Large table with 5 columns: Abbr, Species, Size (mm), Pot Size (mm), Planting Centres (mm), Nr. Lists hundreds of plant species and their specifications.

BULBS: planted at an average density of 10/m2

Table with 3 columns: Abbr, Species, Nr. Lists bulb species like Coa, Colchicum autumnale, etc.



SPECIFICATION NOTES: PLANTING OPERATIONS: TREES, HEDGES AND SHRUBS (Including climbers) 1 Plant material shall be supplied by the Contractor in accordance with BS 3938 parts 1, 2, and 10. It shall be handled in accordance with 'Handling and Establishing Landscape Plants' 1995...

PLANTING OPERATIONS: BULBS 1 Bulbs shall be supplied by the Contractor in accordance with BS 2938 part 9. Where a number of species are to be planted in the same general area, individual species shall be broadcast in the areas indicated and planted where they fall...

DEFECTS LIABILITY 1 The Contractor will be responsible for supplying and making good any specified plant material which falls within 12 months from the date of practical completion of planting operations, except for failures caused by malicious damage after completion...

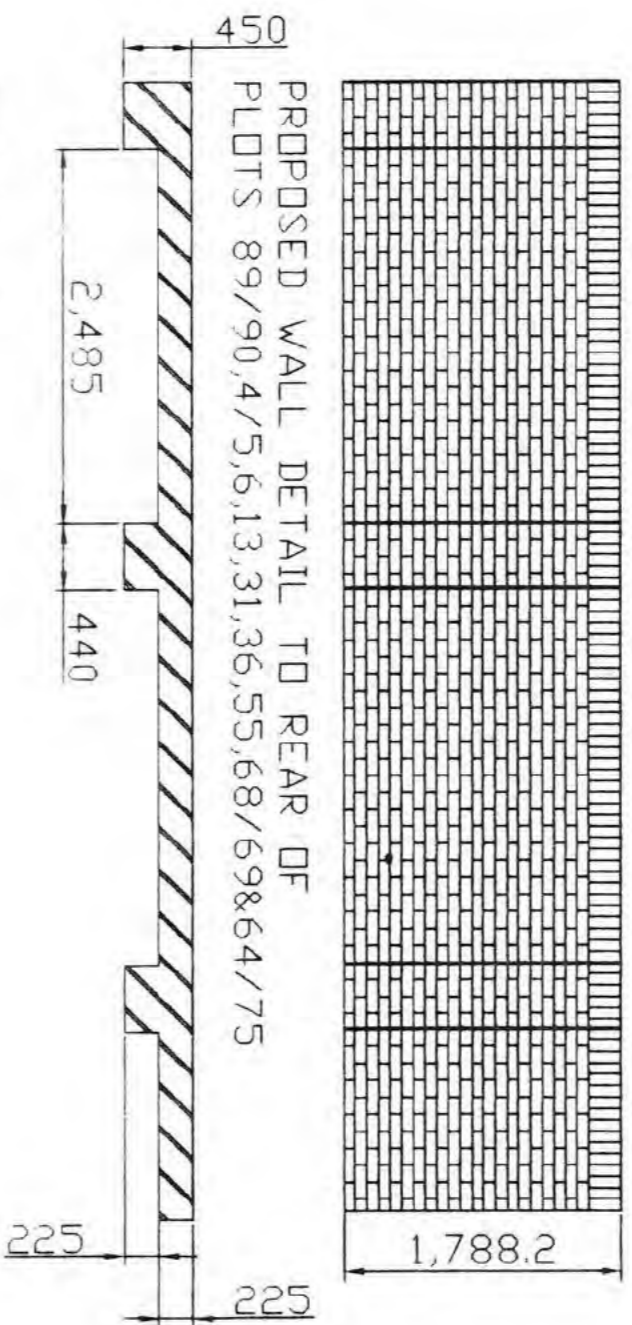
GENERAL NOTES 1 This plan has been prepared in accordance with Boundary Detail Plan 5042/28G, with the following amendments: the footpath between J1 and J2, path around house at plot 3, path to gate at plot 20, bin area service easements to plots 43 and 58...



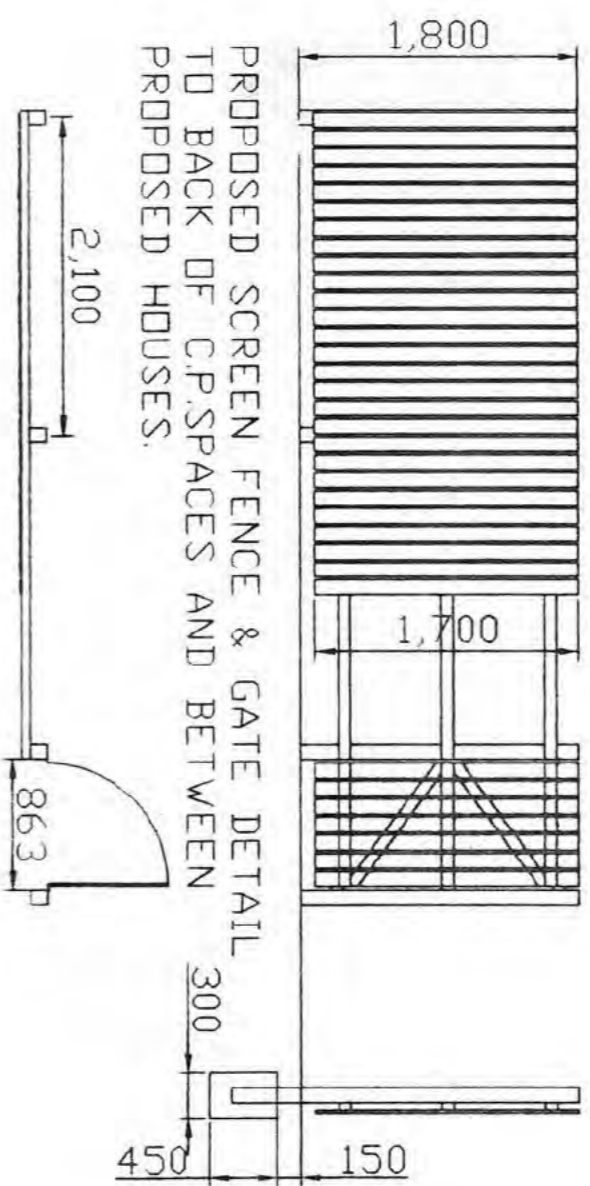
COMMISSION FOR THE NEW TOWNS LASTY AGENCIES logo and contact information.

Project information block including: s 40(2) MLJ MRP1, DATE Dec.98, SCALE 1:250, DRAWN BY J.G., CHECKED BY J.R., PROJECT SITE J2, COTTAM, PRESTON, CLIENT BELLWAY HOMES (Urban Renewal Northern), DRAWING NO. 110/127, REVISION.

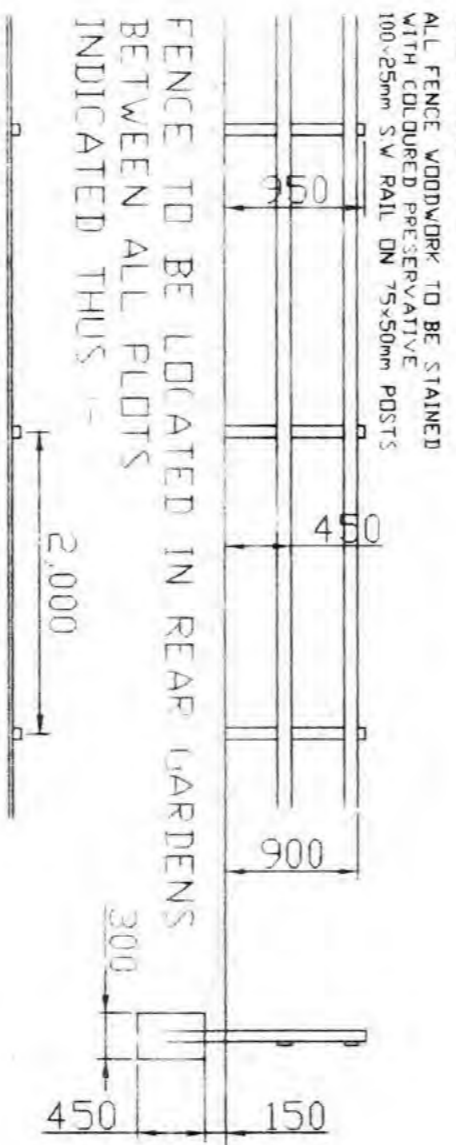
DETAIL A



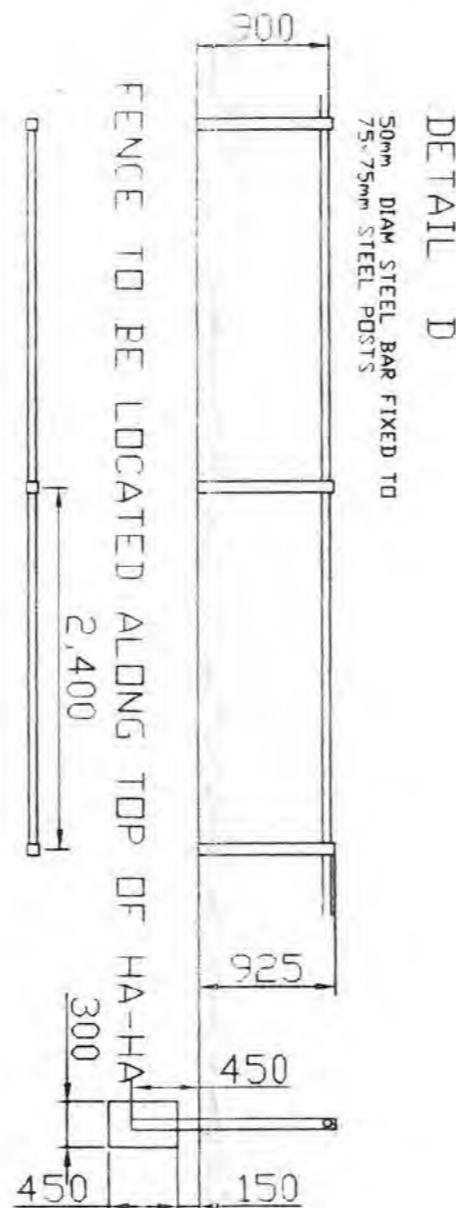
DETAIL B



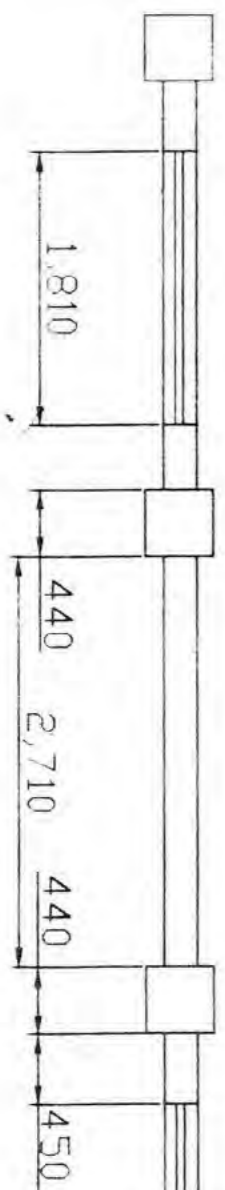
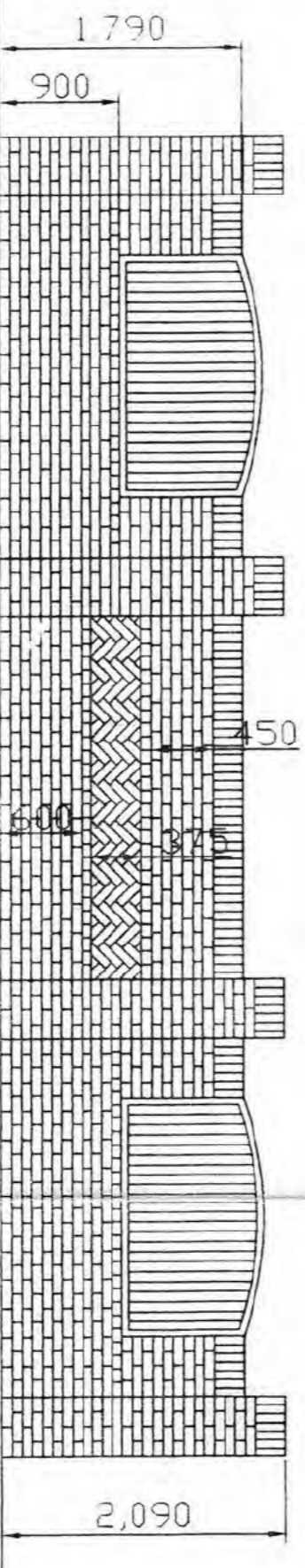
DETAIL C



DETAIL D



DETAIL E



**COMMISSION FOR THE NEW TOWNS LAND AGENCY**

Development carried as per the conditions of the development, approved.

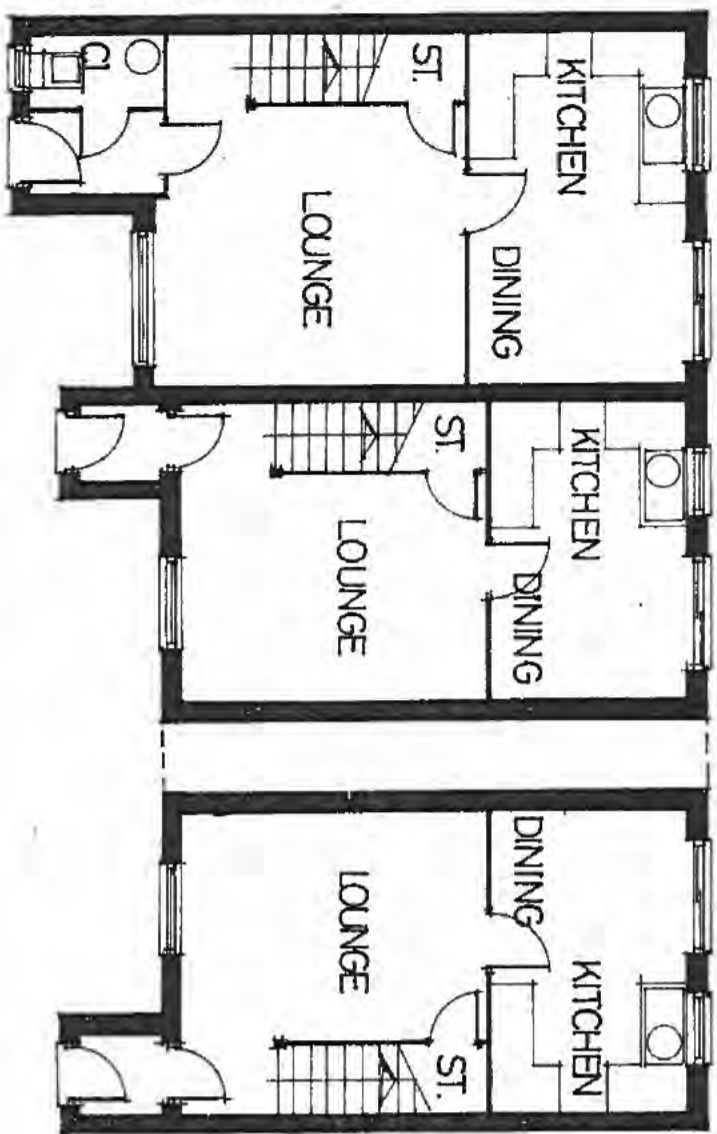
**ALWELLBY**

DIRECTOR, PLANNING & TECHNICAL SERVICES

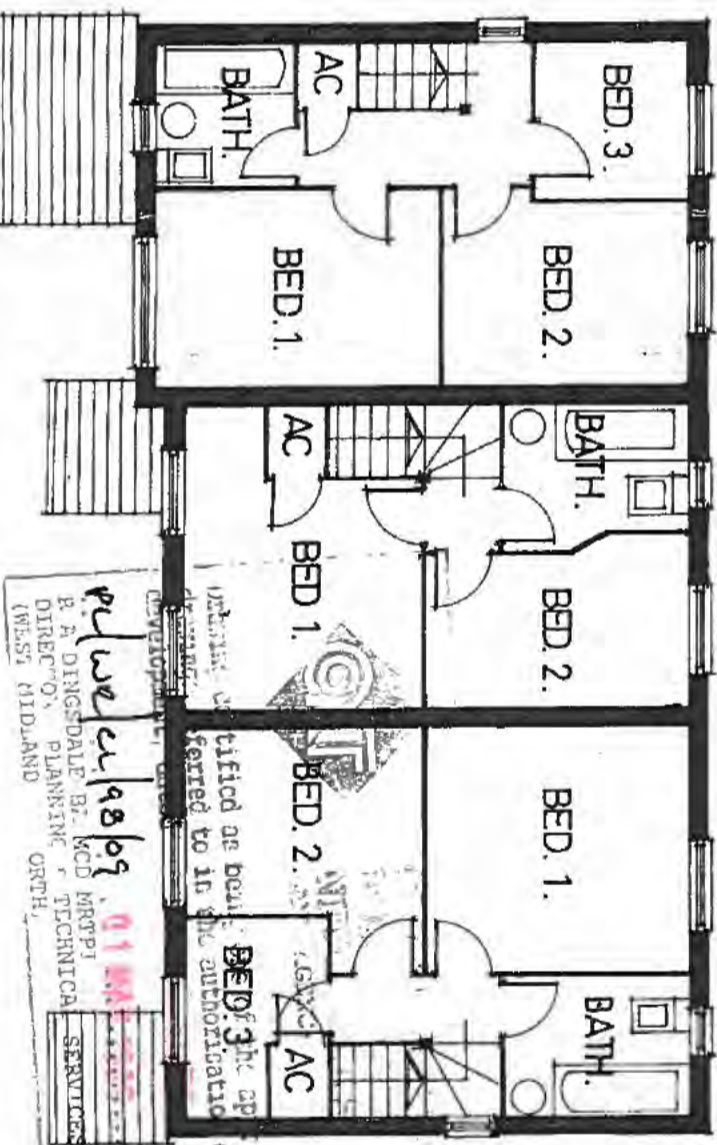
100, 110, 120, 130, 140, 150, 160, 170, 180, 190, 200, 210, 220, 230, 240, 250, 260, 270, 280, 290, 300, 310, 320, 330, 340, 350, 360, 370, 380, 390, 400, 410, 420, 430, 440, 450, 460, 470, 480, 490, 500, 510, 520, 530, 540, 550, 560, 570, 580, 590, 600, 610, 620, 630, 640, 650, 660, 670, 680, 690, 700, 710, 720, 730, 740, 750, 760, 770, 780, 790, 800, 810, 820, 830, 840, 850, 860, 870, 880, 890, 900, 910, 920, 930, 940, 950, 960, 970, 980, 990, 1000

<b>AJ BELLWAY REVISIONS</b> AMENDMENTS 1 DATE	
PROPOSED RESIDENTIAL DEVELOPMENT Site J2 off Cottam Way Cottam Village CLIENT Bellway Homes	
SUBJECT Boundary Treatment Details	
APPROVED [Signature]	DATE 8/9/98 SCALE 1:50
HOWARD & SEDDON A.R.I.B.A. CHARTERED ARCHITECTS 54 EASTMAN ROAD TEL: 0161 973 8996 FAX: 0161 968 3485 E-MAIL: HSB@H&S.CO.UK	
<b>BELLWAY HOMES</b> URBAN RENOVATION NORTHWEST	
JOB No 5042	DRAWING No 29
AMENDMENT A	

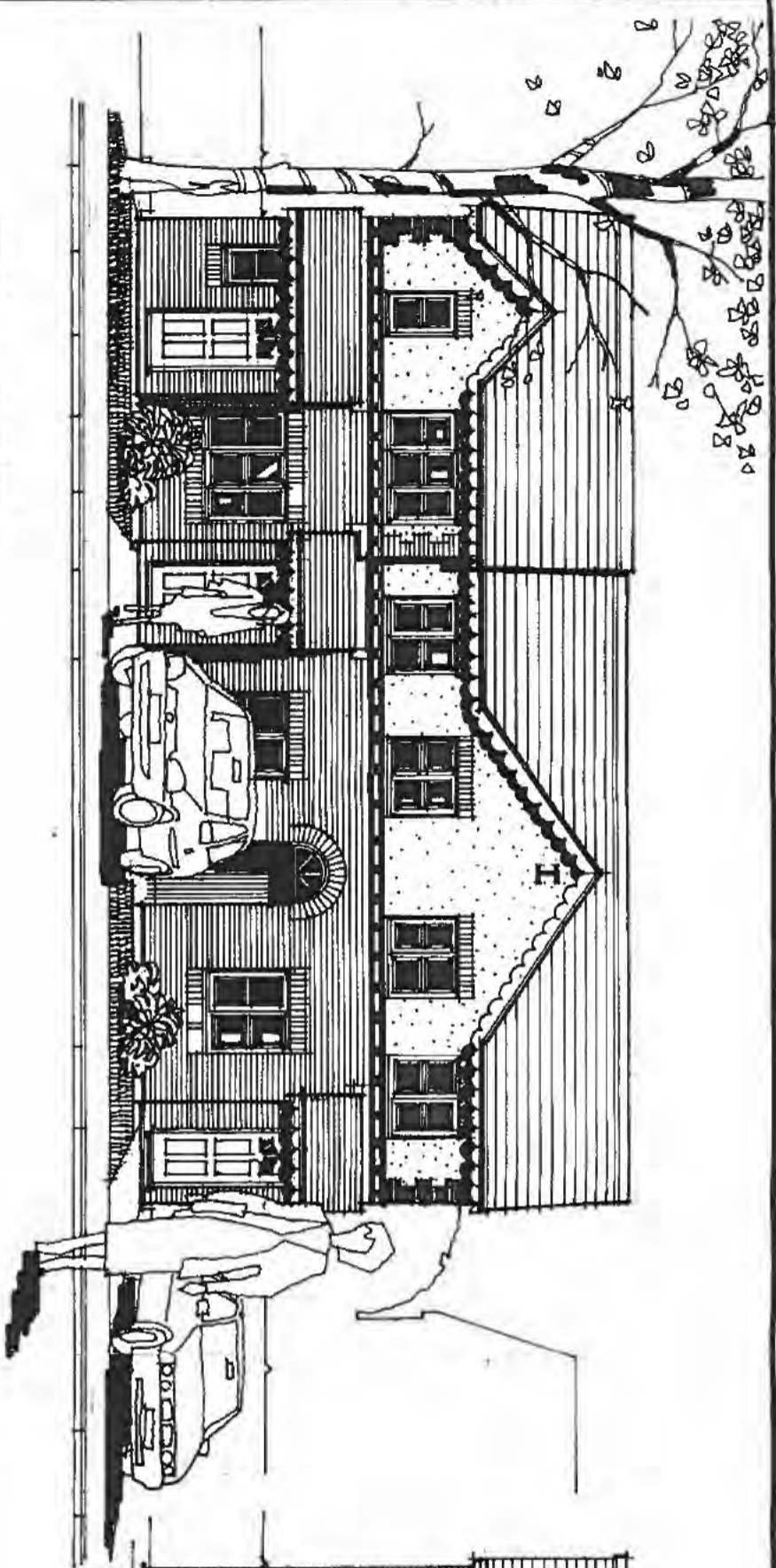
GROUND FLOOR PLAN.



