



Ministry  
of Defence

## Defence Infrastructure Organisation

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Ref: EIR/2017/13719

05 February 2018

Dear ██████████

Thank you for your email of 27 December 2017 requesting the following information:

*All information the Ministry of Defence holds related to the issue of asbestos in the Old War Office building in Whitehall. I would like this to include, but not be limited to, correspondence between MOD staff about the presence of asbestos and what action should be/has been taken to remove or mitigate the risks related to the presence of asbestos.*

I am treating your correspondence as a request for information under the Environmental Information Regulations 2004 (EIR).

A search for the information has now been completed within the Ministry of Defence (MOD) and I can confirm that some of the information in scope of your request is held. The information you have requested can be found at Annex A, but some of the information falls under regulation 12(3) (personal data) EIR and has been redacted.

Regulation 12(3) has been applied to some of the information in order to protect personal information as governed by the Data Protection Act 1998. The information is exempt from release under section 7(1) of the Act and in all the circumstances of the case, the public interest in not disclosing the information outweighs the public interest in disclosing it.

Under Regulation 9(1) (Advice and Assistance) EIR you may find it helpful to note that the building was sold on 1 March 2016 to the Hinduja Group and OHL Developments, who will now be responsible for maintaining any records relating to this issue.

If you have any queries regarding the content of this letter, please contact this office in the first instance.

If you wish to complain about the handling of your request, or the content of this response, you can request an independent internal review by contacting the Information Rights Compliance team, Ground Floor, MOD Main Building, Whitehall, SW1A 2HB (e-mail [CIO-FOI-IR@mod.uk](mailto:CIO-FOI-IR@mod.uk)). Please note that any request for an internal review should be made in writing within 40 working days of the date of this response.

If you remain dissatisfied following an internal review, you may raise your complaint directly to the Information Commissioner under the provisions of Regulation 11 under the Environmental Information Regulations. Please note that the Information Commissioner will not normally investigate your case until the MOD internal review process has been completed. The Information Commissioner can be contacted at: Information Commissioner's Office, Wycliffe House, Water Lane, Wilmslow, Cheshire, SK9 5AF. Further details of the role and powers of the Information Commissioner can be found on the Commissioner's website at <https://ico.org.uk/>.

Yours sincerely

DIO Secretariat

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company



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# Phase 1 Environmental Report

The Old War Office, Whitehall, London, SW1A 2EU

The Defence Infrastructure Organisation

September 2014

## CONTENTS

REPORT RELIANCE AND LIMITATIONS.....	1
1. INTRODUCTION .....	2
2. SITE LAYOUT .....	3
3. SITE DESCRIPTION.....	4
4. OPERATIONAL ISSUES .....	9
5. HISTORICAL DEVELOPMENT.....	11
6. GEOLOGICAL SETTING.....	14
7. PREVIOUS SITE INVESTIGATIONS .....	15
8. HYDROGEOLOGY .....	16
9. HYDROLOGY AND FLOOD RISK .....	16
10. REGULATORY DATABASE ENTRIES .....	17
11. ENVIRONMENTAL SENSITIVITY .....	17
12. ENVIRONMENTAL RISK ASSESSMENT .....	17
13. CONCLUSION & RECOMMENDATIONS.....	20

## APPENDICES

- Appendix I Historical Ordnance Survey Mapping  
 Appendix II Supporting Information (where applicable)  
 Appendix III Definitions and Reservations

## REPORT CONTROL

<b>Prepared by:</b> 	<b>Authorised by:</b> 
Paul Nixon LLM MSC BSC Associate For and on behalf of GVA Grimley Ltd	Christopher Lockwood MRICS Director For and on behalf of GVA Grimley Ltd
<b>Date:</b> September 2014	<b>Date:</b> September 2014

## Report Reliance and Limitations

This document has been prepared for the titled project (or named part thereof) and should not be relied upon or used for any other project without an independent check being carried out as to its suitability and prior written authorisation being obtained from GVA Grimley Limited (GVA). GVA accepts no responsibility or liability for the consequences of the use of this document, wholly or in part, for any other purpose than that for which it was commissioned. Any persons so using or relying upon this document for such other purpose do so at their own risk.

This report was prepared for the sole use of the Client and shall not be relied upon or transferred to any other party without the express written authorisation of GVA. It may contain material subject to copyright or obtained subject to license; unauthorised copying of this report will be in breach of copyright/license.