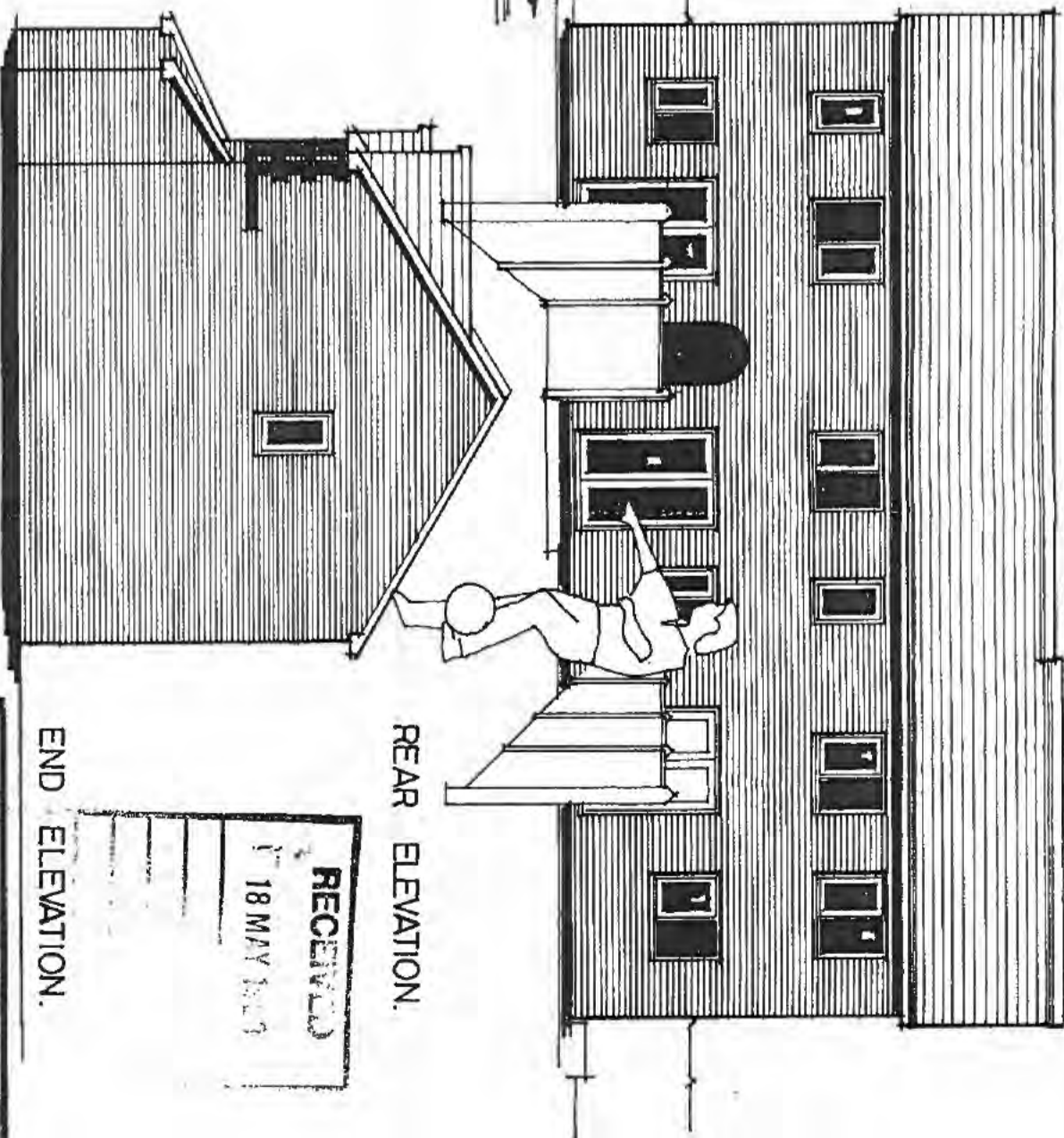
FIRST FLOOR PLAN.



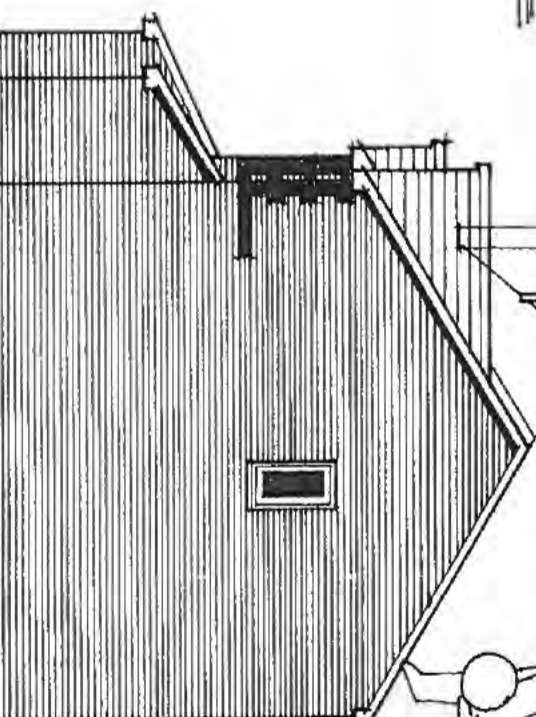
FRONT ELEVATION



REAR ELEVATION.



END ELEVATION.



**BELLEVUE HOMES**  
 (URBAN RENEWAL NORTHWEST)  
 (a member of Bellway Plc Group of Companies)

Company House, Norfolk Street, Chadderton, Oldham,  
 Greater Manchester OL9 9LD  
 Tel: 0161 620 7797 Fax: 0161 628 2223

Project  
 COTTAM WAY COTTAM VILLAGE  
 PRESTON

Subject  
 FLOOR PLANS and ELEVATIONS  
 TYPE - F Kingston

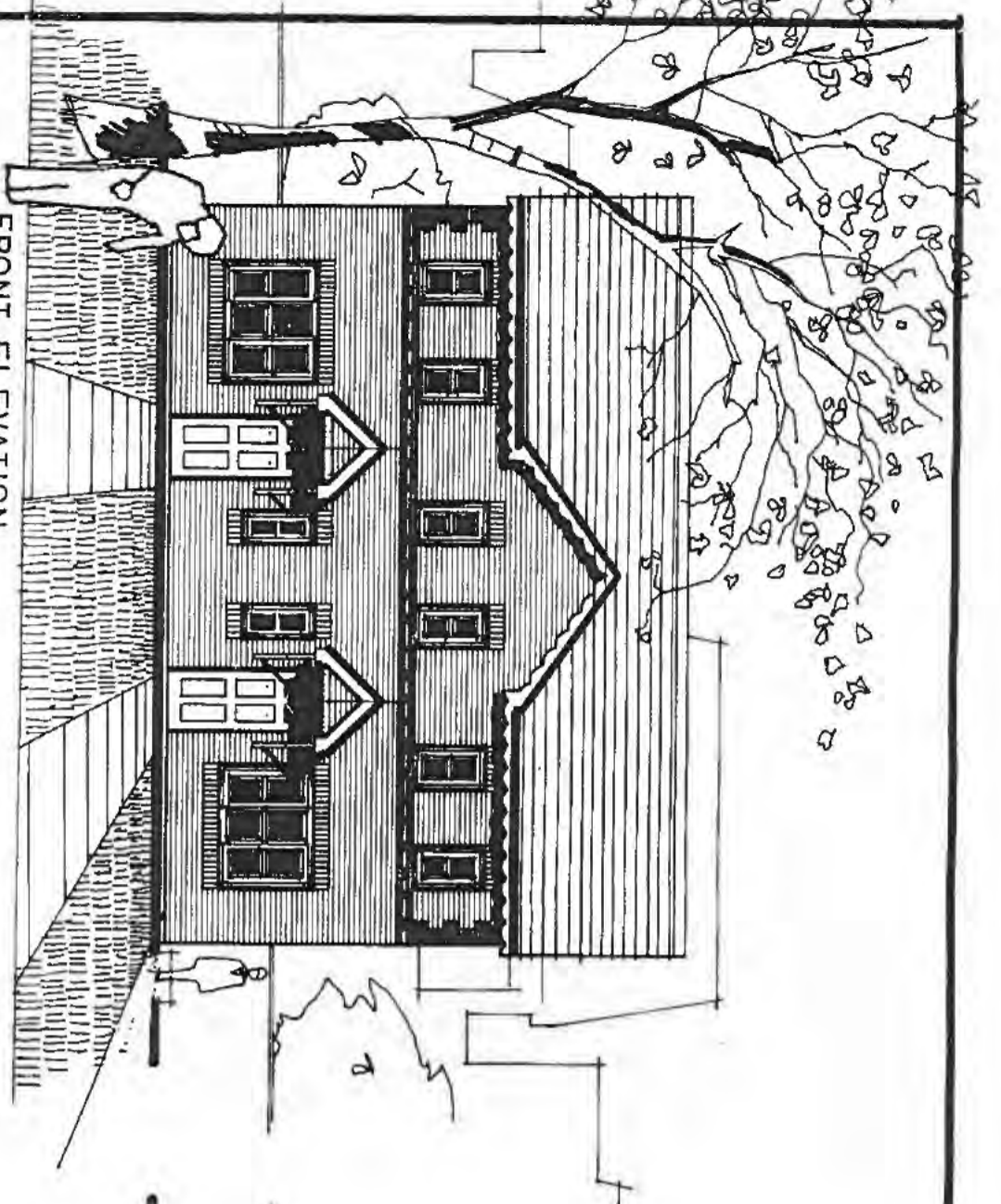
Scale 1:100 Date May 98  
 Drawn NTL Checked SC 42/32

planned as a development of 18 units, 9 of which are to be self-contained flats and 9 are to be flats with en-suite facilities. The development is to be situated on the site of the former railway works at Cottam Way, Preston. The development is to be situated on the site of the former railway works at Cottam Way, Preston.

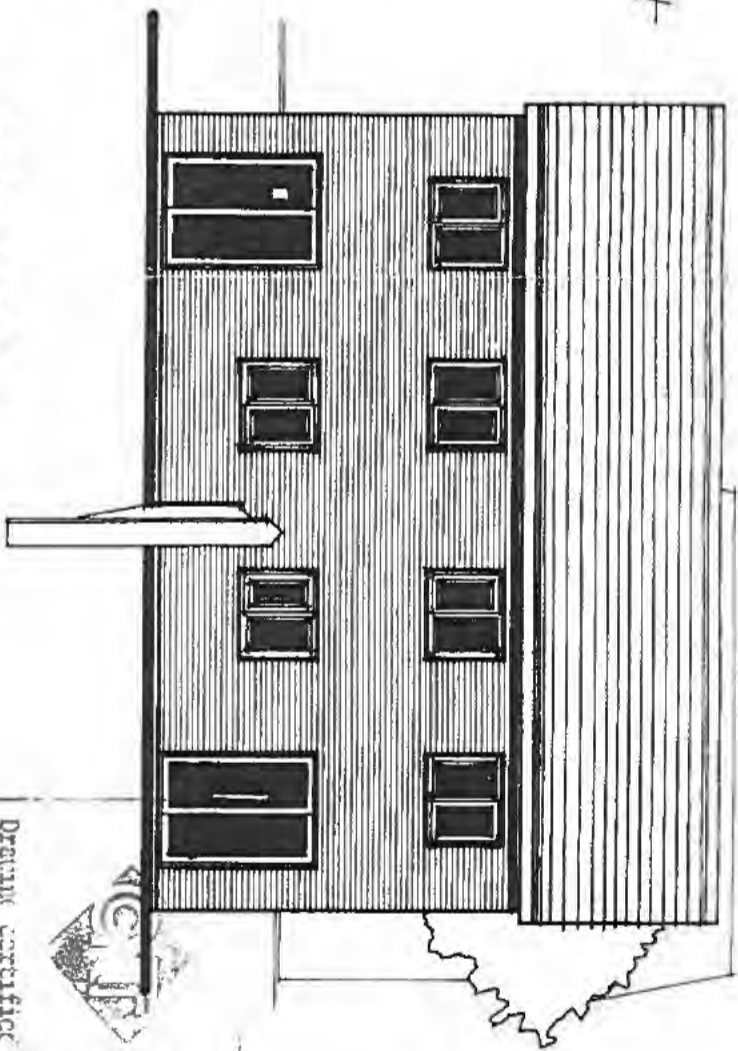
Notes and Building Regulations.  
 Make drawings to comply with Section for Adoption contract conditions.  
 Highways to be in accordance with Local Authority specifications.  
 Do not scale from this drawing. All dimensions to be verified with the drawing office.

RECEIVED  
 18 MAY 1998

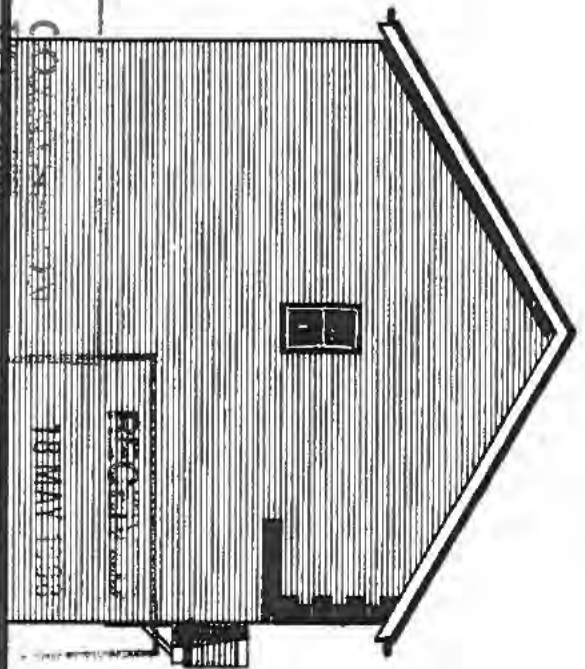
FRONT ELEVATION



REAR ELEVATION

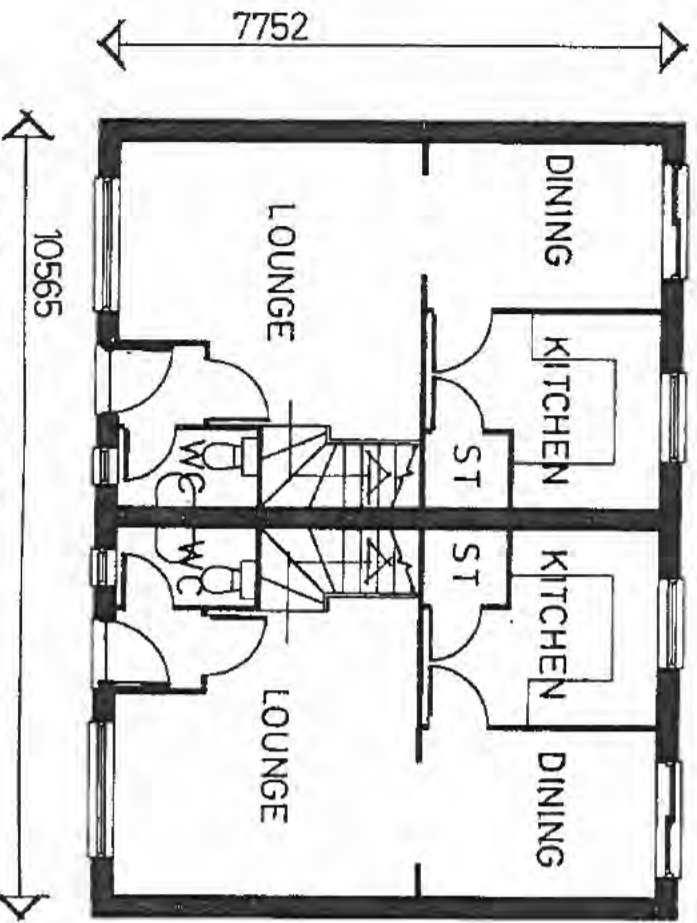


NEW TOWN'S  
LANDSCAPE ELEVATION

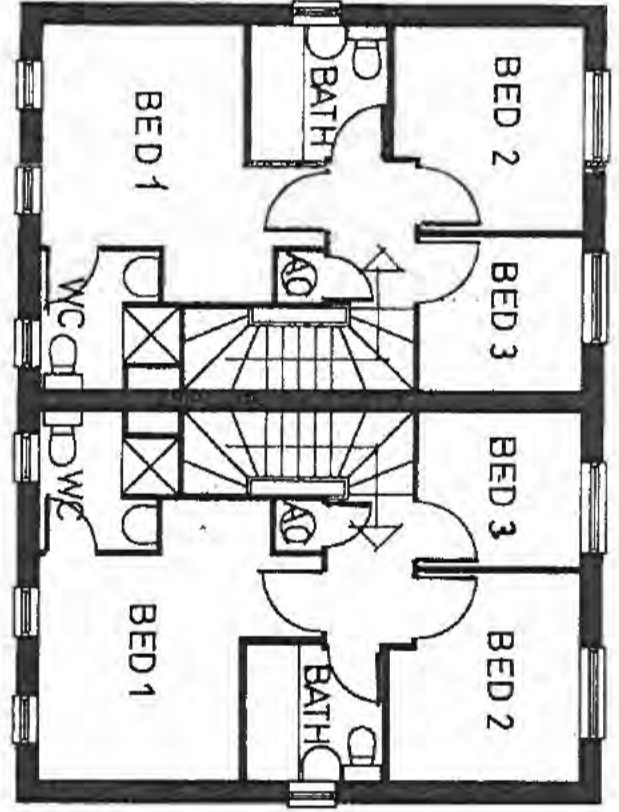


Drawn certificate as being one of the approved drawings referred to in the authorisation of development, dated: **12/05/98**  
**R. A. DINGSDALE** F.R.I.B.S. F.R.I.C.S. F.R.I.C.S. F.R.I.C.S. F.R.I.C.S.  
 DIRECTOR, ARCHITECTS & TECHNICAL SERVICES  
 (MESH) LTD, 100 NORTH...

GROUND FLOOR PLAN



FIRST FLOOR PLAN



**BELLYWAY HOMERS**  
 (URBAN RENEWAL NORTHWEST)  
 (a member of Bellway Plc Group of Companies)



Company House, North Street, Oldham, Greater Manchester OL9 6LD  
 Tel: 0161 620 7797 Fax: 0161 628 3233

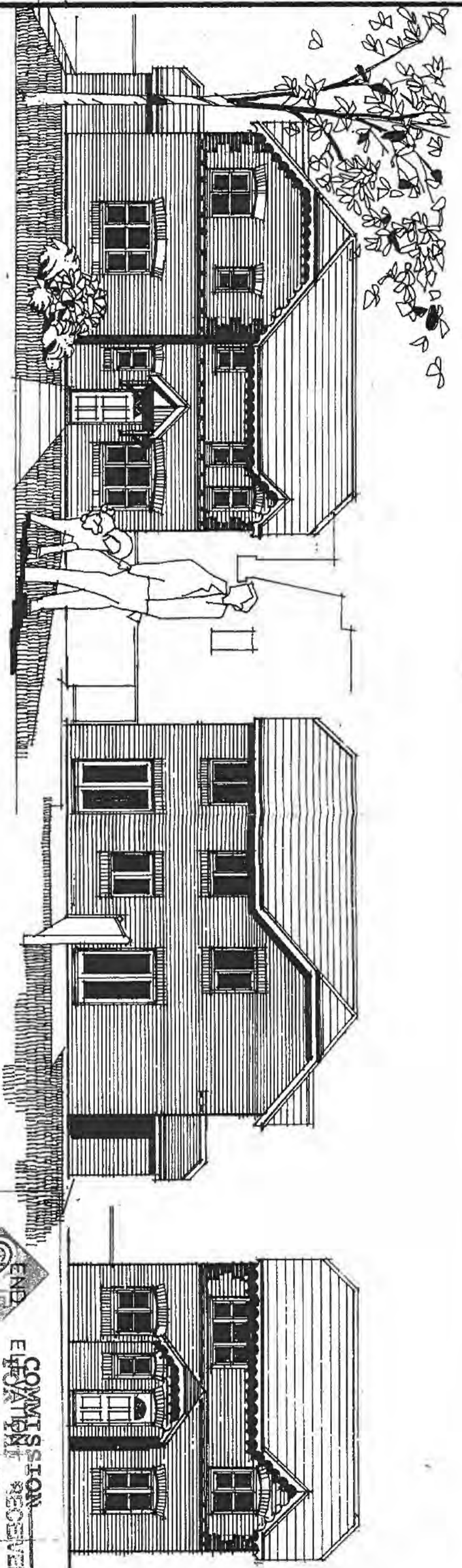
Project: **COTTAM WAY COTTAM VILLAGE PRESTON**

Subject: **FLOOR PLANS and ELEVATIONS TYPE B Tarvin**

Scale	Date	Drawn	Checked
1:100	May 98	NTL	5042/3

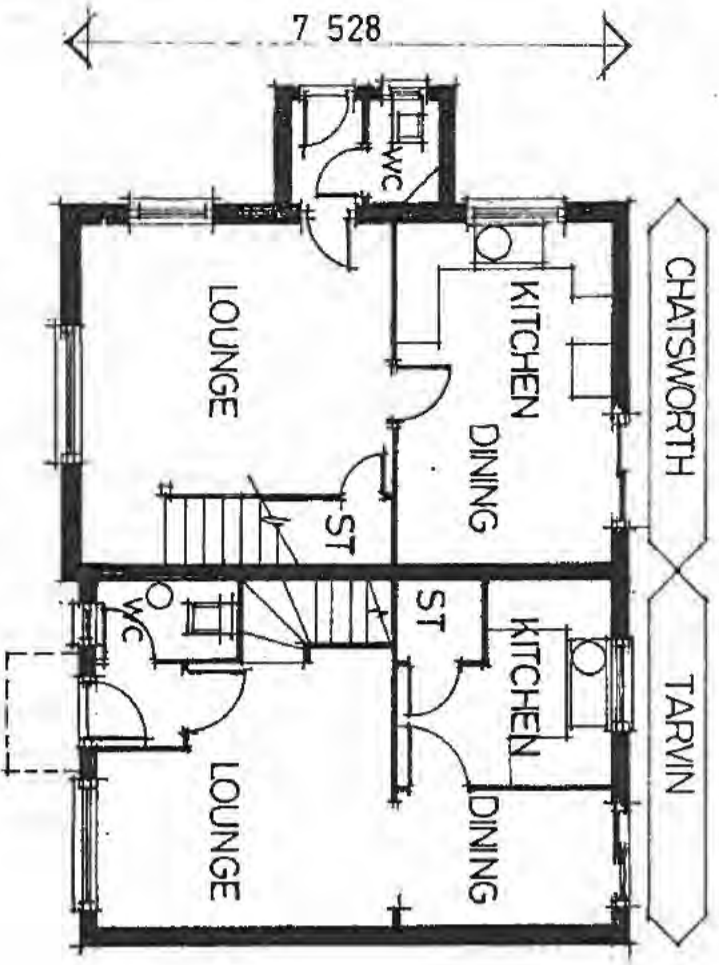
NB: and Building Regulations. This drawing to comply with Section 4 of the Building Act 1984. It is to be used in accordance with Local Authority specifications. Do not scale from this drawing. All dimensions to be verified with the drawing office.  
 Cad File Name



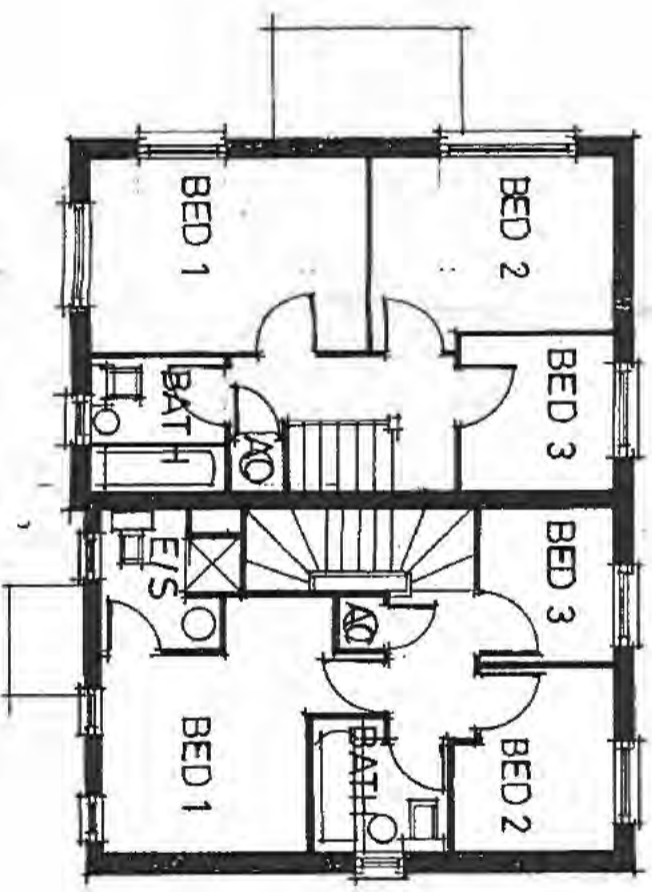


FRONT ELEVATION

REAR ELEVATION



GROUND FLOOR PLANS



FIRST FLOOR PLANS



**COMMISSION RECEIVED**  
 COTTAM WAY  
 NEW TOWNS  
 LAND AGENCY  
 18 MAY 1998

Drawing certified as being one of the approved drawings referred to in [redacted] of development, dated: [redacted]

*01 June 1998*  
 R A DINGSDALE BA MCD MRTP  
 DIRECTOR, PLANNING & TECHNICAL SERVICES  
 (WEST MIDLANDS & NORTH)



**BELLWAY HOMES**  
 (URBAN RENAISSANCE NORTHWEST)  
 (a member of Bellway Plc Group of Companies)

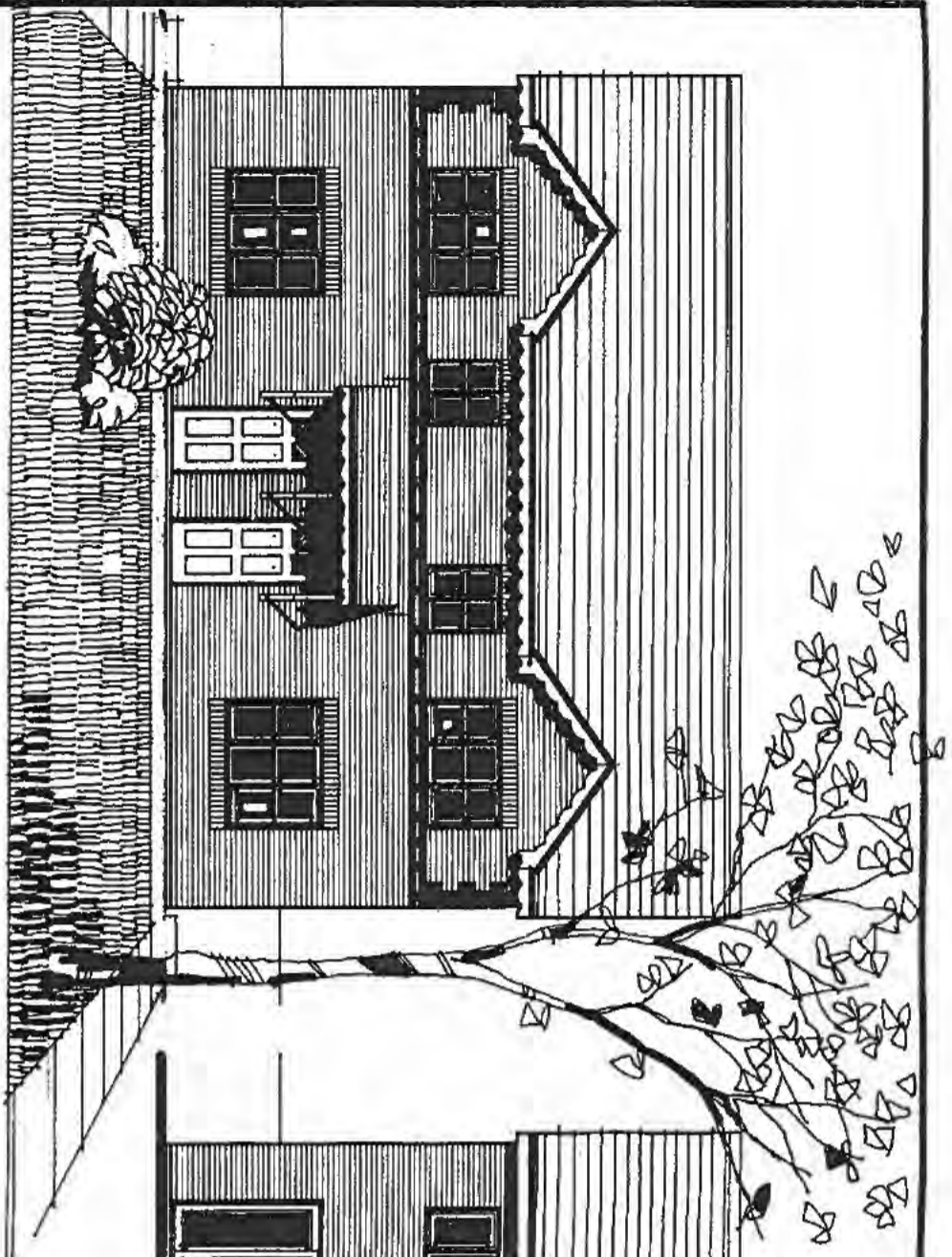
Company House, Nettle Street, Chadderton, Oldham,  
 Greater Manchester OL9 6LD  
 Tel: 0161 420 7797 Fax: 0161 528 2222

Project  
 COTTAM WAY COTTAM VILLAGE  
 PRESTON

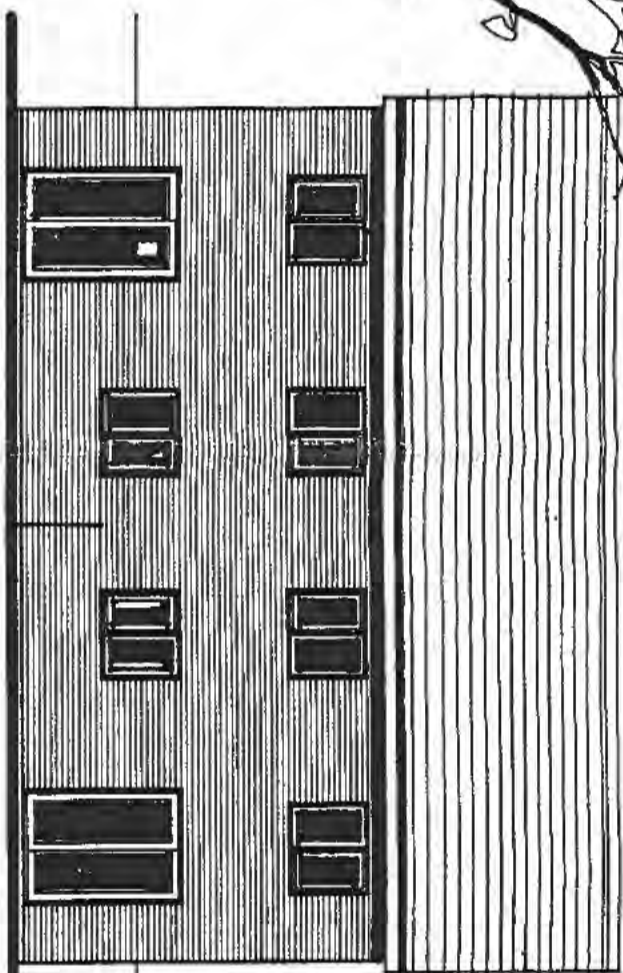
Subject  
 FLOOR PLANS and ELEVATIONS  
 TYPE B/D

Scale	Date	Drawn	Checked
1:100	MAY 98	NTL	5042/31

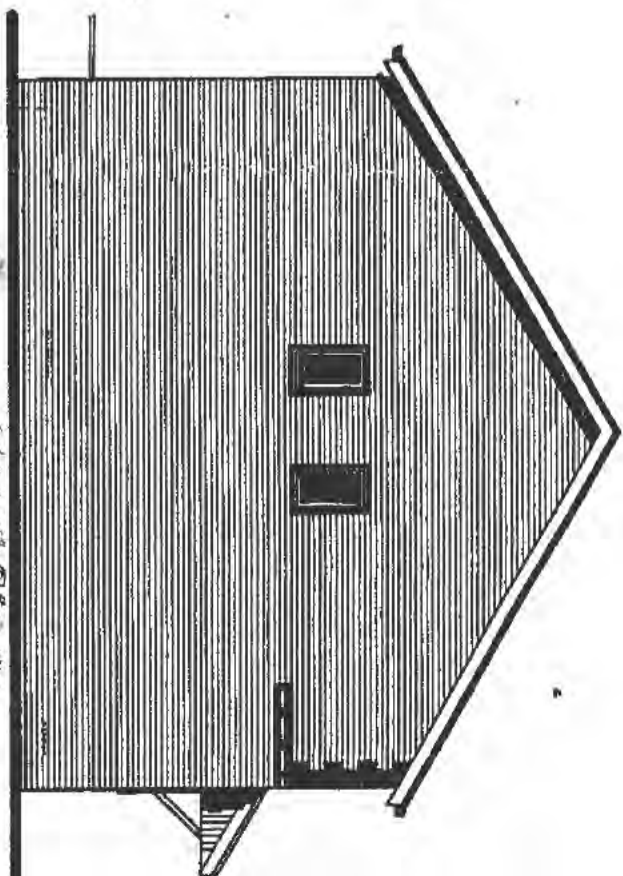
NB/C and Building Regulations.  
 Make drawings to comply with Section for Adoption control orders.  
 Highway to be in accordance with Local Authority specifications.  
 Do not scale from this drawing. All dimensions to be verified with the drawing office.  
 Cad File Name:



FRONT ELEVATION



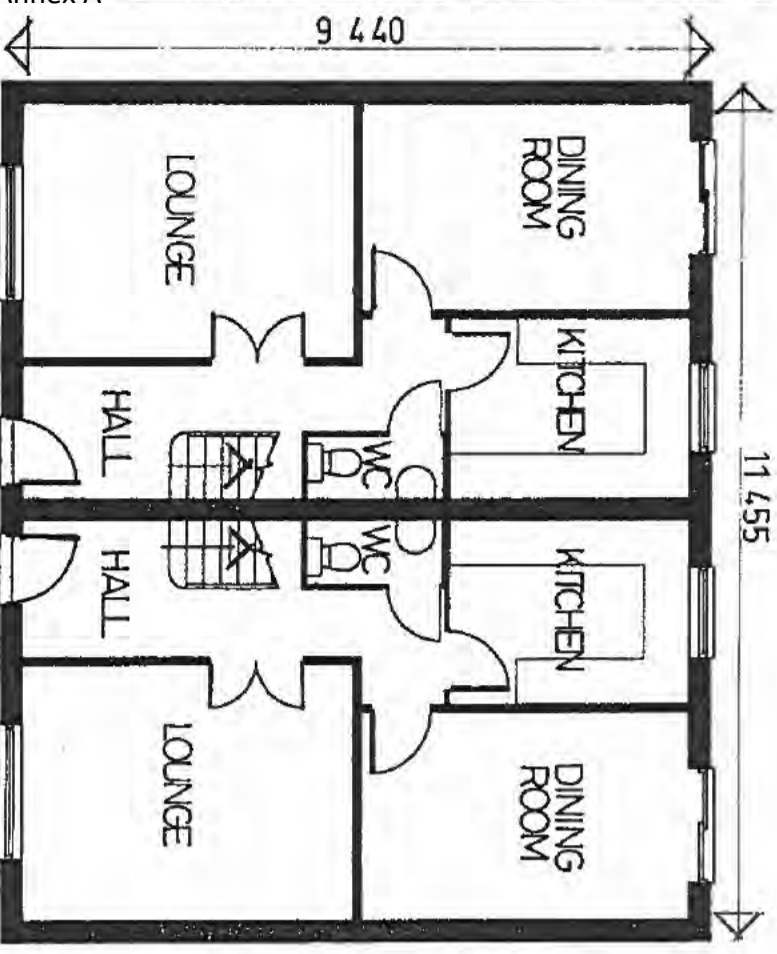
REAR ELEVATION



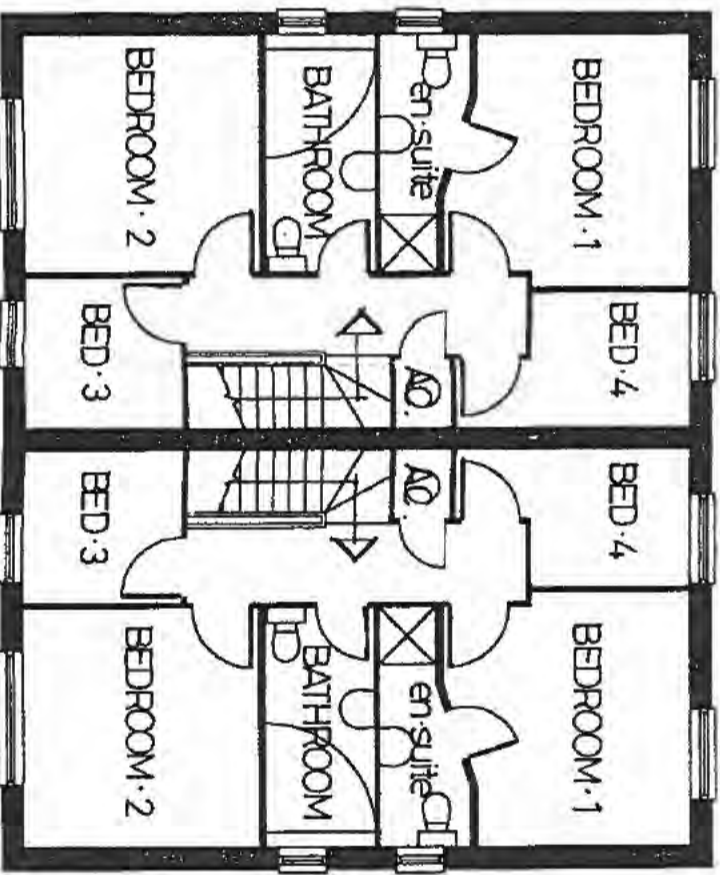
END ELEVATION

COMMISSION FOR HERITAGE NEW TOWNS LAND AGENCY

Planning, certified as being one of the approved  
 arrangements referred to in the [redacted] of  
 the [redacted] dated: [redacted]  
 of [redacted]  
 Planning, dated: 01.11.1998  
 JAMES DUNN, DR. (FCI) MRPTI  
 PLANNING & TECHNICAL SERVICES  
 (MIDLANDS & NORTH)



GROUND FLOOR PLAN



FIRST FLOOR PLAN

**BELWAY HOMES**  
 (a member of Bellway Plc Group of Companies)

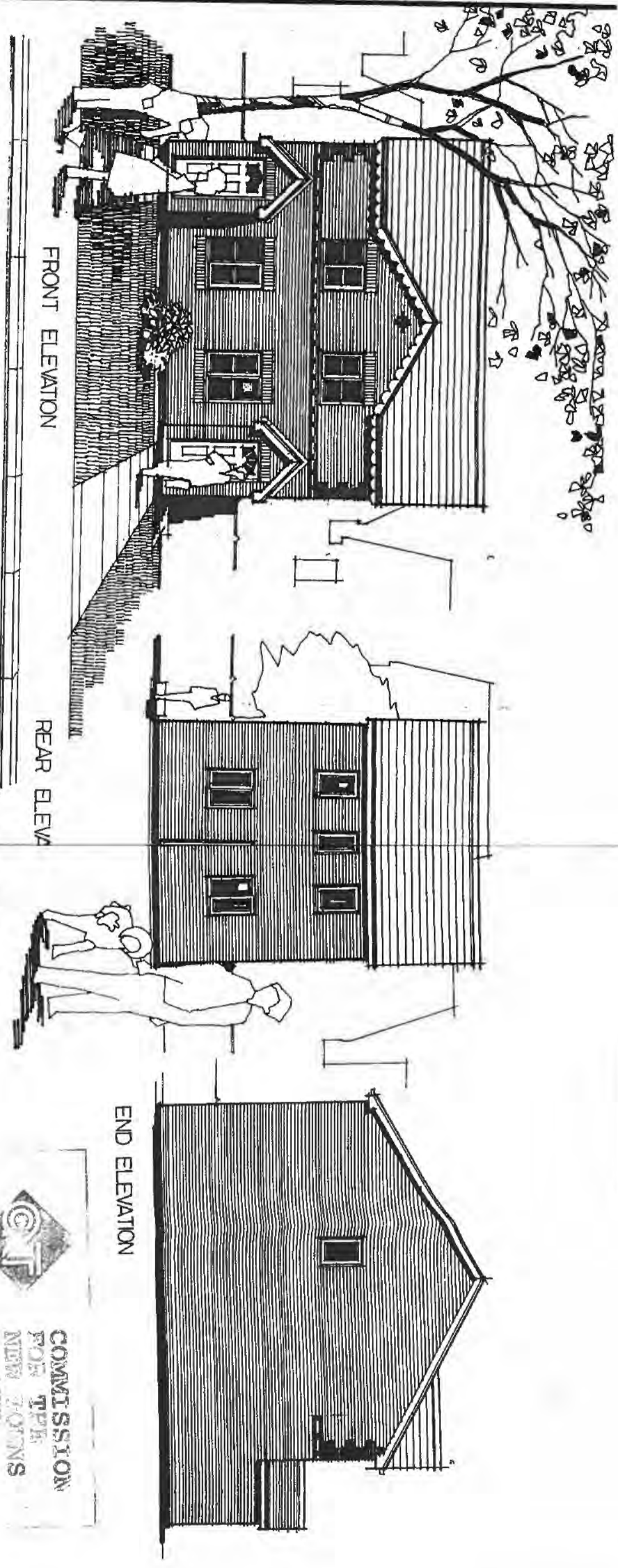
Company House, Kerlie Street, Chadderton, Oldham,  
 Greater Manchester OL9 6LD  
 Tel: 0161 630 7797 Fax: 0161 628 1213

Project: COTTAM WAY COTTAM VILLAGE PRESTON

Subject: FLOOR PLANS and ELEVATIONS TYPE C 'Grange'

Scale:	Date:	Drawn:	Checked:
1:100	May 98	NTL	Sc42/23

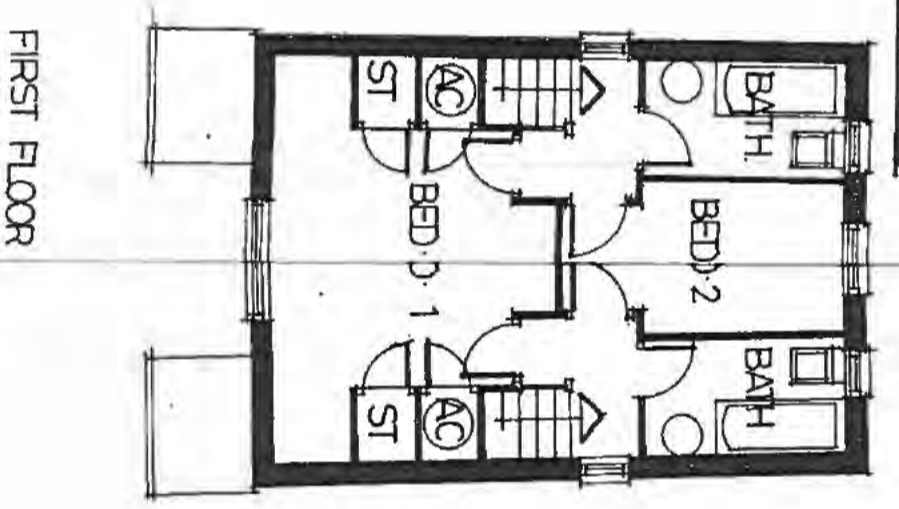
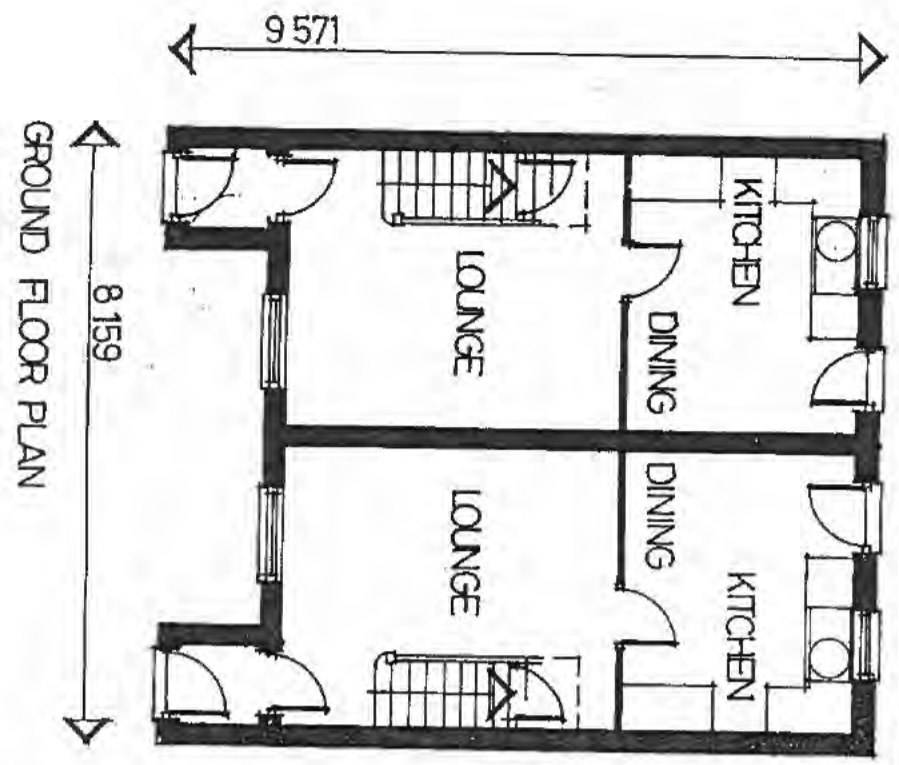
NBDC and Building Regulations.  
 Main drawings to comply with Series for Adaptive reuse sections.  
 Highways to be in accordance with Local Authority specifications.  
 Do not scale from this drawing. All dimensions to be verified with the drawing office.  
 Cad File Name



FRONT ELEVATION

REAR ELEVATION

END ELEVATION



GROUND FLOOR PLAN

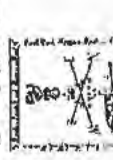
FIRST FLOOR



COMMISSION FOR THE NEW TOWNS  
LAND AGENCY

is certified as  
being referred to  
redevelopment, dated  
14/01/09

**BELWAY HOMES**  
URBAN RENAISSANCE NORTH WEST  
TECHNICAL SERVICES (a Group of Companies)  
(LONDON, MIDLANDS & NORTH)



Compass House, Kentle Street, Chadderton, Oldham,  
Greater Manchester OL9 6LD  
Tel: 0161 620 7797 Fax: 0161 628 1213

Project: COTTAM WAY COTTAM VILLAGE  
PRESTON

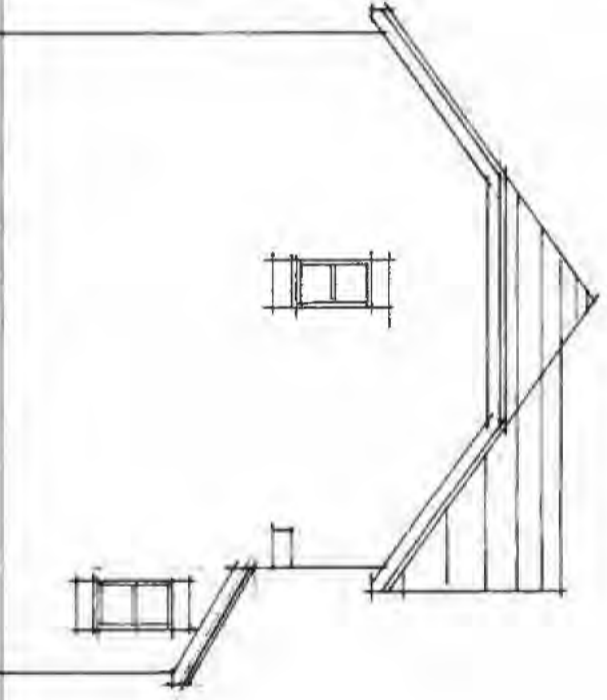
Subject: FLOOR PLANS and ELEVATIONS  
TYPE-A  
**Tenyby**

Scale	Date	Drawn	Checked
1:100	May 98	NTL	

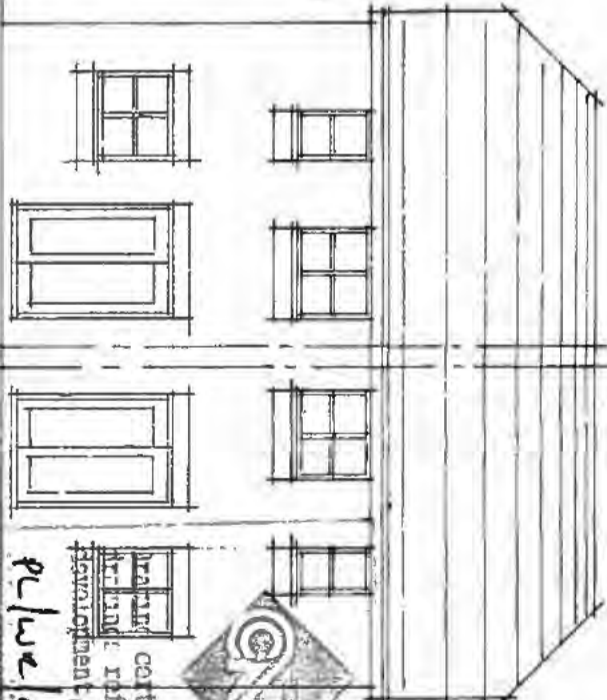
NRBC and Building Regulations.  
Main drawings to comply with Section for Adoption current editions.  
References to be in accordance with Local Authority specifications.  
Do not scale from this drawing. All dimensions to be verified with the drawing etc.  
CAD File Name:



FRONT ELEVATION - TYPE E  
PLOTS 31/32, 35/36, 37/38, 44/45, 54/55, 56/57, 83/84, 87/88



SIDE ELEVATION

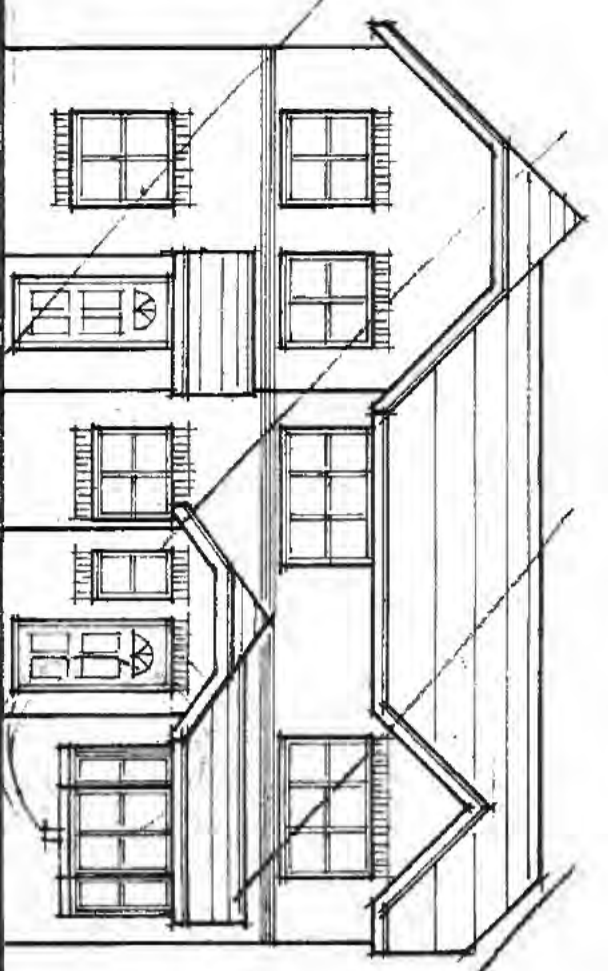


REAR ELEVATION

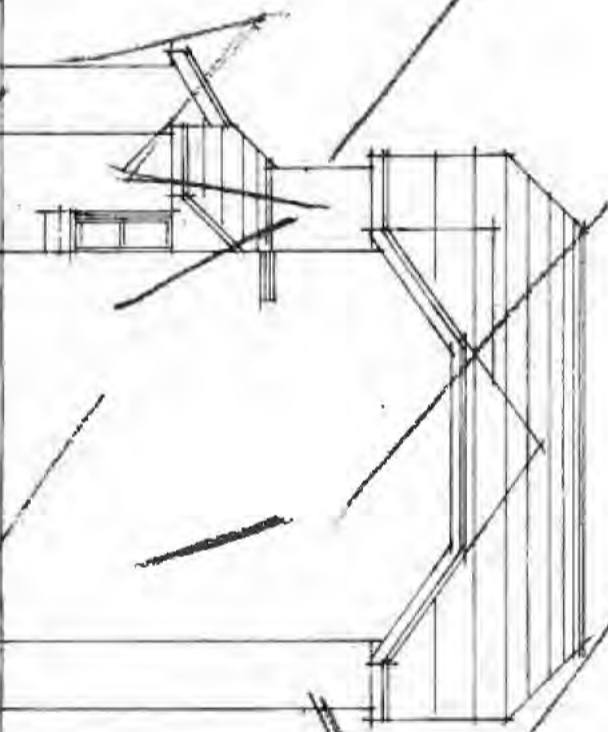


COMMISSION FOR THE NEW TOWNS LAND AGENCY

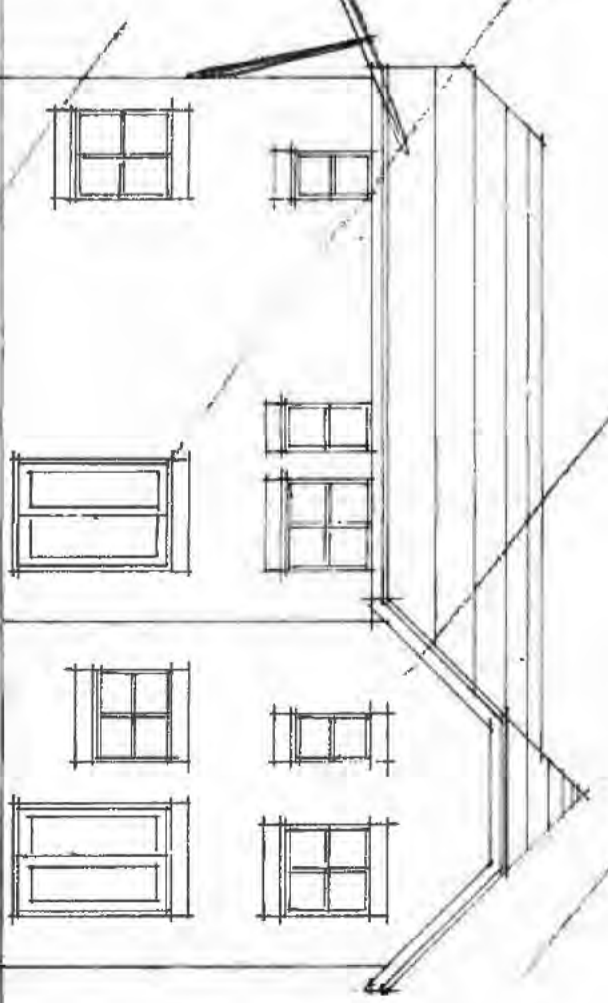
Drawn and certified as being a true and correct copy of the original drawing referred to in the specification, dated: 27/02/98  
 P. W. J. JONES  
 ARCHITECT  
 11, DUNSTON ROAD, MERRI  
 DINGWORTH, PLANNING & TECHNICAL SERVICES  
 (RES. HIGHLANDS NORTH)



FRONT ELEVATION - TYPES E&D - PLOTS 88&89



SIDE ELEVATION

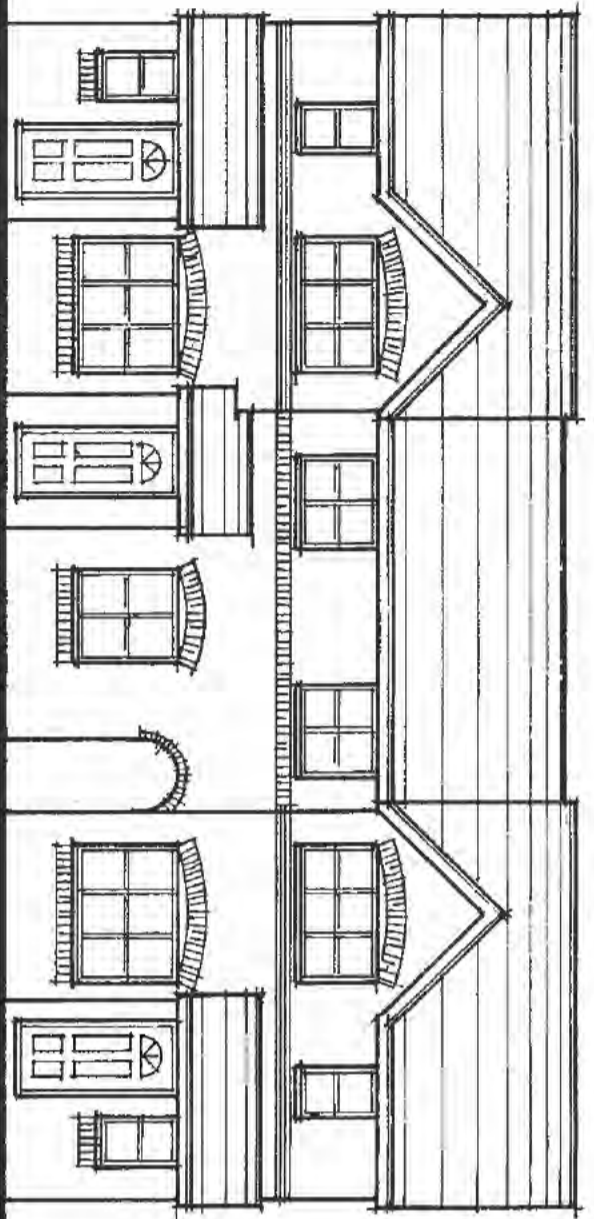


REAR ELEVATION

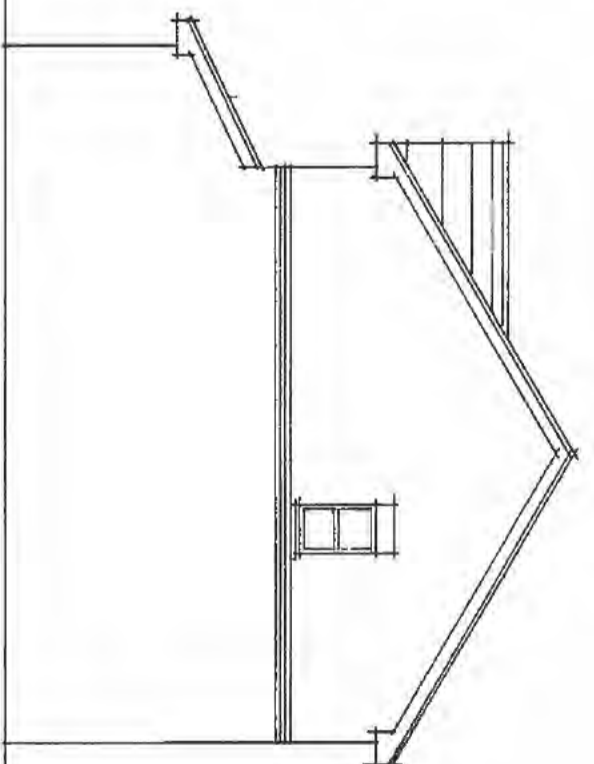
PROPOSED ELEVATIONS - HOUSE TYPE E

HOWARD & SEDDON PARTNERSHIP  
 CHARTERED ARCHITECTS  
 64 WASHWAY ROAD,  
 SALE CHESHIRE M33 7RE  
 Tel 0161 973 8296  
 Fax 0161 962 3485

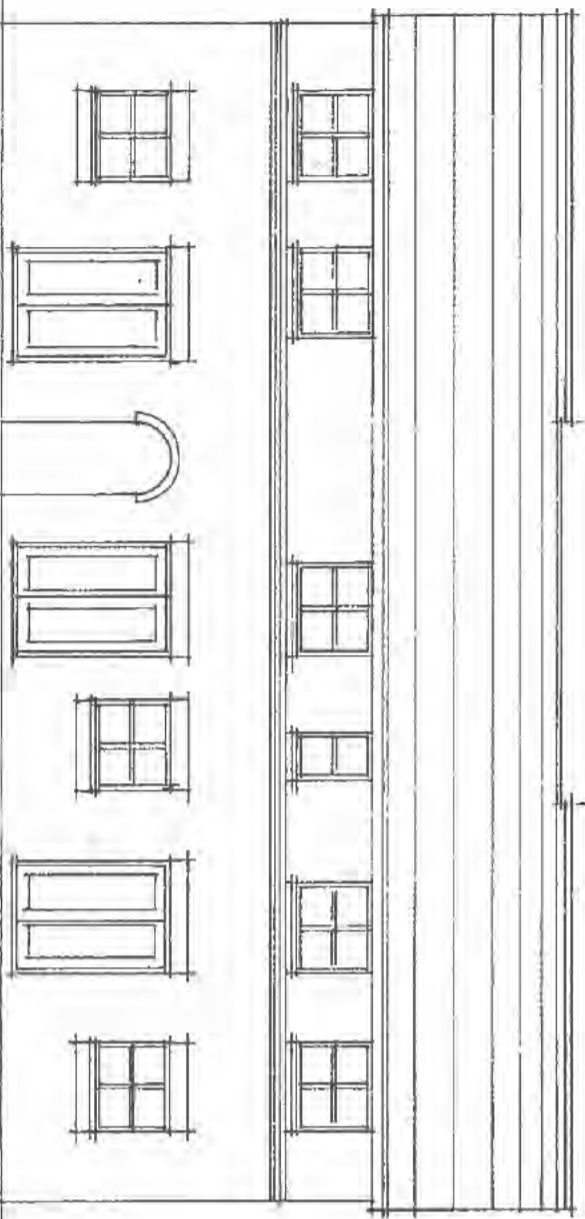
A FOR A&S DEVISED TO SUITE SITE PLAN		DRAWING NO. 5042/20	
JOB	PROP. RES. DEV. SITE 'J2'	DATE	27 MAR 98
CLIENT	off COTTAM WAY COTTAM VILLAGE PRESTON	SCALE	1:100
BELLWAY URBAN RENEWAL		AMENDMENT	A



FRONT ELEVATION PLOTS 46, 47, 48 & 69, 70, 71



SIDE ELEVATION



REAR ELEVATION

**COMMISSION FOR THE NEW TOWNS**  
 LANCASHIRE AGENCY

Drawing certified as being one of the approved drawings referred to in the Development, dated: [REDACTED]

*plw/els/so/so/09*

H. G. DINGSDALE B.Sc. M.C.I. M.R.I.P.I.  
 ARCHITECTS PLANNERS TECHNICAL SERVICES  
 101, ST. ANDREW'S, JORDEN.

PROPOSED ELEVATIONS - HOUSE TYPES D & F  
 PLOTS 46-48 & 69-71

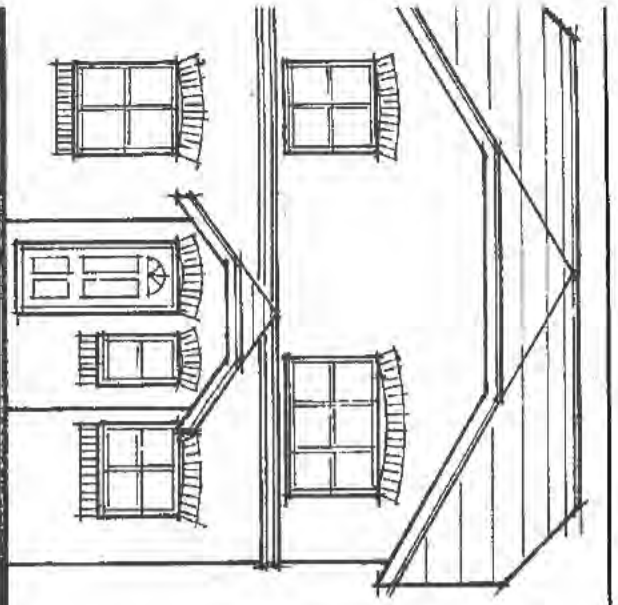
**HOWARD & SEDDON PARTNERSHIP**  
 CHARTERED ARCHITECTS  
 64 WASHWAY ROAD,  
 SALE CHESHIRE M33 7RE  
 Tel: 0161 973 8296  
 Fax: 0161 962 3485

JOB PROP. RES. DEV. SITE 'J2'  
 off COTTAM WAY  
 COTTAM VILLAGE PRESTON  
 CLIENT BELLWAY URBAN RENEWAL

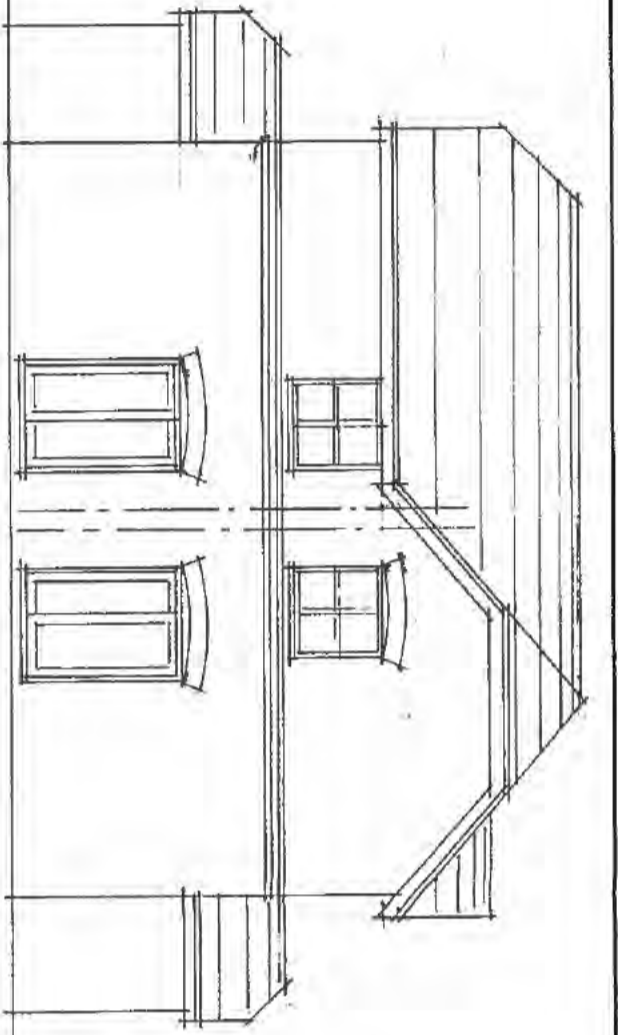
DRAWN [REDACTED]  
 DATE 13 MAY 98  
 SCALE 1:100

DRAWING NO. 5042/23  
 AMENDMENT

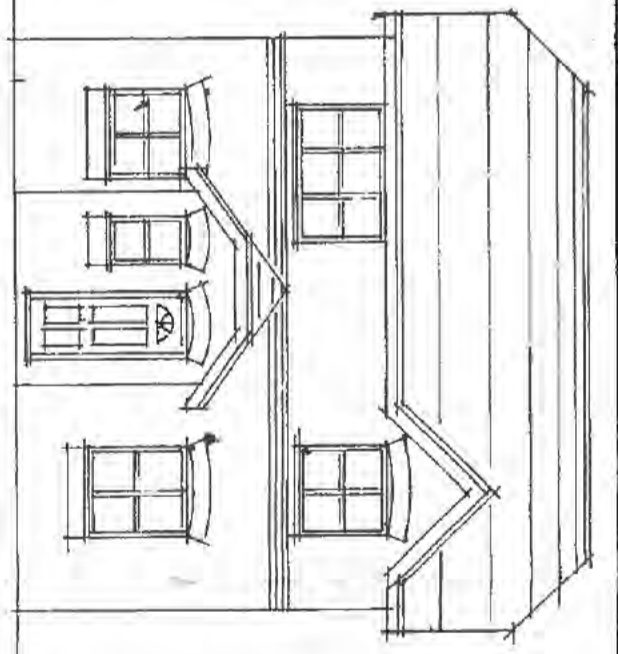
HOUSE TYPE D - FLOOR PLANS & ELEVATIONS



REAR ELEVATION  
PLOTS 78/79

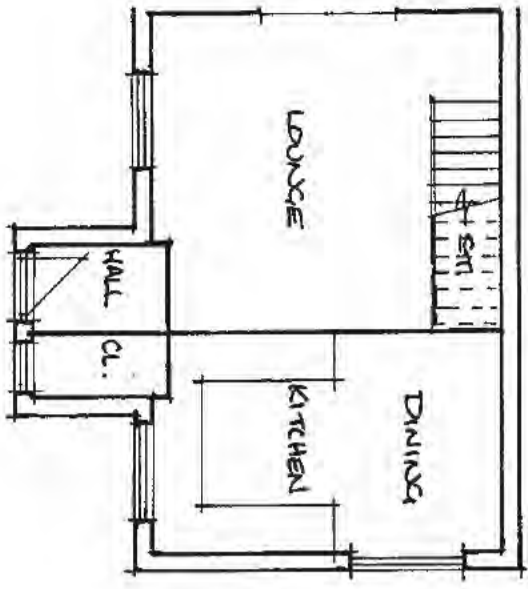


SIDE ELEVATION  
PLOTS

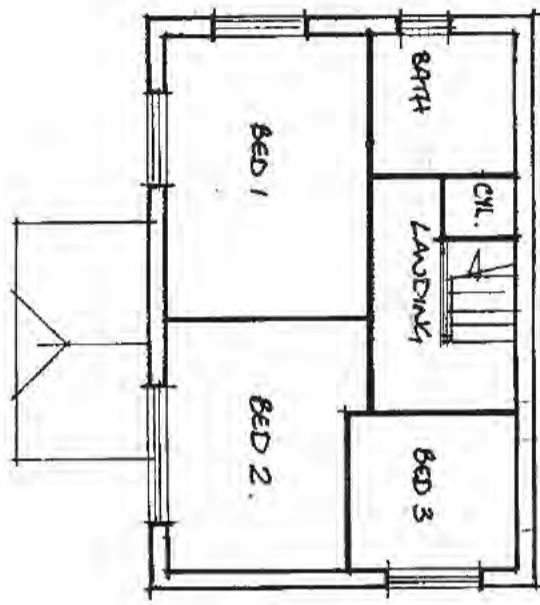


FRONT ELEVATION  
PLOTS 78

ROUND FLOOR PLAN - TYPE D  
LOTS 50, 51, 59, 60, 64, 67, 72, 78 & 79



FIRST FLOOR PLAN



**CONVEYANCE**  
FOR THE  
NEW OWNERS  
LAND AGENCY

Drawing certified as being one of the approved drawings referred to in the authorisation of development, dated:  
**14/02/19**

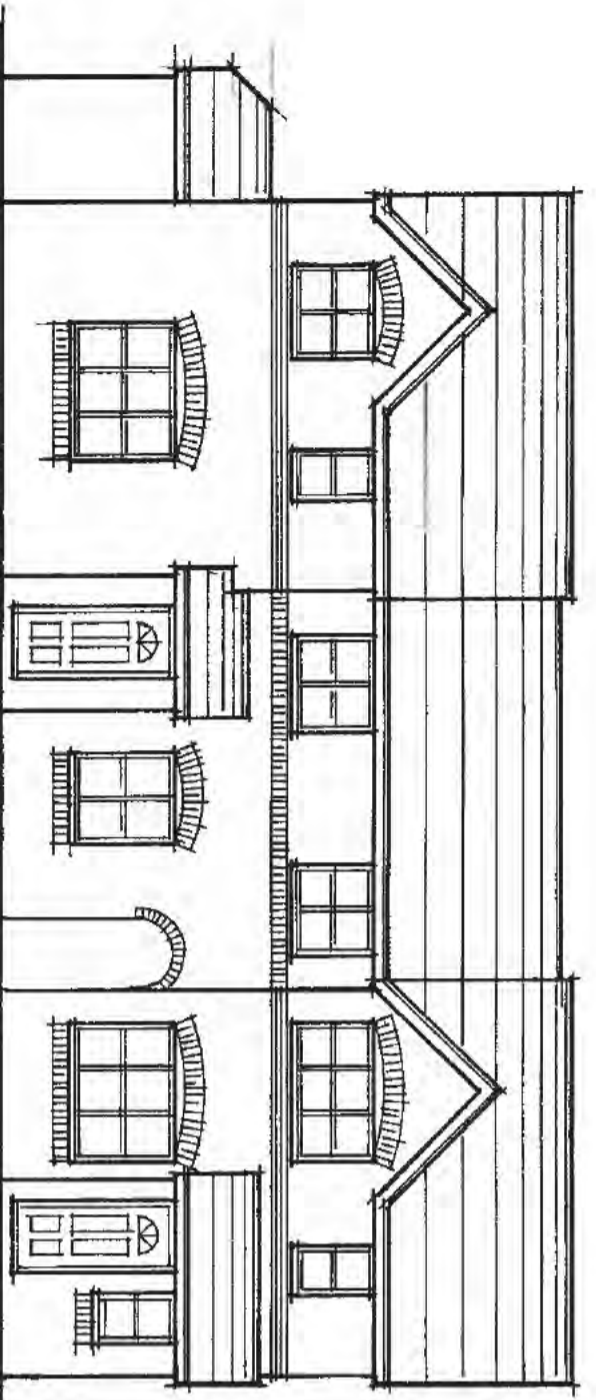
**R A DINGSDALE BA MCD MRPJ**  
DIRECTOR, PLANNING & TECHNICAL SERVICES  
WEST MIDLANDS & NORTH