The findings and opinions provided in this document are given in good faith and are subject to the limitations imposed by employing site assessment methods and techniques, appropriate to the time of investigation and within the limitations and constraints defined within this document. The findings and opinions are relevant to the dates when the assessment was undertaken, but should not necessarily be relied upon to represent conditions at a substantially later date.

The findings and opinions conveyed in this report are based on information obtained from a variety of sources as detailed and which GVA assumes to be reliable, but has not been independently confirmed. Therefore, GVA cannot and does not guarantee the authenticity or reliability of third party information it has relied upon.

Where opinions expressed in this report are based on current available guidelines and legislation, no liability can be accepted by GVA for the effects of any future changes to such guidelines and legislation.

The limitations of liability of GVA for the contents of this document have been agreed with the Client, as set out in the terms and conditions of offer and related contract documentation.

## 1. Introduction

Instructions were received from The Defence Infrastructure Organisation (the Client) to undertake an Environmental Due Diligence Report at the Old War Office (the subject site).

We understand that the client intends to sell their long leasehold interest in the property and this report will be provided to potential purchasers as part of the marketing particulars.

Therefore, the primary objectives of our report are to identify those environmental issues which have the potential to affect value, the continued use or may lead to regulatory intervention and to provide comment on the suitability of the property from an environmental perspective.

Our Environmental Report has been undertaken in accordance with our Terms and Conditions for Environmental Due Diligence previously provided to you.

### Site Inspections

Mr Paul Nixon LL.M MSc BSc from the GVA Environmental Services Team carried out a visual inspection of accessible areas of the property on 8<sup>th</sup> August 2014.

### Regulatory Data Sources

The findings of this report are based upon information provided by the Vendor and database information obtained from regulatory bodies (the Environment Agency, Local Authority, etc) as contained within the Envirocheck Report (Ref. 59409063\_1\_1) purchased from Landmark Information Group. All plans presented are covered by Crown Copyright. All rights reserved, licence number 100000795.

### Report Preparation

This report is based on and prepared in accordance with current best practice guidance documents concerning the assessment of potentially contaminated land including; British Standard (BS) 10175:2011: Investigation of Potentially Contaminated Sites, Environment Agency (2004): Model procedures for the management of Contaminated Land (CLR 11), and DEFRA (2012): Environmental Protection Act 1990: Part 2A, Contaminated Land Statutory Guidance.

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## 2. Site Layout

The subject property is situated to the southeast of the intersection between Whitehall and Whitehall Place, within the London Borough of Westminster. The surrounding area mainly comprises government office buildings. Site location and layout plans (Figures 1 and 2) are provided below, boundaries are indicative.



Figure 1: Site Location Plan (boundaries shown are indicative only)