**HOWARD & SEDDON PARTNERSHIP**  
CHARTERED ARCHITECTS  
64 WASHWAY ROAD  
SALE CHESHIRE M33 7RE  
Tel: 0161 973 8296  
Fax: 0161 962 3485

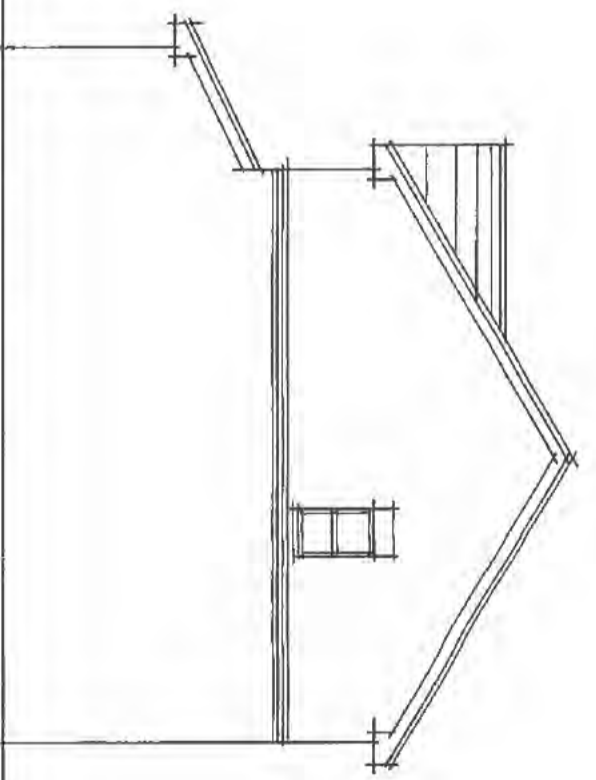
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OFF COTTAM WAY  
COTTAM VILLAGE PRESTON

DATE: 26 MAR 98  
SCALE: 1:100

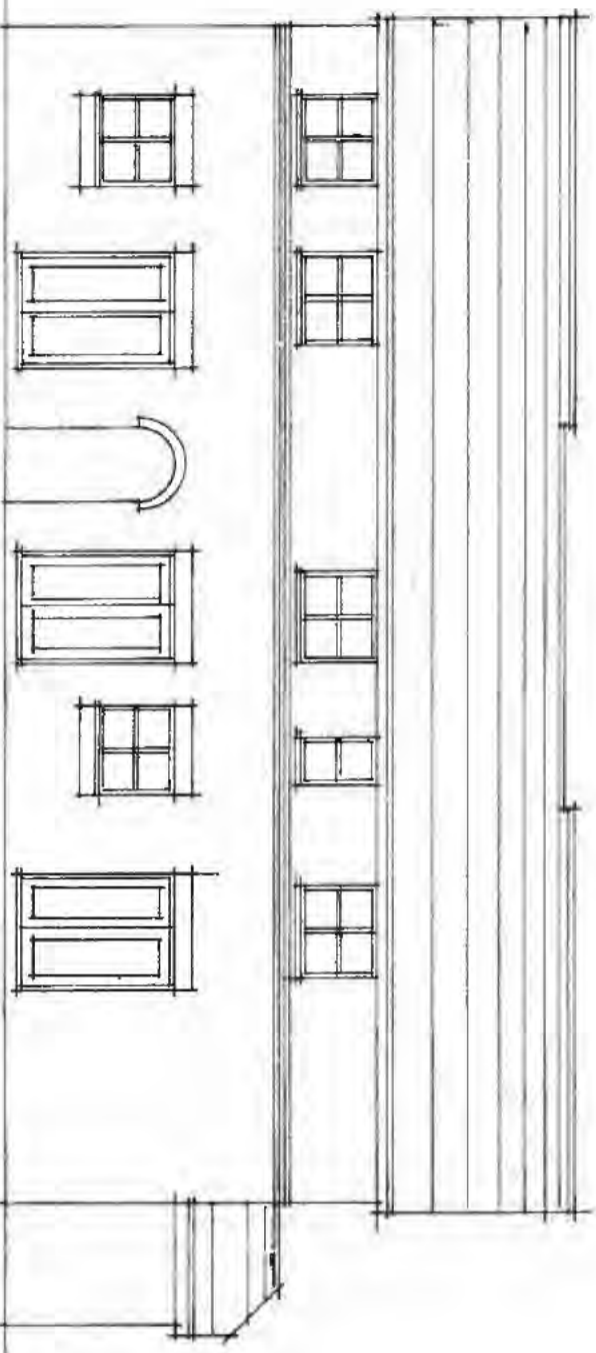
AMENDING NO: 5042/19  
AMENDMENT: A



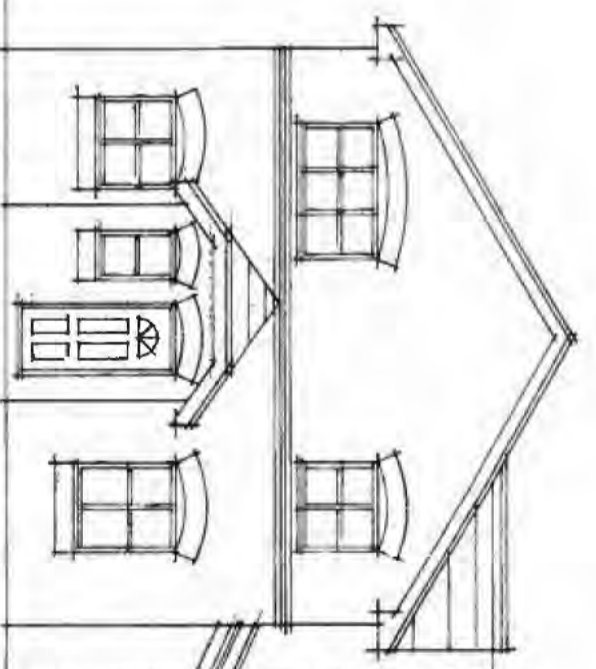
FRONT ELEVATION PLOTS 51, 52, 53 & 64, 65, 66



SIDE ELEVATION



REAR ELEVATION



FRONT ELEVATION PLOTS 51 & 64



**COTTAM & SON**  
**FOR THE**  
**NEW COTTAMS**  
 LAND AGENCY

Drawing certified as being one of the approved drawings referred to in the authorisation of development, dated: [redacted]  
 P. W. DINGSDALE BA MCD MRTP  
 DIRECTOR, PLANNING & TECHNICAL SERVICES  
 (WEST HIGHLANDS NORTH)

**PROPOSED ELEVATIONS - HOUSE TYPES D & F**

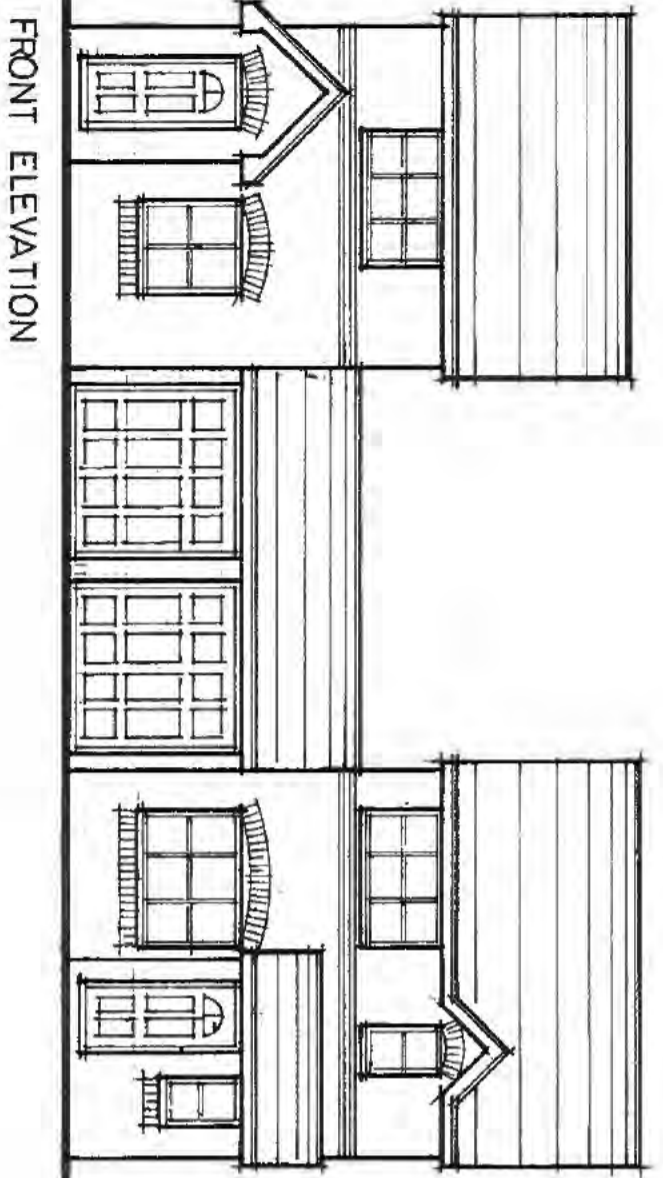
**PLOTS 51-53 & 64-66**

**HOWARD & SEDDON PARTNERSHIP**  
 CHARTERED ARCHITECTS  
 64 WASHWAY ROAD,  
 SALE, CHESHIRE, M33 7RE  
 Tel 0161 973 8296  
 Fax 0161 962 3485

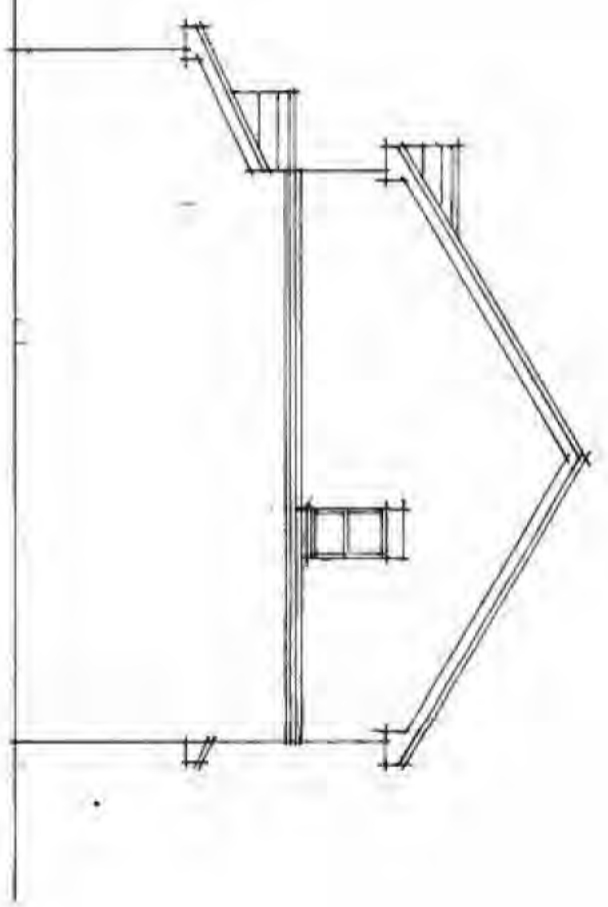
**JOB PROP. RES. DEV. SITE 'J2'**  
 off COTTAM WAY  
 COTTAM VILLAGE PRESTON

**CLIENT**  
 BELLWAY URBAN RENEWAL

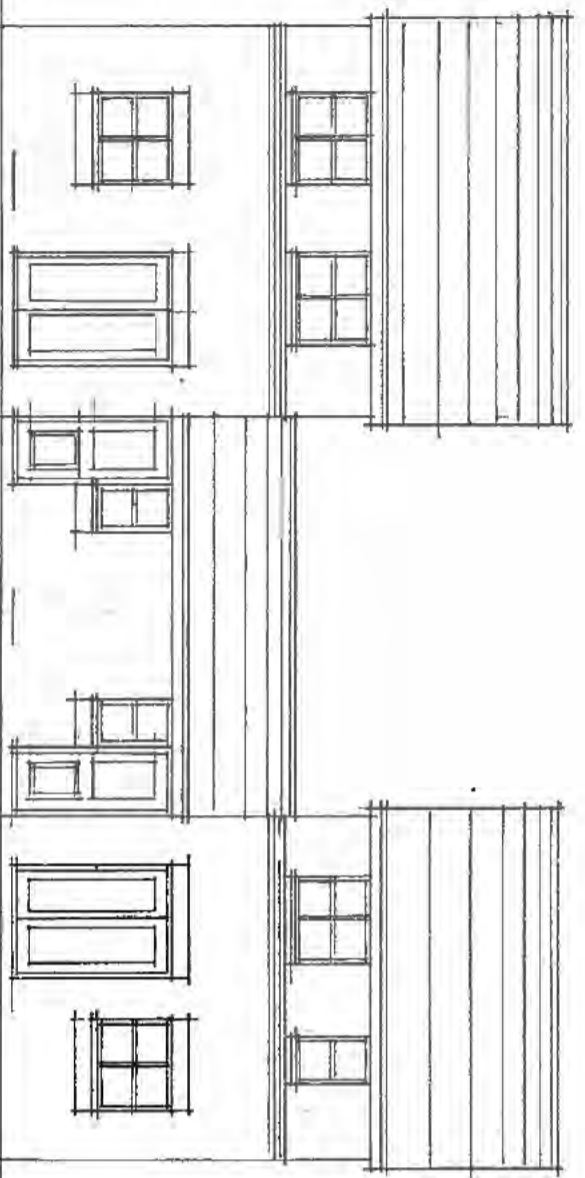
**DATE** 14 MAY 98  
**SCALE** 1:100  
**DRAWING NO.** 5042124  
**AMENDMENT**



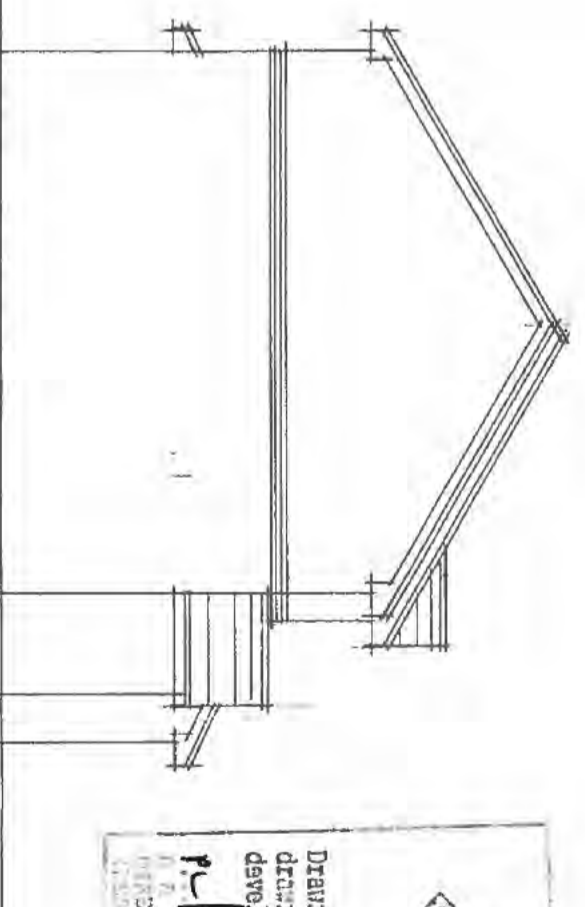
FRONT ELEVATION



SIDE ELEVATION



REAR ELEVATION



SIDE ELEVATION


  
 COMMITTEE FOR THE NEW TOWNS LAND AGENCY
   
 DRAWING CERTIFIED AS BEING ONE OF THE APPROVED DRAWINGS REFERRED TO IN THE DEVELOPMENT, DATED:
   
 P. W. DINGSDALE BE MCD MRPPI
   
 DIRECTOR, PLANNING & TECHNICAL SERVICES
   
 (101 DUNDAS STREET NORTH)
   
 01 MAR 1998

PROPOSED ELEVATIONS - HOUSE TYPES E & D
   
 PLOTS 89 & 90

**HOWARD & SEDDON PARTNERSHIP**
  
 CHARTERED ARCHITECTS
   
 64 WASHWAY ROAD
   
 SALE, CHESHIRE M33 7RE
   
 Tel 0161 973 8296
   
 Fax 0161 962 3485

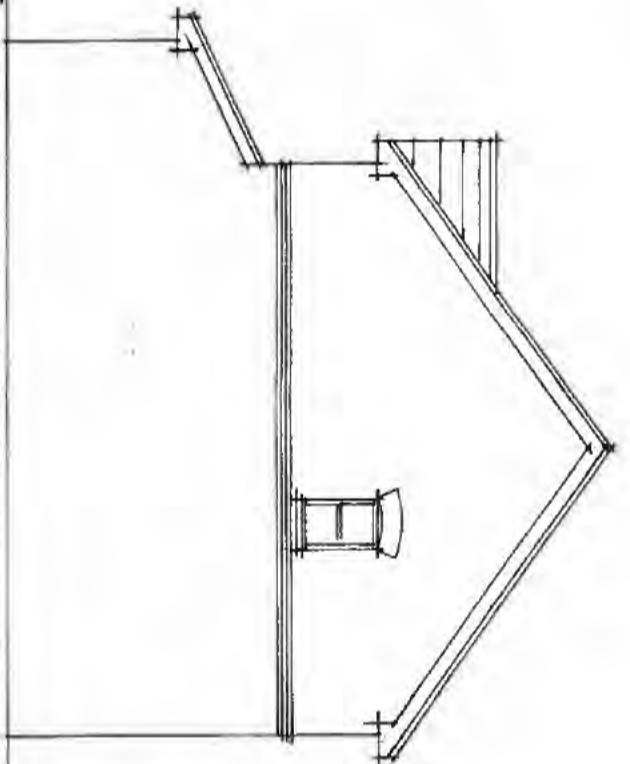
JOB PROP. RES. DEV. SITE 'J2'
   
 off COTTAM WAY
   
 COTTAM VILLAGE, PRESTON
   
 CLIENT BELLWAY URBAN RENEWAL

DATE 14 MAY 98
   
 SCALE 1:100
   
 DRAWING NO. 5042/26
   
 AMENDMENT 25

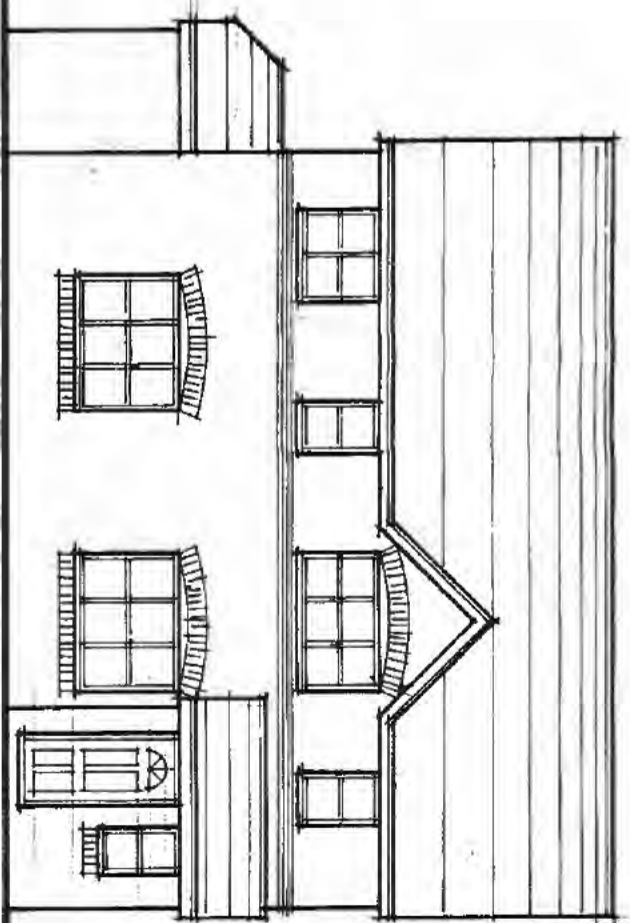




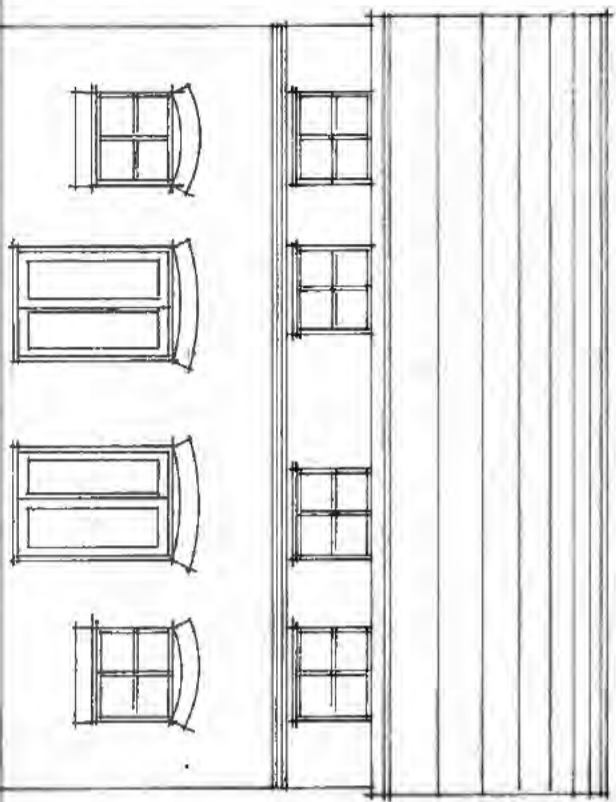
FRONT ELEVATION - PLOTS 85 & 86



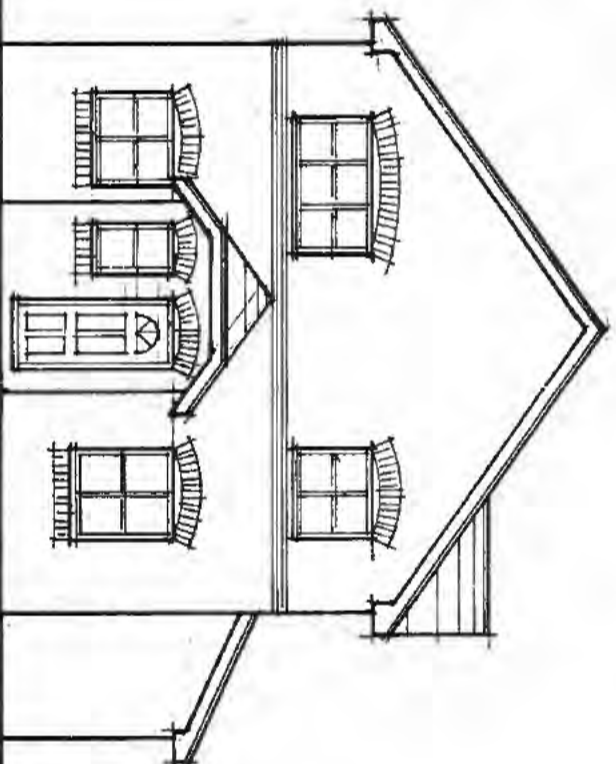
SIDE ELEVATION - PLOTS 68, 85 & 86



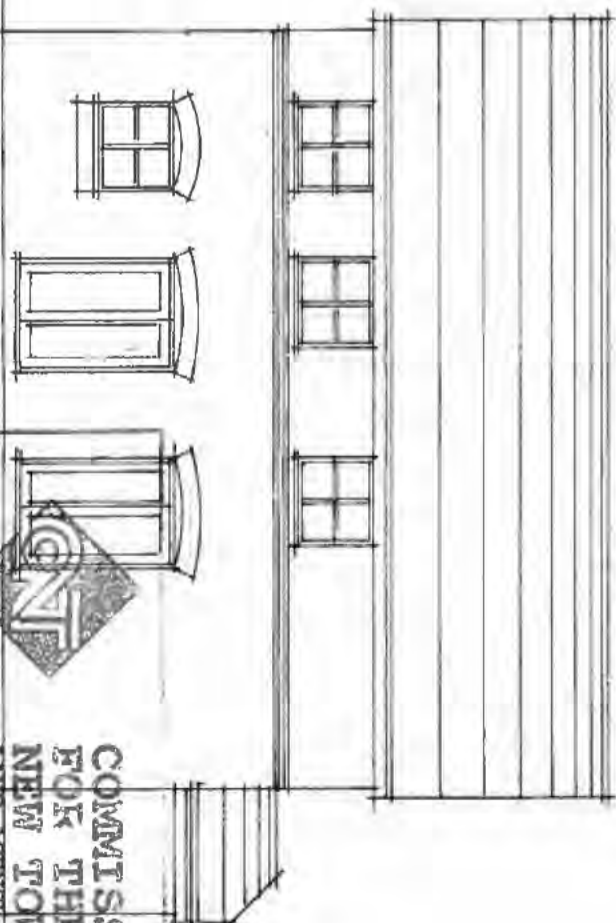
FRONT ELEVATION - PLOTS 67 & 68



REAR ELEVATION - PLOTS 85 & 86



SIDE ELEVATION - PLOT 67



REAR ELEVATION - PLOTS 67 & 68

Drawing certified as being one of the approved drawings referred to in the development, dated: **19.10.09**

**R A DINGSDALE BA MCD WRPTI**  
 DIRECTOR, PLANNING & TECHNICAL SERVICES  
 (WEST MIDLANDS NORTH)

**COMMISSION FOR THE NEW TOWNS LAND AGENCY**

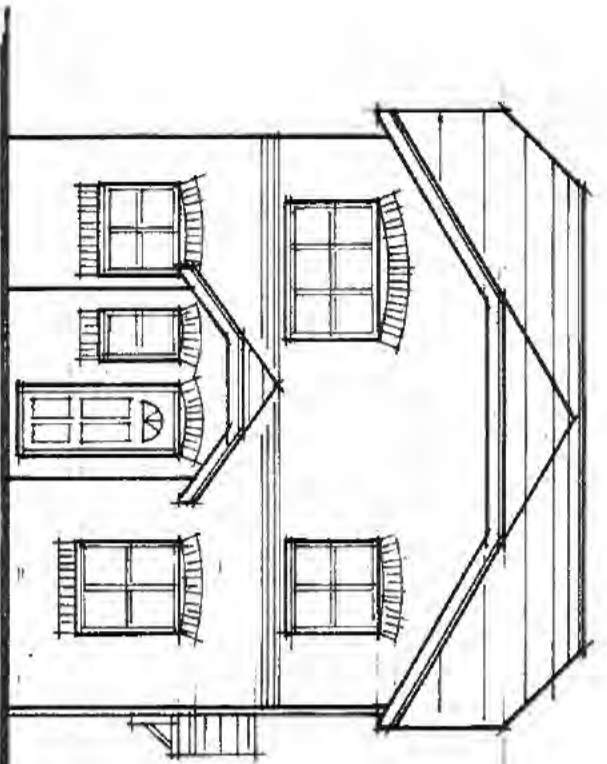
**PROPOSED ELEVATIONS - HOUSE TYPE D**

**HOWARD & SEDDON PARTNERSHIP**  
 CHARTERED ARCHITECTS  
 64 WASHWAY ROAD  
 SALE CHESHIRE M33 7RE  
 Tel 0161 973 8296  
 Fax 0161 962 3485

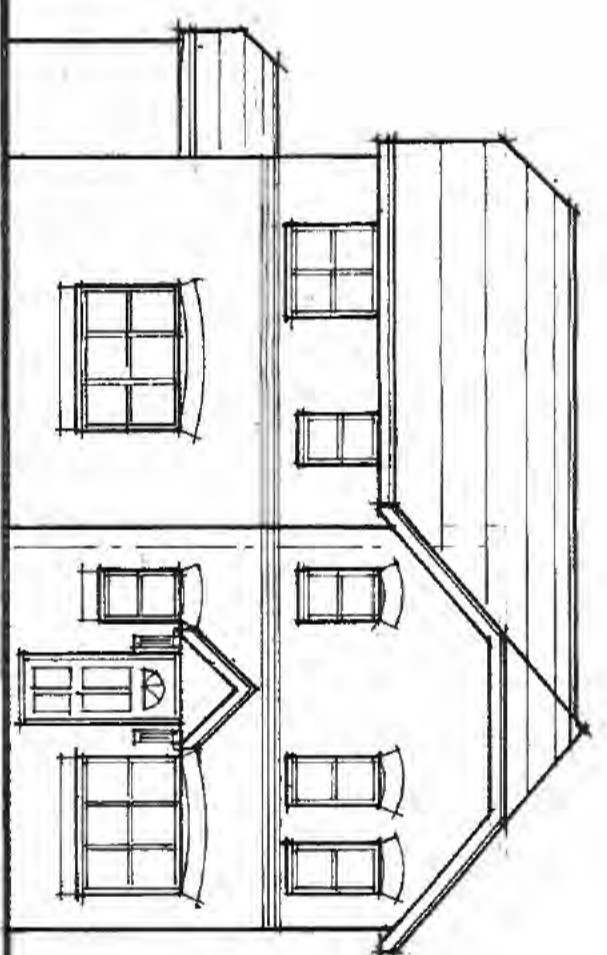
**JOB PROPRES.DEV. SITE 'J2'**  
 off COTTAM WAY  
 COTTAM VILLAGE PRESTON

**CLIENT** BELLWAY URBAN RENEWAL  
**DRAWN**  
**DATE**  
**SCALE** 1:100  
**DRAWING NO** 5042/25  
**AMENDMENT**

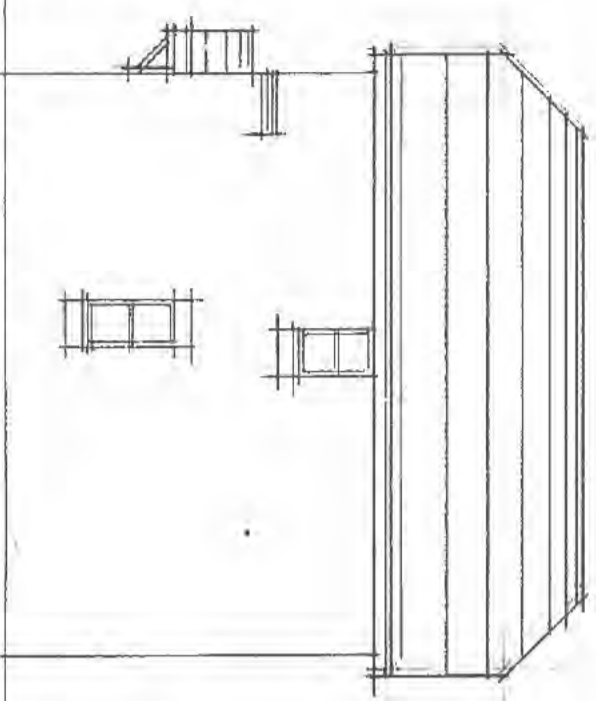
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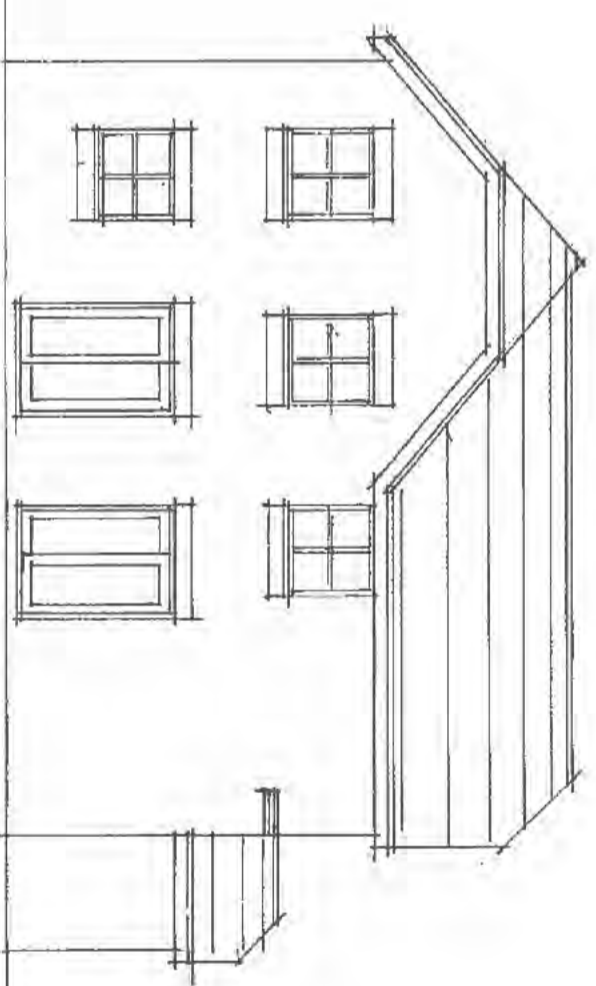
FRONT ELEVATION - TYPE D  
PLOTS 50, 59, 60 & 72



FRONT ELEVATION  
TYPE B  
PLOTS 49, 58, 61 & 73



SIDE ELEVATION



REAR ELEVATION

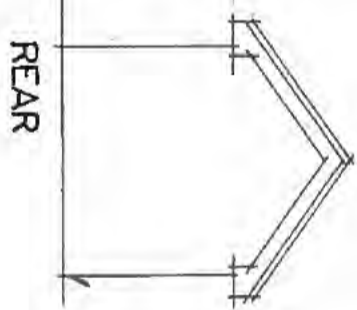
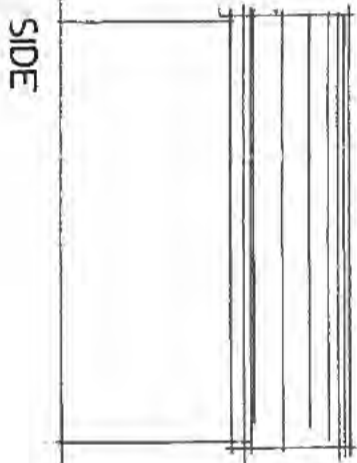
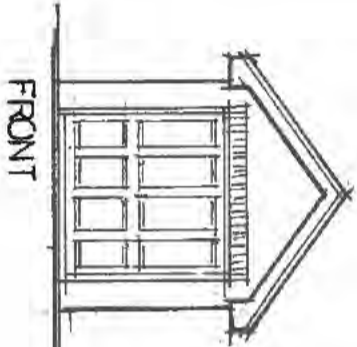
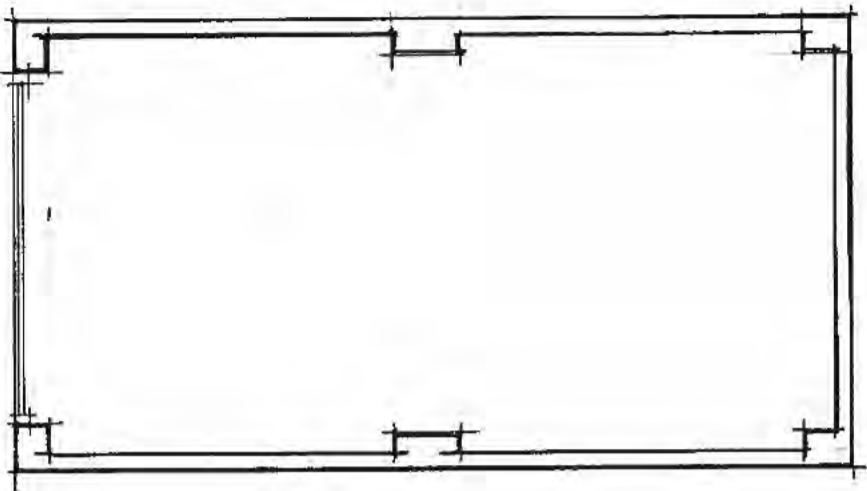
**COMMISSION FOR THE NEW TOWNS**  
 Drawing certified as being one of the approved drawings referred to in the authorisation of development, dated: **21/04/98**  
 R. A. DINGSDALE, B.Sc. MCD. MR. B.1. 0161 962 3485  
 DIRECTOR, PLANNING TECHNICAL SERVICES  
 (RES. BUILDLANDS NORTH)

**PROPOSED ELEVATIONS - PLOTS 49/50, 58/59, 60/61, 72/73**

PLOTS 49/50, 58/59 HANDED

**HOWARD & SEDDON PARTNERSHIP**  
 CHARTERED ARCHITECTS  
 64 WASHWAY ROAD,  
 SALE CHESHIRE M33 7RE  
 Tel 0161 973 8296  
 Fax 0161 962 3485

A Plot No. 5. REVISED TO SHOW SITE PLAN.		DWG. 15.5-98	
JOB	PROP. RES. DEV. SITE 'J2'	DRAWN	
CLIENT	off COTTAM WAY COTTAM VILLAGE PRESTON	DATE	21 MAR 98
	BELLWAY URBAN RENEWAL	SCALE	1:100
		AMENDMENT	A



**COMMISSION FOR THE NEW TOWNS**  
LAND AGENCY

Drawing certified as being one of the approved drawings referred to in the development, dated: [REDACTED]

*R. J. Dingsdale* 198/87  
R. J. DINGSDALE BA MCD MRTP  
DIRECTOR, PLANNING & TECHNICAL SERVICES  
(WEST MIDLANDS & NORTH)

**PROPOSED GARAGE - PLOTS 51, 64, 72 & 79**

**HOWARD & SEDDON PARTNERSHIP**  
CHARTERED ARCHITECTS  
64 WASHWAY ROAD  
SALE, CHESHIRE, M33 7RE  
Tel 0161 973 8296  
Fax 0161 962 3485

JOB	PROP RES DEV SITE J2	DRAWING NO	5022127
CLIENT	BELLWAY URBAN RENEWAL	SCALE	1:50/1:100
	off COTTAM WAY COTTAM VILLAGE PRESTON	DATE	24 JUL 98
			AMENDMENT

has passed information

s. 40(2)

s. 40(2)

is a

# HOWARD AND SEDDON PARTNERSHIP

TIT/90  
SER  
(22)

Tel: 0161 973 8296 64 Washway Road Sale Cheshire M33 7RE Fax: 0161 962 3485  
In Association with Townland Consultants H.K.

Chartered Architects

DKS/CAS

9 April 1998

s. 40(2)

Commission for the New Towns  
P O Box 49  
New Town House  
Buttermarket Street  
Warrington  
Cheshire  
WA1 2LF

Dear s. 40(2)

PROPOSED RESIDENTIAL DEVELOPMENT  
COTTAM WAY COTTAM VILLAGE PRESTON

Enclosed herewith is a copy of our draft drawing number 5042/22A, which we have been asked to issue to you by Bellway Urban Renewal (Northwest) Ltd with reference to our recent meeting, for your further observations please. Kindly note this drawing is presented in draft format prior to final presentation.

We look forward to your further observations in connection with the matter.

Yours sincerely

s. 40(2)

cc s. 40(2)

Bellway Urban Renewal (Northwest) Ltd

MANCHESTER HONG KONG

DK Seddon BSc (Hons) MSc Dip Arch (Lon) RIBA AB Babington Dip Arch (Manc) RIBA  
Associate: EG Seddon MA Dip Arch (Manc) RIBA

s. 40(2)

s. 40(2)

labored suggestion to improve the  
Southern half by creating a loop road along  
the top of the ha-ha wall. This would  
require an extra 5m to be taken from the  
open space and could allow for 1 or 2 more  
units. The property would then all face  
south towards the canal.

- Ndr suggested this to PBC or Howard or Seddon yet
- can't leave this with you to discuss with

s. 40(2)

s. 40(2)

# HOWARD AND SEDDON PARTNERSHIP

Tel: 0161 973 8296 64 Washway Road Sale Cheshire M33 7RE Fax: 0161 962 3485  
DKS/CB In Association with Townland Consultants H.K. 21 April 1998  
Chartered Architects

s. 40(2)  
Commission for the New Towns  
P O Box 49  
New Town House  
Buttermarket Street  
Warrington  
Cheshire  
WA1 2LF



Dear s. 40(2)

## PROPOSED RESIDENTIAL DEVELOPMENT COTTAM WAY COTTAM VILLAGE PRESTON

Further to our telephone conversations with you, s. 40(2) of Preston Highways Department and s. 40(2) of Preston Planning Department, we have pleasure in enclosing herewith a copy of our sketch drawing number 5042/22B which has been amended further to our discussions, for your further observations please prior to submission for planning approval.

The following amendments have been incorporated:

- 1) Garages/driveways have been adjusted adjacent to the ha-ha.
- 2) The footpath link has been repositioned to the middle access way as requested. The maintenance track has been repositioned to the original siting to follow the drainage connection line, thus affecting less vegetation.

We await your further observations in connection with the matter.

Yours sincerely

s. 40(2)

s. 40(2) Please follow up with

s. 40(2)

Enc

- cc s. 40(2) Bellway Urban Renewal (with plan enclosure)
- cc s. 40(2) Bellway Urban Renewal (with plan enclosure)
- cc s. 40(2) Bellway Urban Renewal (with plan enclosure)
- cc s. 40(2) Highways Department (with plan enclosure)
- cc s. 40(2) Planning Department (with plan enclosure)
- cc s. 40(2) Planning Department (with plan enclosure)

MANCHESTER HONG KONG

DK Seddon BSc (Hons) MSc Dip Arch (Lond) RIBA AB Babington Dip Arch (Mancl) RIBA  
Associate: EG Seddon MA Dip Arch (Mancl) RIBA

# HOWARD AND SEDDON PARTNERSHIP

Tel: 0161 973 8296 64 Washway Road Sale Cheshire M33 7RE Fax: 0161 962 3485

In Association with Townland Consultants H.K.

DKS/CB

Chartered Architects

21 April 1998

Mr **s. 40(2)**  
s. 40(2)

Preston Borough Council  
P O Box 10  
Lancastria House  
77/79 Lancaster Road  
Preston  
PR1 2RL

Dear **s. 40(2)**

## PROPOSED RESIDENTIAL DEVELOPMENT COTTAM WAY COTTAM VILLAGE PRESTON

Further to our telephone conversations with Rob Foster of Preston Highways Department, **s. 40(2)** of Preston Planning Department and **s. 40(2)** of CNT, we have pleasure in enclosing herewith a copy of our sketch drawing number 5042/22B which has been amended further to our discussions, for your further observations please prior to submission for planning approval.

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We await your further observations in connection with the matter.

Yours sincerely

**s. 40(2)**

Enc

- cc **s. 40(2)** Bellway Urban Renewal (with plan enclosure)
- cc **s. 40(2)** Bellway Urban Renewal (with plan enclosure)
- cc **s. 40(2)**, Bellway Urban Renewal (with plan enclosure)
- cc **s. 40(2)** Highways Department (with plan enclosure)
- cc **s. 40(2)** Planning Department (with plan enclosure)
- cc **s. 40(2)** CNT (with plan enclosure)

MANCHESTER HONG KONG

DK Seddon BSc (Hons) MSc Dip Arch (Lon) RIBA AB Babington Dip Arch (Mand) RIBA  
Associate: EG Seddon MA Dip Arch (Mand) RIBA



# HOWARD AND SEDDON PARTNERSHIP

Tel: 0161 973 8296 64 Washway Road Sale Cheshire M33 7RE Fax: 0161 962 3485  
DKS/CB In Association with Townland Consultants H.K. 21 April 1998  
Chartered Architects

s. 40(2)

Planning Department  
Preston Borough Council  
P O Box 10  
Lancastria House  
77/79 Lancaster Road  
Preston  
PR1 2RL

Dear s. 40(2)

## PROPOSED RESIDENTIAL DEVELOPMENT COTTAM WAY COTTAM VILLAGE PRESTON

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We await your further observations in connection with the matter.

Yours sincerely

s. 40(2)

Enc

- cc s. 40(2) Bellway Urban Renewal (with plan enclosure)
- cc s. 40(2) Bellway Urban Renewal (with plan enclosure)
- cc s. 40(2) Bellway Urban Renewal (with plan enclosure)
- cc s. 40(2) Highways Department (with plan enclosure)
- cc s. 40(2) Planning Department (with plan enclosure)
- cc s. 40(2) CNT (with plan enclosure)

MANCHESTER HONG KONG

DK Seddon BSc (Hons) MSc Dip Arch (Lond) RIBA AB Babington Dip Arch (Manc) RIBA  
Associate: EG Seddon MA Dip Arch (Manc) RIBA

# HOWARD AND SEDDON PARTNERSHIP

Tel: 0161 973 8296 64 Washway Road Sale Cheshire M33 7RE Fax: 0161 962 3485  
DKS/CB In Association with Townland Consultants H.K. Chartered Architects 21 April 1998

s. 40(2)

Highways Department  
Preston Borough Council  
P O Box 10  
Lancastria House  
77/79 Lancaster Road  
Preston  
PR1 2RL

Dear s. 40(2)

## PROPOSED RESIDENTIAL DEVELOPMENT COTTAM WAY COTTAM VILLAGE PRESTON

Further to our telephone conversations with you, s. 40(2) of Preston Planning Department and s. 40(2) of CNT, we have pleasure in enclosing herewith a copy of our sketch drawing number 5042/22B which has been amended further to our discussions, for your further observations please prior to submission for planning approval.

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- 1) ~~Garages/driveways have been adjusted adjacent to the ha-ha.~~
- 2) ~~The footpath link has been repositioned to the middle access way as requested. The maintenance track has been repositioned to the original siting to follow the drainage connection line, thus affecting less vegetation.~~

We await your further observations in connection with the matter.