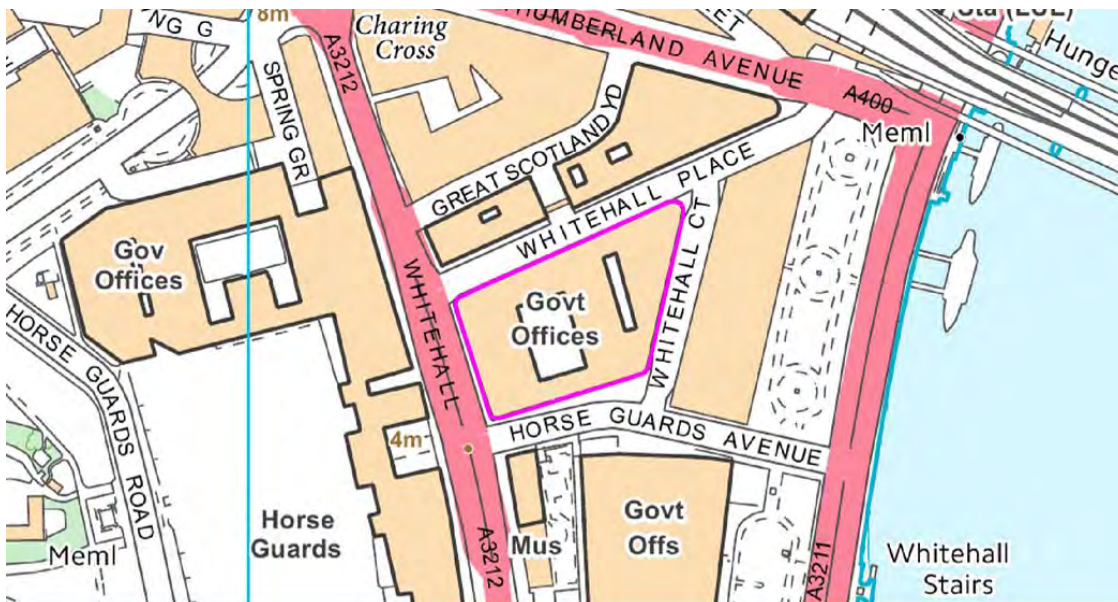


Figure 2: Site Layout Plan (boundaries shown are indicative only)

### 3. Site Description

The following table provides a summary of site conditions and layout of the property.

Issue	Description
Site Address	The Old War Office, Whitehall, London, SW1A 2JB
Property Use	Government Building
National Grid Ref.	530190, 180180
Gross Internal Floor Area	54,063.1 sq. m / 581,930 sq. ft
Site Area*	1.03 hectares / 2.54 acres
Tenure	Held as Freehold
Description	<p>The building is set on a 'trapezium shaped' island site and is constructed over basement, lower ground and five principal floors with further isolated accommodation located on the Whitehall Court elevation of the 5<sup>th</sup> and 6<sup>th</sup> floors. There are two internal courtyards; the Quadrangle is a large rectangular space located behind the Whitehall elevation and the inner courtyard is a triangular shaped lightwell on the eastern side.</p> <p>The building is Grade 2* listed and located in the City of Westminster Whitehall Conservation Area, which is classified as a "designated heritage site" as defined by the National Planning Policy Framework.</p> <p>The structure of the building comprises a large concrete tank (raft with retaining walls) at basement and lower ground level, supporting mass brick supporting walls. It is reported that the concrete tank extends to a depth of circa 9.1m with the thickness of the walls between 1 and 2m.</p> <p>The external elevations comprise dressed Portland Stone and the floors are mainly of suspended steel filler and concrete clinker construction, supported by the inner brick walls.</p> <p>An enclosed "moat", again of concrete and mass masonry construction is in place around the entire perimeter of the basement level and houses the pipework for the district heating and power network along with the gravity fed drainage pipes.</p> <p>A further moat is located at lower ground floor, which provides light into the perimeter rooms and access to various pavement vaults. The moat also provides an emergency escape route to the public highways.</p> <p>The roofs are surmounted by asphalt and there are various lantern roof lights and plant rooms located across them. Internally the offices are arranged around encircling corridors on each floor, with rooms on all four sides looking out to surrounding streets.</p>



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	<p>During our site inspection, an operational heating oil tank was noted at basement level (B11) and holds fuel for the back-up generator that is located on the roof.</p> <p>The tank is located within a bunded room, no evidence of significant leakage/spillage of oil was noted beneath the tank or the remainder of the property.</p> <p>Access to the parts of the moat was restricted due to the potential for asbestos containing materials to be present.</p>
<b>Surrounding Area</b>	<p>The surrounding area comprises mainly government office buildings. The site is bound by Whitehall Place to the north, by Whitehall Court to the east, by Horse Guards Avenue to the south and by Whitehall to the west.</p>

## 4. Operational Issues

### Site Services

The building is heated via the Whitehall District Heating System, operated by Cofley and serving cast iron radiators to all rooms and corridors. The heat exchanger is located within the building with calorifiers providing hot water to domestic supplies.

Mains power is also provided by a district system with high voltage intake rooms and transformers located within the basement.

Drainage is gravity fed and discharges to the main sewer in the street.

Further detailed description of services/utilities is contained within the GVA Building Engineering Services Report which is provided under separate cover.

### Asbestos Containing Materials

The Control of Asbestos Regulations 2012 came into effect in April 2012. These repeal earlier asbestos legislation, including; the Asbestos Regulations 2006, the Control of Asbestos at Work Regulations 2002, Asbestos Licensing Regulations 1983 and the Asbestos (Prohibition) Regulations 1992.