Yours sincerely

s. 40(2)

Enc

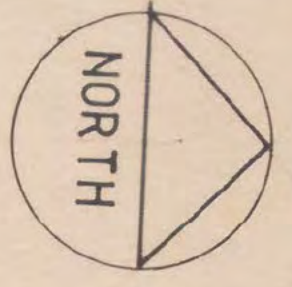
- cc s. 40(2) Bellway Urban Renewal (with plan enclosure)
- cc s. 40(2) Bellway Urban Renewal (with plan enclosure)
- cc s. 40(2) Bellway Urban Renewal (with plan enclosure)
- cc s. 40(2) Planning Department (with plan enclosure)
- cc s. 40(2) Planning Department (with plan enclosure)
- cc s. 40(2) CNT (with plan enclosure)

MANCHESTER HONG KONG

DK Seddon BSc (Hons) MSc Dip Arch (Lon) RIBA AB Babington Dip Arch (Manc) RIBA  
Associate: EG Seddon MA Dip Arch (Manc) RIBA

SITE K1

SITE J1



**SCHEDULE FOR ACCOMMODATION**  
**HOUSES FOR RENT - PLOTS 1 to 30**

NO ON SITE	DWELLING TYPE	NO OF BEDS	CONFIGURATION	CAR PARKING PROVISION	GROSS FLOOR AREA
8	A- TENBY	2	SEMI-DET	2P SPACES	600
4	B- TARYN	3	SEMI-DET	2P SPACES	740
6	C- GRANGE	4	SEMI-DET	2P SPACES	1065
4	D- CHATSWORTH	3	END TERRACE	2P SPACES	728
4	E- STUDLEY	2	MID TERRACE	2P SPACES	583
4	F- KINSTON	3	END TERRACE	2P SPACES	656

**NB 1 PLOTS 25 & 26 PARKING PROVISION = SPACE + 50%**

Site area Overall  
Developable Acres 1.56  
Public open space Acres 0

Total no of units on site 30  
Units per overall acre 19.23  
Units per developable acre 19.23

Total gross internal floor area 22018  
Floor area + site area (overall) (developable)  
SQ FT 2882  
SQ FT 2852

**HOUSES FOR SALE - PLOTS 31 to 88**

NO ON SITE	DWELLING TYPE	NO OF BEDS	CONFIGURATION	CAR PARKING PROVISION	GROSS FLOOR AREA
15	B- TARYN	3	SEMI-DET	2P SPACES	740
15	D- CHATSWORTH	3	END TERRACE	2P SPACES	728
23	E- STUDLEY	2	MID TERRACE	2P SPACES	583
5	F- KINSTON	3	END TERRACE	2P SPACES	656

Site area Overall  
Developable Acres 4.03  
Public open space Acres 3.45

Total no of units on site 58  
Units per overall acre 14.39  
Units per developable acre 14.39

Total gross internal floor area 38709  
Floor area + site area (overall) (developable)  
SQ FT 5175  
SQ FT 9605

**ANNOUNCEMENTS**

**BRELLWAY HOMES**  
(a member of Bellway The Group of Companies)  
Company House, Widdow Street, Chadderton, Oldham,  
Greater Manchester, OL3 9LD  
Tel: 0161 608 7797 Fax: 0161 638 3333

Urban Renewal Southern  
240277 Field Road, Bostons,  
Barnoldswick,  
Lancashire, BB10 4AA  
Tel: 01751 408 4488  
Fax: 01751 408 6790

Urban Renewal Southern  
9 Kerrier Court,  
Glasgow,  
G51 1HD  
Tel: 041 439 5313  
Fax: 041 429 8818

**Project**  
SITE J2 off COTTAM WAY  
COTTAM VILLAGE  
PRESTON

**Subject**  
PROPOSED SITE LAYOUT  
SCHEME FOUR

Scale 1:500 Date 31 MARCH 98  
Drawing No. 5042/122  
Revision

Notes: All specifications, conditions and standards to be in accordance with current  
S.I.M.C. and Building Regulations.  
All drawings to comply with Section for Adoption current edition  
Highways to be in accordance with Local Authority specifications.  
Do not scale from this drawing. All dimensions to be verified with the drawing office.  
References  
**HOWARD & SEDDON 5042/122**

• Site J2 • off Cottam Way • Cottam Village •

SITE K1

SITE J1



**SCHEDULE FOR ACCOMMODATION**  
**HOUSES FOR RENT - PLOTS 1 to 30**

Plot No	Dwelling Type	no of beds	Configuration	Car Parking Provision	Gross Floor Area
8	A-TENBY	2	SEMI-DET	2TP SPACES	600
4	B-TARVIN	3	SEMI-DET	2TP SPACES	740
6	C-GRANGE	4	SEMI-DET	2TP SPACES	1065
4	D-CHAISWORTH	3	END TERRACE	2TP SPACES	728
4	E-STUDLEY	2	MID TERRACE	2TP SPACES	583
4	F-KINGSTON	3	END TERRACE	2TP SPACES	656

NB: PLOTS 25 & 26 PARKING PROVISION - SPACE + 50%

Site area	Overall	Developable	Public open space
Acres	1.56	1.56	0
Acres	1.56	1.56	0

**HOUSES FOR SALE - PLOTS 31 to 88**

Plot No	Dwelling Type	no of beds	Configuration	Car Parking Provision	Gross Floor Area
15	B-TARVIN	3	SEMI-DET	2TP SPACES	740
15	D-CHAISWORTH	3	END TERRACE	2TP SPACES	728
23	E-STUDLEY	2	MID TERRACE	2TP SPACES	583
5	F-KINGSTON	3	END TERRACE	2TP SPACES	656

Site area Overall: Acres 7.48, Developable: Acres 4.03, Public open space: Acres 3.45

Total no of units on site: No. 58

Units per overall acre: No. 1.775

Units per developable acre: No. 14.39

Total gross internal floor area: SQ. FT. 38,709

Floor area - site area (overall): SQ. FT. 5,775

(developable): SQ. FT. 9,605

**BRILLWAY HOMES**  
 (a member of Bellway Plc Group of Companies)  
 Computer House, North Street, Chadderton, Oldham  
 Tel: 0161 628 3373 Fax: 0161 628 3333

Urban Renewal Southern  
 202/72 Field Road, Bolton  
 M44 9JH  
 Tel: 091 868 1488 Fax: 091 868 6700

Urban Renewal Scotland  
 9 Kerne Street, Glasgow, G51 1HD  
 Tel: 041 288 5313 Fax: 041 289 6318

**PROPOSED SITE LAYOUT**  
**SCHEME FOUR**  
**SITE J2 off COTTAM WAY**  
**COTTAM VILLAGE**  
**PRESTON**

Scale: 1:500 Date: 31 MARCH 99  
 Drawing No: 5042/22

How: All specifications, materials and workmanship to be in accordance with current NBS/C and Building Regulations.  
 Make drawings to comply with local Authority requirements.  
 All drawings to be in accordance with local Authority specifications.  
 The site shall be fully drained. All dimensions to be verified with the existing office.  
 Reference: HOWARD & SEDDON 5042/22

• Site J2 • off Cottam Way • Cottam Village •

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phone call from  
s. 40(2) of  
ward & Seddon  
telling Engineers.

er to a meeting  
s. 40(2) last  
y re: Lottam Q2  
warded drugs. for  
ts.

checking on progress.

973-8296.

on Arice, Wed.

# HOWARD AND SEDDON PARTNERSHIP

Tel: 0161 973 8296 64 Washway Road Sale Cheshire M33 7RE Fax: 0161 962 3485  
In Association with Townland Consultants H.K.

DKS/CB

Chartered Architects

7 April 1998

s. 40(2)

Commission for the New Towns  
P O Box 49  
New Town House  
Buttermarket Street  
Warrington  
Cheshire  
WA1 2LF



Dear s. 40(2)

PROPOSED RESIDENTIAL DEVELOPMENT  
SITE J2 OFF COTTAM WAY COTTAM VILLAGE PRESTON

Further to the meeting held on Monday, 30 March 1998 in connection with the above mentioned, please find enclosed a copy of our draft drawing number 5042/22A for your approval/further observations, prior to making any detailed submission.

We feel we have incorporated all the points raised at the meeting, and we would be grateful for your early reply in connection with this matter.

Should you have any queries please do not hesitate to contact me.

Yours sincerely

s. 40(2)

s. 40(2)  
for HOWARD AND SEDDON

Enc

cc s. 40(2) Bellway Urban Renewal  
cc s. 40(2) Planning Department, Preston Borough Council (with Drawing No.5042/22A)

MANCHESTER HONG KONG

DK Seddon BSc (Hons) MSc Dip Arch (Lon) RIBA AB Babington Dip Arch (Manc) RIBA  
Associate: EG Seddon MA Dip Arch (Manc) RIBA

SITE K1

SITE J1



**SCHEDULE FOR ACCOMMODATION**  
HOUSES FOR RENT - PLOTS 1 to 30

UNIT NO.	DWELLING TYPE	NO OF BEDS	CONVERSION	CAR PARKING PROVISION	GROSS FLOOR AREA
8	A-TENBY	2	SEMI-DET	2P SPACES	600
4	B-TARVIN	3	SEMI-DET	2P SPACES	740
6	C-GRANGE	4	SEMI-DET	2P SPACES	1065
4	D-CHAISWORTH	3	END TERRACE	2P SPACES	728
4	E-STUDLEY	2	MID TERRACE	2P SPACES	583
4	F-KINGSTON	3	END TERRACE	2P SPACES	656

NB: PLOTS 25 & 26 PARKING PROVISION = SPACE + 50%

Site area	Overall	Acres 1.56
	Developable	Acres 1.56
	Public open space	Acres 0
Total no of units on site		no 30
Units per overall acre		no 19.23
Units per developable acre		no 19.23
Total gross internal floor area		sq ft 22018
Floor area - site area (overall) (developable)		sq ft 12832
		sq ft 12832

**HOUSES FOR SALE - PLOTS 31 to 88**

UNIT NO.	DWELLING TYPE	NO OF BEDS	CONVERSION	CAR PARKING PROVISION	GROSS FLOOR AREA
15	B-TARVIN	3	SEMI-DET	2P SPACES	740
15	D-CHAISWORTH	3	END TERRACE	2P SPACES	728
23	E-STUDLEY	2	MID TERRACE	2P SPACES	583
5	F-KINGSTON	3	END TERRACE	2P SPACES	656

Site area Overall Acres 7.48  
Developable Acres 4.03  
Public open space Acres 3.45

Total no of units on site No 58  
Units per overall acre No 7.75  
Units per developable acre No 14.39

Total gross internal floor area sq ft 3-709  
Floor area - site area (overall) (developable) sq ft 3-605

**DRAFT ISSUE**

**BRIDLEWAY HOMES**  
(A member of Bridleway Plc Group of Companies)  
Company House, Middle Street, Chadderton, Oldham  
Tel: 0161 830 7777 Fax: 0161 838 2222

Urban Renewal Southern  
202/272 Field Road  
Eaton, Oldham  
M14 9NH  
Tel: 0161 838 4488  
Fax: 0161 838 6700

Urban Renewal Southern  
9 Market Street,  
Macclesfield,  
Cheshire,  
SK11 7BD  
Tel: 0161 829 2113  
Fax: 0161 829 8418

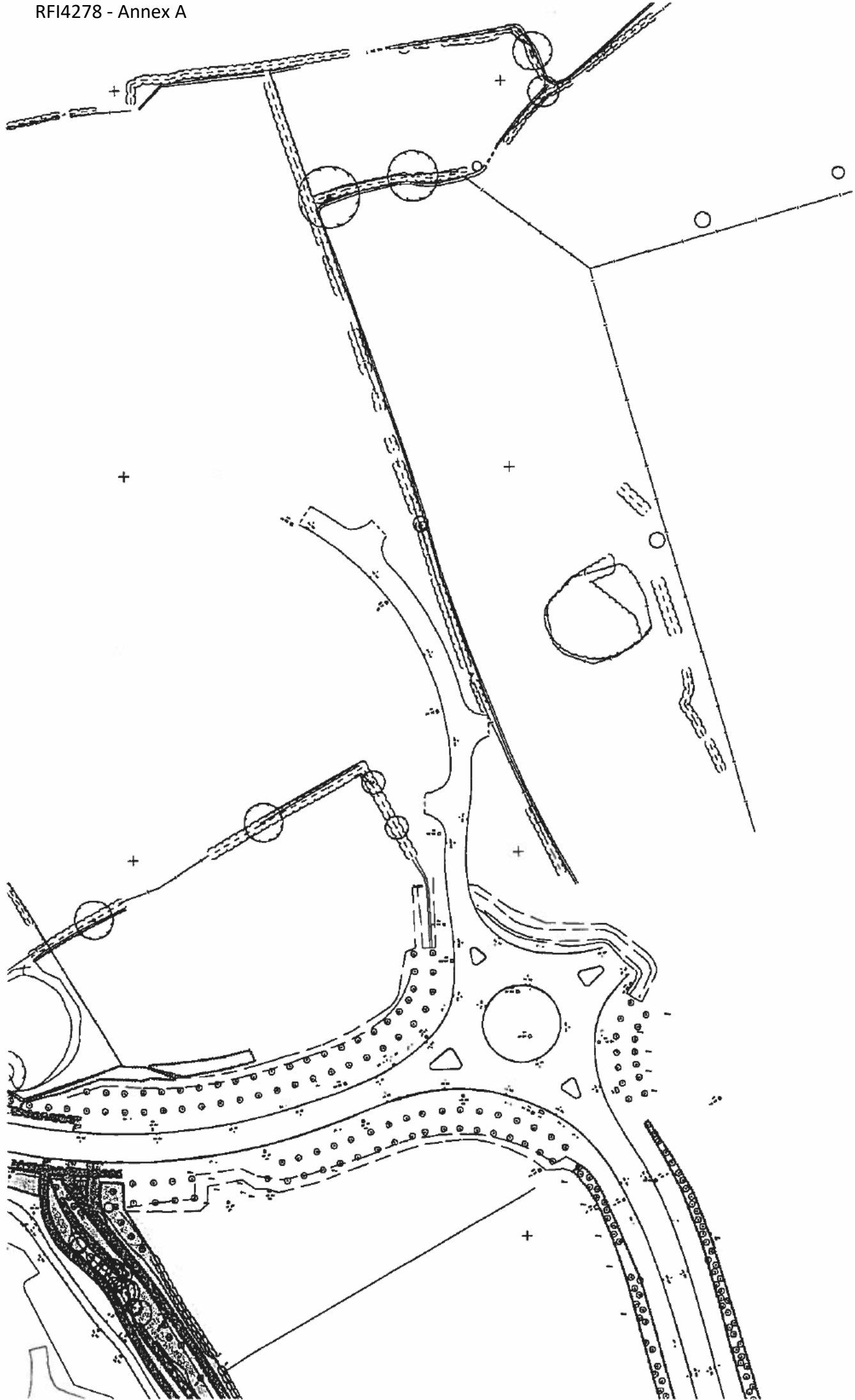
**PROPOSED SITE LAYOUT**  
**SCHEME FOUR**

Scale: 1:500  
Date: 31 MARCH 2022  
Drawing No: 5042/22  
Revision: A

Site J2 off Cottam Way  
Cottam Village  
Preston

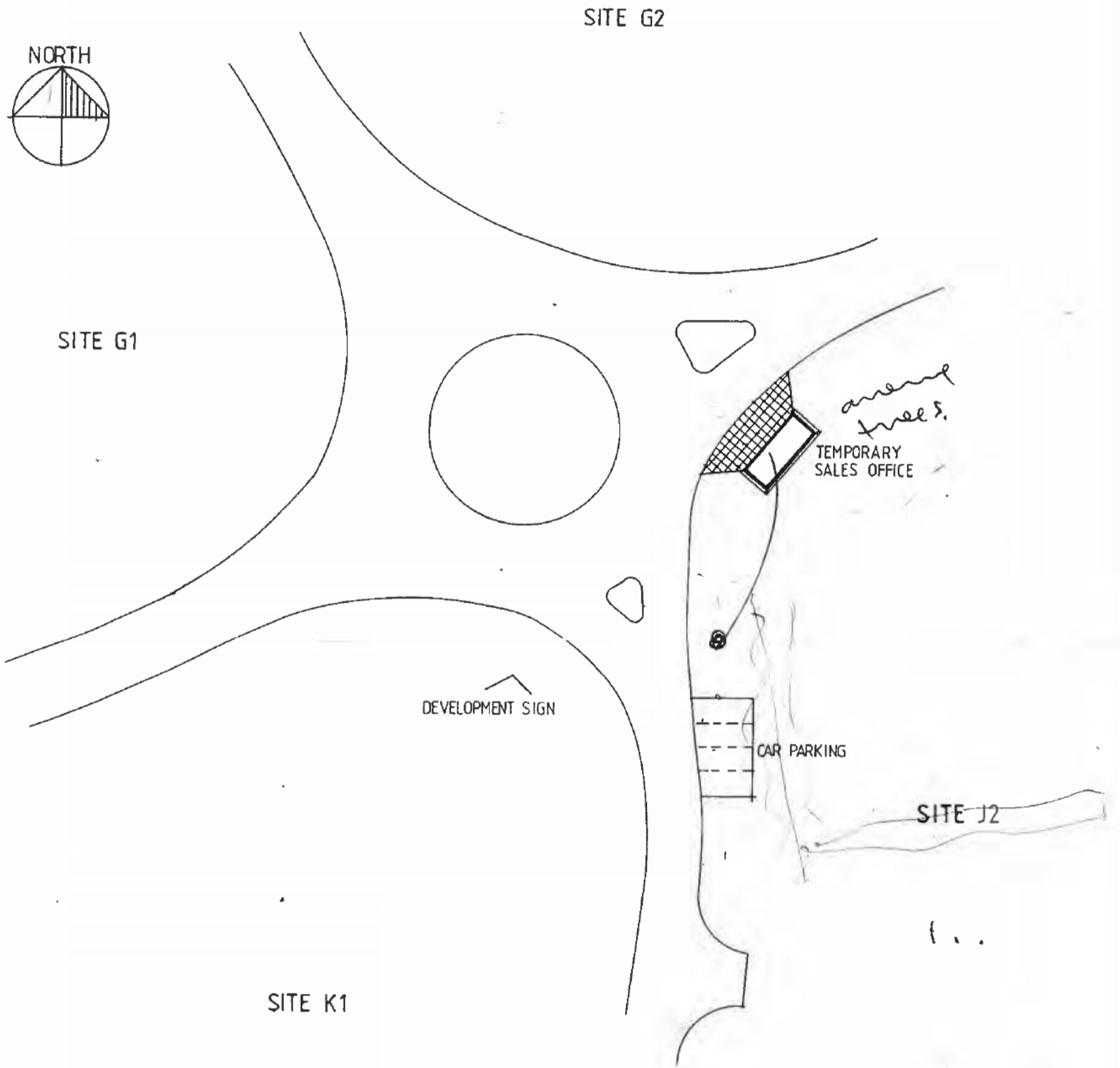
Howard & Seddon 5042/22

Site J2 off Cottam Way Cottam Village





From Bellways / S Lyons  
5/7/99



COTTAM VILLAGE SITE J2

SCALE 1:500

# HOWARD AND SEDDON PARTNERSHIP

Tel: 0161 973 8296 64 Washway Road Sale Cheshire M33 7RE Fax: 0161 962 3485  
In Association with Townland Consultants H.K.

Chartered Architects

IMK/CB

5 October 1998

Commission for the New Towns  
P O box 49  
New Town House  
Butternmarket Street  
Warrington  
Cheshire  
WA1 1LF



Dear [redacted]

PROPOSED RESIDENTIAL DEVELOPMENT  
COTTAM VILLAGE COTTAM WAY PRESTON

Please find enclosed four copies of our drawing number S042/28D comprising revised layout further to your recent letter. Would you please substitute these drawings from those previously submitted.

Yours sincerely

[redacted] s. 40(2)

for HOWARD AND SEDDON

Encls

cc [redacted] s. 40(2)  
cc [redacted] s. 40(2)  
cc [redacted] s. 40(2)

[redacted] Bellway Urban Renewal (North West) Ltd (with plan enclosure)  
[redacted] Steve Hunt Partnership (with plan enclosure)  
[redacted] (with plan enclosure)

MANCHESTER HONG KONG

DK Seddon RSc (Honor) MSc (Dra Arch II) and PRRA

Sen rang  
PI m m

[redacted] s. 40(2)

13/10/98

[redacted] s. 40(2)  
[redacted] s. 40(2)  
email to [redacted] s. 40(2)  
with boundaries starting  
CPHAY/BUR



Compass House, Neville Street, Chadderton, Oldham, Greater Manchester OL9 6LW  
Telephone 0161 620 7797 Fax 0161 628 3223 DX 700267 Royton  
<http://www.bellway.co.uk>

Commission for New Towns  
New Town House  
Buttermarket Street  
Warrington  
Cheshire  
WA1 2LF

Date 12<sup>th</sup> November 1998

Our ref. JJQ/jkw/0005

Your ref.

For the Attention of **s. 40(2)**

Dear **s. 40(2)**

**Cottam Village J2**

Further to the meeting of 2<sup>nd</sup> November at your offices, which I think went well, I have been able to discuss matters further within my offices.

The points raised at the meeting including fence detail, carriageway specification etc. are being dealt with by our consultants and the comments made and agreed will be detailed upon drawings to be submitted to your offices very soon.

Drawing H103/01A, detailing footpath works to the North of the site has been accepted and the specification agreed to be constructed by Bellway Homes (Urban Renewal North West).

Given the perceived delay in obtaining DETR final approval to the deal, I would hereby request that you give an acknowledgement that there are no outstanding problems or matters that need clarification so that upon DETR approval we can confidently proceed with this exciting new development.

Thank you for your time and I await your favourable response.

Yours sincerely  
For **BELLWAY HOMES (URBAN RENEWAL NORTH WEST) LIMITED**

**s. 40(2)**

**BELLWAY URBAN RENEWAL  
(NORTH WEST)**



17 June 1998

Ref: 206/044/01

s. 40(2)  
CNT North  
New Town House  
Buttermarket Street  
Warrington  
WA1 2LF



Genesis Centre  
Birchwood Science Park  
Warrington  
WA3 7BH

Telephone 01925 828044  
Fax 01925 830006  
e-mail all@begroup.com

Dear s. 40(2)

**DEVELOPER'S LANDSCAPE SCHEME: COTTAM J2**

After inspecting Drawings 119/01/02 submitted by Bellway Homes and the coloured extracts for the above site, I feel that the information provided is not detailed enough to pass objective comment on the landscape scheme.

I note that general tree and shrub information has been indicated in the key on Drawing 119/01, but, from our experience of CNT's normal requirements we would expect a fully detailed planting plan indicating species, location and number of plants per bed.

I assume that CNT would also require a detailed plant schedule, and an outline planting specification. The schedule provided (119/02) appears extensive but with little indication of what species would actually be used on this particular scheme. The minimum schedule information which we believe CNT should require would be: species; size(e.g.: girth, height, pot size), spacing; quantity; and form, preferably with the National Plant Specification information added.

I have enclosed sample planting schedules and outline specifications to provide the developer with an idea of the scale of information normally required. This should ensure quality implementation is achieved.

I recommend that the attached information be sent to the developer with a request that a more appropriate planting plan is submitted. If you have any queries or comments on my recommendations, please do not hesitate to contact me.

Yours faithfully

s. 40(2)

s. 40(2)

Partner  
TEP

Enc.

- Environmental Planning
- Environmental Assessment
- Project Management
- Landscape
- Ecology
- Forestry

Partners

- Ian Grimshaw BA (Hons) MA(LM) MSc MRTPI MLI MILAM
- Francis Heskeith BSc(Hons) MLI MICFor
- David Scott BA (Hons) DipLD MRTPI FLI MILAM

**Planting notes:-**

1) Plants shall be first class examples of their species or varieties, free from all pests and diseases, with good fibrous root systems and materially undamaged (refer to relevant sections of BS 3936 Parts 1-4 'Specification for Nursery Stock').

2) All feathered and standard trees to be short staked (at 600mm above ground level) and tied with rubber webbing tie and spacer.

3) One No.80 litre bag of tree planting compost (non-peat based) to be incorporated into four tree pits up to 900 x 900 x 750mm deep and into two tree pits for 1000 x 1000 x 750mm deep pits and above. Compost must be mixed thoroughly with topsoil. Trees shall be planted in tree pits of the following minimum sizes:

Feathered	600 x 600 x 450mm deep
Standard (girth 8-10)	900 x 900 x 600mm deep
Selected Standard (10-12)	900 x 900 x 750mm deep
Heavy Standard (12-14)	1000 x 1000 x 750mm deep
Extra Heavy Standard (14-16)	1000 x 1000 x 750mm deep

4) One No.80 litre bag of tree planting compost (non-peat based) to be incorporated into fifteen shrub pits and mixed thoroughly with topsoil. Shrubs shall be planted in pits of the following minimum size:

300 x 300 x 300mm deep

5) Enmag fertiliser to be applied to the base of each tree and shrub at the following rates:-

70 grams/tree.

40 grams/shrub.

6) Trees planted directly into grass to have mulch mats (min 1m<sup>2</sup>) with 75mm deep, coarse grade tree bark around base.

7) All areas of shrub planting to be mulched on completion of planting to a depth of 75mm.

8) The contractor must ascertain for him/herself the exact position of all services/maintenance points. No tree should be planted within 3m of service lines.

9) Bulbs of top size, dry, un-rotted and in clean condition. All daffodils to be randomly planted in groups of ten within drift areas.

10) All hedges as indicated on the drawing must be planted in a double staggered row at centres specified.

11) All climbers as indicated on the drawing must be secured to trellis/canes at centres specified.

12) Turf: Use Rowlawn RB 'Madallion', to comply with BS 3969 1990 laid in general compliance with BS 4428 1969, Part 1.