Owners, occupiers, managers and/or those who have responsibilities for premises have a legal duty to either manage the risk of asbestos or a duty to co-operate with whoever manages that risk. The responsible party has to identify the existence of asbestos containing materials, record their location and condition, set out a plan to manage the risk from the material and take the necessary steps to put this plan into action.

An appropriately licensed asbestos contractor should remove asbestos material that is likely to be disturbed and cannot be easily protected. Reviews of this plan will have to be undertaken on an on-going basis. Details as to the location and condition of the materials must be provided to anyone who is liable to work on or disturb it.

## Asbestos Survey

An extensive asbestos survey and register (available on the data site) was undertaken in 2003 and covers the entire building. This was completed following an extensive asbestos removal contract between 2002 and 2003, reportedly costing circa £15m. The register is updated annually. The removal works were mainly concentrated in the basement and lower ground floor areas and to vertical and horizontal ducts across remaining floors where services were run in insulation containing asbestos.

However, as the building was occupied it was not possible to fully access all areas and there is therefore a risk that asbestos debris /residue remains, particularly to:

- Brick surfaces at basement level behind encapsulation paint.
- Under timber sub-floors to offices where ducts penetrate
- Behind panelling in ducts

An Asbestos Management Plan (ref:SD724P/86213) dated 25th September 2012 and completed by Aspect Contracts Ltd is also contained on the data site. A plan has been in place since the removal works and there is regular air monitoring. The encapsulation paint at basement level has been applied to all walls and ceilings and is constantly monitored for disrepair and patch repaired as necessary. It was found to be in good condition. Where areas of paint have become damaged the opportunity has been taken to sample the paint and brickwork behind. We understand that circa 600 tests have been completed since the strip out with only two recorded positive results.

In addition known asbestos containing materials are present in the following.

- Cladding panels to "Sovex" lift shaft
- Various pipe flanges
- Lower moat

It will therefore be necessary for a full Asbestos Demolition and Refurbishment Survey to be undertaken once the building is vacated and prior to any redevelopment. This will identify the extent of asbestos to be removed. The GVA Building Survey report includes a budget cost for the survey.

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### 13. Conclusion & Recommendations

The GVA Environmental Services Team has completed a Phase 1 Environmental Due Diligence Report for the subject property. We understand that the client intends to sell their long leasehold interest in the property and this report will be provided to potential purchasers as part of the marketing particulars.

GVA Environmental Services Team carried out a site inspection on 8<sup>th</sup> August 2014. During the site inspection, we observed a diesel storage tank within a bunded room in the basement. The tank appeared to be in reasonable condition and no concerns were noted. No other significant sources of contamination or hazardous processes were noted during the site inspection.

Historically, the earliest map dated 1875 shows the site was occupied by a number terraced and standalone buildings assumed to be used for government purposes. We understand that the current War Office building was established in c.1906 with alternations to the courtyards between the 1970s and 1994. Given the past use of the site, the potential for historical contamination is considered to be low.

Extensive asbestos encapsulation works and removal of asbestos has been undertaken at the property. Nevertheless, a Demolition and Refurbishment Asbestos Survey will need to be undertaken prior to any redevelopment works within the property.

Geologically, the site is underlain by two superficial deposits known as Kempton Park Gravels (Western half) and Alluvium Deposits (Eastern Half). The deeper solid geology is known as London Clay Formation which underlies both superficial deposits. There are no geological faults on site or within 100m of site boundary. In addition, the site is not situated within an area affected by coal mining or mineral extraction.

From a review of Environment Agency data, the underlying superficial deposits are classified as Secondary A (Kempton Park Gravel) and Secondary Undifferentiated Aquifers (Alluvium Deposits). The deeper London Clay Formation is classified as Unproductive Strata.

The nearest surface watercourse is the River Thames that is situated 200m to the east of the site. According to the Environment Agency Flood Zone maps, the site is located within Flood Zone 3. This means that the site has a 1 in 100/200 or greater annual probability of river or sea

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flooding. However, the site is within an area which is protected by 1 in 100 year standard flood defences.

Therefore, the site is considered to represent a Low Flood Risk.

It is important to note that flooding can occur through other mechanisms such as rising groundwater, excess rainfall, insufficient drainage capacity and breach of water storage infrastructure such as reservoirs. For the avoidance of doubt, these forms of flooding have not been specifically assessed as they fall outside of the scope of this Phase 1 Environmental Due Diligence Report.