## Trees.

Symbol	Species	Girth	Rootball/bed (RB)	Spacing/centres	Number
	Acer campestre 'Streetwise'.	12 - 14.	-		14
	Acer platanoides 'Columnare'.	12-14.	-	Plant	10
N/A	Alnus glutinosa	10 - 12.	-	as	9
	Sorbus aria.	8 - 10.	-	indicated.	6
	Sorbus aucuparia 'Cardinal Royal'.	8 - 10.	-		7

## Shrubs, grasses, herbaceous plants and bulbs.

Symbol	Species	Size/ pot size	Quantity Specification	Spacing/centres	Number
B'A'.	Berberis frikartii 'Amstelveen'.	20-30, 2 LT.	3 breaks in lower 3rd - bushy	3/m <sup>2</sup>	150
BM.	Briza maxima.	2 LT.	fully vegetated pot.	4/m <sup>2</sup>	32
C'R'.	Ceanothus thyrsiflorus 'Repens'.	40-60, 2 LT.	bushy plant.	3/m <sup>2</sup>	60
C'CG'.	Chaenomeles superba 'Crimson and Gold'.	40-60, 2 LT.	min. of 2 breaks, caned.	50cm centres.	56
C'WG'.	Cytisus praecox 'Warminster Gold'.	30-40, 2 LT.	bushy, 5 breaks in lower 3rd.	3/m <sup>2</sup>	42
D'T'.	Deschampsia flexuosa 'Tetragold'.	2 LT.	fully vegetated pot.	4/m <sup>2</sup>	28
E'AB'.	Escallonia 'Apple Blossom'.	20-40, 2 LT.	3 breaks in lower 3rd.	3/m <sup>2</sup>	8
E'SQ'.	Euonymus fortunei 'Silver Queen'.	15-20, 1.5 LT	5 breaks in lower 3rd.	4/m <sup>2</sup>	24
G x m.	Geranium x magnificum.	2 LT.	caned.	6/m <sup>2</sup>	42
HR.	Hebe rakaiensis.	20-30, 2 LT.	3 breaks in lower 3rd.	4/m <sup>2</sup>	14
H'GR'.	Hedera helix 'Green Ripple'.	40-60, 2 LT.	min. 2 breaks in lower 3rd.	4/m <sup>2</sup>	14
HYP.	Hydrangea petiolaris.	60-90, 3 LT.	caned.	50cm centres.	64
I'DY'.	Iris 'Dreaming Yellow'.	3 LT.	fully vegetated pot.	6/m <sup>2</sup>	123
IL.	Iris laevigata.	3 LT.	fully vegetated pot.	6/m <sup>2</sup>	209
N'T'A'T'.	Narcissus 'Tete a Tete'.	Bulb.	clean and of top-size (DN1).	10/m <sup>2</sup>	2480
P'T'.	Phormium cookianum 'Tricolor'.	40-60, 3 LT.	min. of 5 spores.	4/m <sup>2</sup>	30
P'AB'.	Potentilla davurica 'Abbotswood'.	20-30, 2 LT.	bushy, 3 breaks in lower 3rd.	4/m <sup>2</sup>	88
P'DY'.	Potentilla 'Daydown'.	20-30, 2 LT.	bushy, 3 breaks in lower 3rd.	4/m <sup>2</sup>	76
P'Z'.	Prunus laurocerasus 'Zabeliana'.	30-40, 2 LT.	compact bushy plant.	3/m <sup>2</sup>	12
Py'OG'.	Pyracantha 'Orange Glow'.	40-60, 2 LT.	3 breaks in lower 3rd.	50cm centres.	46
SR.	Salix repens.	40-60, 2 LT.	compact multi-break plant.	3/m <sup>2</sup>	35
Vm.	Vinca minor.	15-20, 1.5 LT	5-6 shoots from pot level.	4/m <sup>2</sup>	108



NOTE  
 PRIOR TO ANY SITE WORKS COMMENCING ADJACENT TO SOUTHERN BOUNDARY OF SITE TEMPORARY FENCING IS TO BE PROVIDED AT A MINIMUM OF 1.3m FROM REAR FACE OF BOUNDARY RETAINING WALL TO PREVENT ANY SURCHARGE TO WALL.  
 CONTRACTOR TO PROVIDE SIGNAGE TO FENCING - FENCE NOT TO BE MOVED UNDER ANY CIRCUMSTANCES.

PROPOSED BOUNDARY DETAIL

**FENCE LEGEND**  
 (Refer to 5042/29)

- DETAIL C
- DETAIL B
- DETAIL A
- DETAIL E
- DETAIL D

**SCHEDULE OF ACCOMODATION**  
 HOUSES FOR RENT < PLOTS 1 TO 30

no. of site	dwelling type	no. of beds	configuration	car parking provision	gross floor area
8	A-TENBY	2	SEMI-DET	2no.spaces	600
4	B-TARVIN	3	SEMI-DET	2no.spaces	740
6	C-GRANGE	4	SEMI-DET	2no.spaces	1065
4	D-CHAISWORTH	3	END TERRACE	2no.spaces	728
4	E-STUDLEY	2	MID TERRACE	2no.spaces	583
4	F-KINGSTON	3	END TERRACE	2no.spaces	656

**Site area**

Developable	Acres 1.56
Public open space	Acres 0
<b>Total no. of units on site</b>	<b>No. 30</b>
<b>Units per overall acre</b>	<b>No. 19.23</b>
<b>Units per developable acre</b>	<b>No. 19.23</b>
<b>Total gross internal floor area</b>	<b>Sq.ft. 22018</b>
<b>Floor area+site area(overall) (developable)</b>	<b>Sq.ft. 12832</b>

**HOUSES FOR SALE < PLOTS 31 TO 90**

no. of site	dwelling type	no. of beds	configuration	car parking provision	gross floor area
14	B-TARVIN	3	SEMI-DET.	2no.spaces	
21	D-CHAISWORTH	3	END TERRACE	2no.spaces	
19	E-STUDLEY	2	MID.TER/SEMI.	2no.spaces	
6	F-KINGSTON	3	END/MID.TER.	2no.spaces	

**Site area Overall**

Developable	Acres 7.48
Public open space	Acres 4.03
<b>Total no. of units on site</b>	<b>No. 60</b>
<b>Units per overall acre</b>	<b>No. 8.02</b>
<b>Units per developable acre</b>	<b>No. 14.89</b>
<b>Total gross internal floor area</b>	<b>Sq.ft. 40661</b>
<b>Floor area+site area(overall) (developable)</b>	<b>Sq.ft. 5436</b>
	<b>Sq.ft. 10089</b>

**CLIENT**  
 Bellway Homes

**SUBJECT**  
 Boundary Detail

**JOB**  
 Proposed Residential Development  
 Site J2  
 off Cottam Way  
 Cottam Village

**DATE** 8/7/98  
**SCALE** 1:500

**BELLWAY HOMES**  
 URBAN RENOVATION NORTHWEST

JOB No	5042	DRAWING No	28	AMENDMENT	D
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NOTE:  
 PRIOR TO ANY SITE WORKS COMMENCING  
 ADJACENT TO SOUTHERN BOUNDARY OF SITE  
 TEMPORARY FENCING IS TO BE PROVIDED AT  
 A MINIMUM OF 1.5m FROM REAR FACE OF  
 BOUNDARY RETAINING WALL TO PREVENT ANY  
 SUNDRAGE TO WALL.  
 CONTRACTOR TO PROVIDE SIGNAGE TO  
 FENCING - FENCE NOT TO BE MOVED UNDER  
 ANY CIRCUMSTANCES.

PROPOSED BOUNDARY DETAIL

FENCE LEGEND  
 (Refer to 5042/29)

- DETAIL A
- DETAIL B
- DETAIL C
- DETAIL D
- DETAIL E

*Substation*

**SCHEDULE OF ACCOMMODATION  
 HOUSES FOR RENT < PLOTS 1 TO 30**

no. on site	dwelling type	no. of beds	configuration	car parking provision	gross floor area
8	A-TENBY	2	SEMI-DET	2no.spaces	600
4	B-TARVIN	3	SEMI-DET	2no.spaces	740
6	C-GRANGE	4	SEMI-DET	2no.spaces	1065
4	D-CHATSWORTH	3	END TERRACE	2no.spaces	728
4	E-STUDLEY	2	MID TERRACE	2no.spaces	583
4	F-KINGSTON	3	END TERRACE	2no.spaces	656

**NBI PLOTS 25&26 PARKING PROVISION < SPACES+50%**

Site area Overall	Developable	Public open space
Acres 1.56	Acres 1.56	Acres 0
Total no. of units on site	No. 30	
Units per overall acre	No. 19.23	
Units per developable acre	No. 19.23	
Total gross internal floor area	Sq.ft. 22018	
Floor area+site area(overall) (developable)	Sq.ft. 12832	Sq.ft. 12832

**HOUSES FOR SALE < PLOTS 31 TO 90**

no. on site	dwelling type	no. of beds	configuration	car parking provision	gross floor area
14	B-TARVIN	3	SEMI-DET.	2no.spaces	2no.spaces
21	D-CHATSWORTH	3	END TERRACE	2no.spaces	2no.spaces
19	E-STUDLEY	2	MID.TER/SEMI.	2no.spaces	2no.spaces
6	F-KINGSTON	3	END/MID.TER.	2no.spaces	2no.spaces

Site area Overall  
 Developable Acres 7.48  
 Public open space Acres 4.03  
 Acres 3.45

Total no. of units on site No. 60  
 Units per overall acre No. 8.02  
 Units per developable acre No. 14.89

Total gross internal floor area Sq.ft. 40661  
 Floor area+site area(overall) (developable) Sq.ft. 5436  
 Sq.ft. 10089

**REVISIONS**

NO.	DATE	BY	REASON
1	8/9/98	AS	Planning revisions
2	8/9/98	AS	Planning revisions
3	8/9/98	AS	Planning revisions
4	8/9/98	AS	Planning revisions
5	8/9/98	AS	Planning revisions

**PROPOSED RESIDENTIAL DEVELOPMENT**  
 Site J2  
 off Cottam Way  
 Cottam Village  
 CLIENT  
 Bellway Homes  
 SUBJECT  
 Boundary Detail

DRAWN: [Redacted] DATE: 8/9/98  
 CHECKED: [Redacted] SCALE: 1:500  
 APPROVED: [Redacted]

**HOWARD & SEDDON A.R.I.B.A.**  
 CHARTERED ARCHITECTS  
 64 WASHWAY ROAD  
 SALE, CHESHIRE M33 7RE  
 TEL: 0161 973 8836 FAX: 0161 968 3485  
 E-MAIL: HSR@H&S.CO.UK

**BELLWAY HOMES**  
 URBAN RENOVATION NORTHWEST

JOB NO. 5042  
 DRAWING NO. 28  
 AMENDMENT D



431500W  
350000E

350100E

350200E

NOTE  
 PRIOR TO ANY SITE WORKS COMMENCING  
 ADJACENT TO SOUTHERN BOUNDARY OF SITE  
 TEMPORARY FENCING IS TO BE PROVIDED AT  
 A MINIMUM OF 1.5M FROM REAR FACE OF  
 BOUNDARY REMAINING WALL TO PREVENT ANY  
 SURCHARGE TO WALL. PROVIDE SIGNAGE TO  
 CONTRACTOR TO PROVIDE SIGNAGE TO  
 FENCING - FENCE NOT TO BE MOVED UNDER  
 ANY CIRCUMSTANCES.

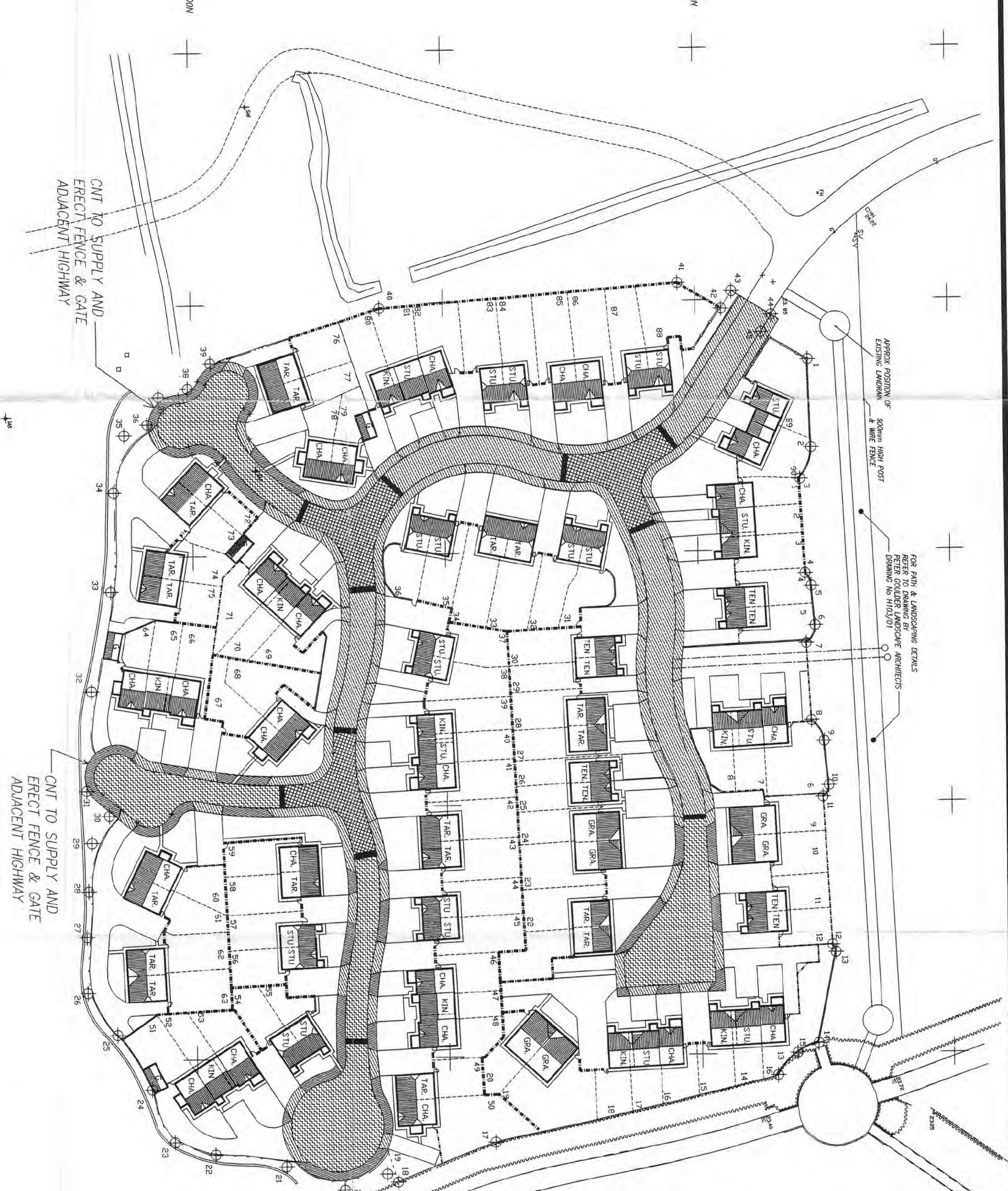
PROPOSED BOUNDARY DETAIL

CONT TO SUPPLY AND  
 ERECT FENCE & GATE  
 ADJACENT HIGHWAY

CONT TO SUPPLY AND  
 ERECT FENCE & GATE  
 ADJACENT HIGHWAY

APPROX POSITION OF  
 EXISTING LANDMARK  
 & WIRE FENCE

FOR PLAN & LANDSCAPING DETAILS  
 PETER COLLIER LANDSCAPE ARCHITECTS  
 DRAWING NO HLD/01



- ROAD LEGEND**
- [Pattern] BLOCK PAVEMENTS
  - [Pattern] SERVICE STRIP (GRASS)
  - [Pattern] BITUMC
  - [Pattern] HOT ROLLED ASPHALT
  - [Pattern] RUMBLE STRIP
- FENCE LEGEND**  
 ( Refer to 5042/29 )
- [Pattern] DETAIL B
  - [Pattern] DETAIL A
  - [Pattern] DETAIL E
  - [Pattern] DETAIL D
  - [Pattern] DETAIL C

**SCHEDULE OF ACCOMODATION  
 HOUSES FOR RENT < PLOTS 1 TO 30**

no. of site	dwelling type	no. of beds	configuration	car parking provision	gross floor area
8	A-TENBY	2	SEM-DET	2no spaces	600
4	B-TARWIN	4	SEM-DET	2no spaces	740
6	C-GRANGE	3	SEM-DET	2no spaces	1065
4	D-CHATSWORTH	3	END TERRACE	2no spaces	728
4	E-STUDLEY	2	MID TERRACE	2no spaces	583
4	F-KINGSTON	3	END TERRACE	2no spaces	656

NB: PLOTS 25&26 PARKING PROVISION < SPACES+50%

Site area Overall  
 Developable Acres 1.56  
 Public open space Acres 0

Total no. of units on site No. 30  
 Units per overall acre No. 19.23  
 Units per developable acre No. 19.23

Total gross internal floor area Sq.ft. 22018  
 Floor area+site area(overall) (developable) Sq.ft. 12832

**HOUSES FOR SALE < PLOTS 31 TO 90**

no. of site	dwelling type	no. of beds	configuration	car parking provision	gross floor area
14	B-TARWIN	3	SEMI-DET.	2no spaces	
21	D-CHATSWORTH	3	END TERRACE	2no spaces	
19	E-STUDLEY	2	MID TER/SEMI.	2no spaces	
6	F-KINGSTON	3	END/MID TER.	2no spaces	

Site area Overall  
 Developable Acres 7.48  
 Public open space Acres 4.03  
 Acres 3.45

Total no. of units on site No. 60  
 Units per overall acre No. 8.02  
 Units per developable acre No. 14.89

Total gross internal floor area Sq.ft. 40661  
 Floor area+site area(overall) (developable) Sq.ft. 5436  
 Sq.ft. 10089

- G ROAD & KERB AWAYED
- F ROAD & KERB INDICATED
- E Planning revisions
- D Planning revisions
- C Planning revisions
- B Bellway revisions
- A Bellway revisions

JOB  
 Proposed Residential  
 Development  
 Site J2  
 off Cottam Way  
 Cottam Village  
 CLIENT  
 Bellway Homes

SUBJECT  
 Boundary Detail

DATE 8/9/98  
 SCALE 1:500

HOWARD & SEDDON A.R.I.B.A.  
 CHARTERED ARCHITECTS  
 64 WASHWAY ROAD  
 SALE, CHESTER N53 7RE  
 TEL: 01244 562 3495  
 E-MAIL: ISS@ARIB.A.CO.UK

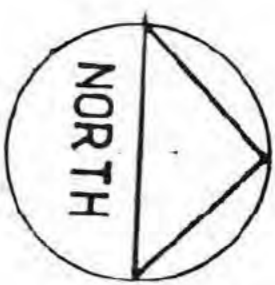


JOB NO. 5042  
 DRAWING NO. 28  
 AMENDMENT G

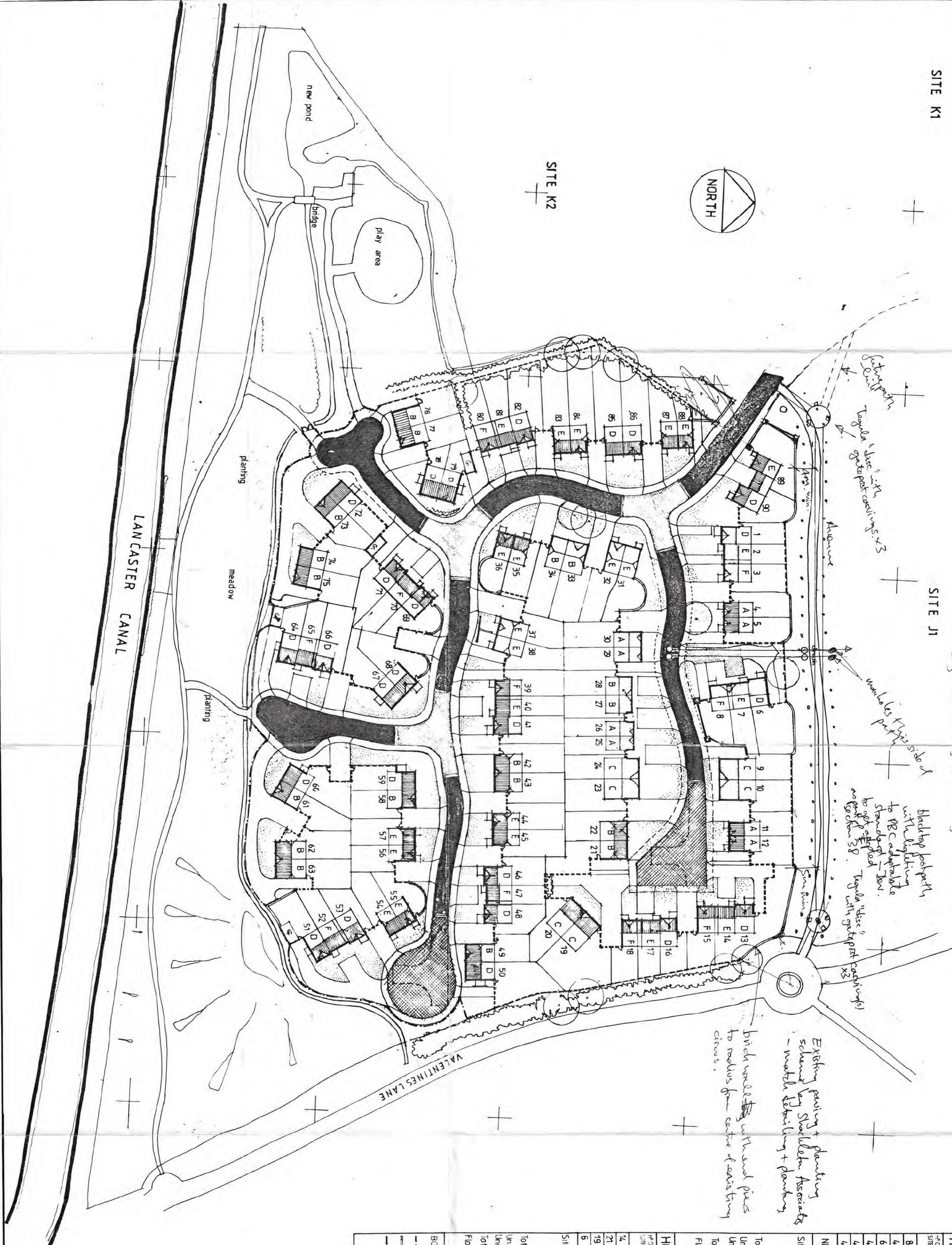
SITE K1

SITE J1

\* See also Parking proposals  
along Smea Road/way when they are available.



SITE K2



**SCHEDULE FOR ACCOMMODATION**  
**HOUSES FOR RENT - PLOTS 1 to 30**

Plot No	Dwelling Type	Rooms	Cooperation	Car Parking Provision	Gross Floor Area
1	A-TERBY	2	SEMI-DET	2 <sup>nd</sup> SPACES	600
2	B-TARVIN	3	SEMI-DET	2 <sup>nd</sup> SPACES	740
3	C-GRANGE	4	SEMI-DET	2 <sup>nd</sup> SPACES	1065
4	D-CHAISWORTH	3	END TERRACE	2 <sup>nd</sup> SPACES	728
5	E-STUDLEY	2	MID TERRACE	2 <sup>nd</sup> SPACES	583
6	F-KINGSTON	3	END TERRACE	2 <sup>nd</sup> SPACES	656

NB 1 PLOTS 25 & 26 PARKING PROVISION = SPACE + 50%

Site Area	Overall	Developable	Public open space
Ares	156	156	0
Units per overall acre	n/a	19.23	n/a
Units per developable acre	n/a	19.23	n/a
Total gross internal floor area	50 FT	2209	
Floor area + site area (overall)	50 FT	2832	
Floor area (developable)	50 FT	1282	

**HOUSES FOR SALE - PLOTS 31 to 90**

Plot No	Dwelling Type	Rooms	Cooperation	Car Parking Provision	Gross Floor Area
14	B-TARVIN	3	SEMI-DET	2 <sup>nd</sup> SPACES	740
21	D-CHAISWORTH	3	END TERRACE	2 <sup>nd</sup> SPACES	728
19	E-STUDLEY	2	MID TER./SEMI	2 <sup>nd</sup> SPACES	583
5	F-KINGSTON	3	END/MID TER	2 <sup>nd</sup> SPACES	656

Site Area	Overall	Developable	Public open space
Ares	7.48	4.03	3.45
Total no of units on site	119	60	
Units per overall acre	1.72	8.02	
Units per developable acre	1.9	14.89	
Total gross internal floor area	50 FT	4051.1	
Floor area + site area (overall)	50 FT	5435	
Floor area (developable)	50 FT	10089	

**BOUNDARY TREATMENT**

- 18m high close boarded screen fence
- 18m high screen wall (English garden wall bond)
- 900mm high steel railings

# Site J2 off Cottam Way Cottam Village

**BRILLWAY HOMERS**  
(URBAN RENAISSANCE NORTHERN)  
(a member of Bellway The Group of Companies)  
Company House, White Street, Chesham, Bucks.  
Tel: 01494 77777 Fax: 01494 81313

Urban Renewal Solutions  
243772 Field Road, Stockport  
Cheshire, SK11 7JN  
Tel: 0161 858 4444 Fax: 0161 858 4444

Urban Renewal Solutions  
4444 Stovell  
Cheshire, SK11 7JN  
Tel: 0161 858 4444 Fax: 0161 858 4444

**PROPOSED SITE LAYOUT**  
**SCHEME FOUR**

**SITE J2 off COTTAM WAY**  
**COTTAM VILLAGE**  
**PRESTON**

Scale: 1:500  
Date: 31 MARCH 99  
Drawing No: 504.2/22

Howard & Seddon  
504.2/22