In conclusion, based on our assessment of available information, we consider that the site represents a **Low Environmental Risk** from a ground contamination perspective for acquisition and continued use.

Definitions and Reservations are provided in **Appendix III**.



Report

Appendices



Report

**Appendix III  
Definitions  
and  
Reservations**

For the avoidance of doubt, GVA has prepared the following alphabetical list of definitions and reservations to aid the client in understanding the content of our advice and or written reports(s):

**ASBESTOS CONTAINING MATERIALS (ACM'S)**

Includes any of the following materials; crocidolite, amosite, chrysotile, fibrous actinolite, fibrous anthophyllite, fibrous tremolite and any mixture containing any of these materials.

**ASBESTOS SURVEYS**

Any reference to asbestos surveys is given the same meaning as that given in HSE Guidance Document HSG 264 entitled 'Asbestos: The Survey Guide'.

**COMPOSITE PANELS AND INSURANCE**

Unless instructed otherwise, we will not test any panels within the property to see whether there are any polystyrene insulated composite panels. The presence of such panels may result in the property being uninsurable, which would have an adverse impact on value.

**CONDITION OF BUILDINGS,  
PLANT AND MACHINERY**

Our inspection of a property does not constitute a structural survey. When preparing our report we have regard to apparent defects and want of repair and take into account the age of the property. We do not however carry out the detailed search for defects which are undertaken as part of the structural survey neither do we necessarily set out the various defects when making the report.

We do not inspect woodwork or other parts of the structure, which are covered, unexposed or inaccessible. We do not arrange for any investigation to be carried out to determine whether or not high alumina cement concrete or calcium chloride additive or any other deleterious materials or permanent wood wool shuttering or composite panelling has been used in the construction.

Unless so instructed we do not arrange for any investigations to be carried out to determine whether or not any deleterious or hazardous material or techniques have been used in the construction of the property or has since been incorporated and the services are not tested.



We are therefore unable to report that the property is free from defect in these respects.

#### CONTAMINATION

This is taken to mean specifically, the presence of toxic, noxious or polluting substances in, on or under land.

#### CONTAMINATED LAND

Any reference to contaminated land should be construed in the statutory sense.

Land is defined as being contaminated land under Section 78 of the Environmental Protection Act 1990 where any land which appears to the local authority in whose area it is situated to be in such a condition, by reason of substances in, on or under the land that:

**Significant harm** is being caused or there is a significant possibility of such harm being caused; or

**Significant pollution of controlled waters** is being, or is likely to be caused.

#### CONTROLLED WATER

Means all in land waters, i.e. rivers and watercourses (other than public sewers or sewers or drains which drain into a public sewer) and lakes and ponds which discharge directly or indirectly into them, groundwater, coastal waters and territorial waters extending seaward for three miles from the baseline from which the breadth of the territorial sea is measured. Section 104, Water Resources Act 1991.

#### ENQUIRIES

Any enquiries undertaken by GVA of local authorities and statutory undertakers are made verbally in respect of environmental issues. Local searches are not undertaken and no responsibility is accepted for any inaccurate information provided.

It is further assumed unless otherwise stated that all necessary licences, permits etc either run with the property or are transferable to a new occupier as appropriate.

## ENVIRONMENTAL LIABILITY

Any reference to environmental liability should be taken to mean a combination of the following types of liabilities:

### **Actual Liabilities**

These are known present obligations of the business arising from past or future events, the settlement of which will require future expenditure.

These will include costs associated with regulatory compliance e.g. known monitoring, decommissioning requirements, fines, damages, and surrender provisions imposed by statute and/or contract.

### **Latent and Contingent Liabilities**

These are unknown obligations arising from past or future events that exist, but where the outcome will only be known following the occurrence or non-occurrence of future events that are outside the control of the business.

These might include, unknown costs associated with site remediation, decommissioning and the possibility of unforeseen future events such as a pollution incident.

## ENVIRONMENTAL REPORTS

Any reference to environmental reports should be taken to mean one or all of the following types of report:

### **Phase 1**

This is a desk-based study (supported by a site inspection if agreed) of past and present uses of the site, geological and hydrogeological conditions, regulatory review and qualitative risk assessment.

The work undertaken to provide the basis of this report comprised a study of available documented information from a variety of sources (including the Client), together with (where appropriate) a brief walk over inspection of the site and meetings and discussions with relevant authorities and other interested parties.

The opinions given in the report have been dictated by the finite data on which it is based and is relevant only to the purpose for which the report was commissioned.

The information reviewed should not be considered exhaustive and has been accepted in good faith as providing true and representative data pertaining to site conditions.

Should additional information become available which may affect the opinions expressed in this report, GVA reserves the right to review such information and, if warranted, to modify the opinions accordingly.

It should be noted that any risks identified in this report are perceived risks based on the information reviewed; actual risks can only be assessed following a physical investigation of the site.

## **Phase 2**

This is an intrusive phase of works involving the drilling of boreholes/trial pits and the testing of soil, groundwater and soil gas samples for environmental and geotechnical purposes.

The investigation of the site has been carried out to provide sufficient information concerning the type and degree of contamination, geotechnical characteristics, and ground and groundwater conditions to provide a reasonable assessment of the environmental risks together with engineering and development implications. If costs have been included in relation to site remediation these must be confirmed by a qualified quantity surveyor.

The exploratory holes undertaken, which investigate only a small volume of the ground in relation to the size of the site, can only provide a general indication of site conditions.

The opinions provided and recommendations given in this report are based on the ground conditions apparent at the site of each of the exploratory holes.

There may be exceptional ground conditions elsewhere on the site which have not been disclosed by this investigation and which have therefore not been taken into account in this report.

The comments made on groundwater conditions are based on observations made at the time that site work was carried out.

It should be noted that groundwater levels will vary owing to seasonal, tidal and weather related effects.

The scope of the investigation was selected based on the specific development proposed by the Client and may be inappropriate to another form of development or scheme.

The risk assessment and opinions provided, *inter alia*, take into consideration currently available guidance relating to acceptable contamination concentrations; no liability can be accepted for the retrospective effects of any future changes or amendments to these values.

GVA accepts no liability what so ever for the content or conduct of the Environmental Consultant/Engineer of Sub Consultants/ Contractors appointed on behalf of the client by us.

## ENVIRONMENTAL RISK

Any reference to environmental risk shall be taken to mean:

**High Risk** – those properties where environmental risks have been identified that will affect land value, business interruption, lead to regulatory intervention and/or result in material financial expenditure by the client in the short term.

**Moderate Risk** – those properties where environmental risks have been identified that have the potential to affect land value, lead to regulatory intervention and/or result in material financial expenditure by the client in the medium to long term.

**Low Risk** – those properties where no environmental risks have been identified that have the potential to affect land value, lead to regulatory intervention and/or result in material financial expenditure by the client.

## GROUND CONDITIONS AND CONTAMINATION

Any discussion of ground conditions in this report have been based on a review of existing documentary information prepared by British Geological Survey and/or other parties. GVA accepts no responsibility for the accuracy or completeness of information prepared by third parties.

## INFORMATION

All information supplied by the Client, the Client's staff and professional advisers, local authorities, other statutory bodies, investigation agencies and other stated sources is accepted as being correct unless otherwise specified.

## JURISDICTION

In the event of a dispute arising in connection with the report, unless expressly agreed otherwise in writing, GVA, the client and any third party using this report will submit to the jurisdiction of the British Courts only. This will apply wherever the property or the client is located, or the advice is provided.

**LEGAL ISSUES**

Any interpretation of environmental reports and other legal documents and legal assumptions is given in our capacity as Environmental Consultants and must be verified by a suitably qualified lawyer if it is to be relied upon.

No responsibility or liability is accepted for the true interpretation of the legal position of the client or others.

**PLANS**

Any plans supplied are for identification purposes only unless otherwise stated. The valuation assumes site boundaries are as indicated to us. The reproduction of Ordnance Survey sheets has been sanctioned by the Controller of Her Majesty's Stationery Office, Crown Copyright reserved.

**TENURE**

Title Deeds and Leases are not inspected (unless specifically stated) and, unless we are informed to the contrary, it is assumed that a property is free of any onerous covenants, easements, other restrictions or liabilities including mortgages, grants and capital allowances that may affect the value.



*Modus Services Limited*

**ASBESTOS  
MANAGEMENT PLAN**

**Ministry of Defence**  
—  
**Main Building and Old War Office Building**

## Contents

<b>Section</b>	<b>Page</b>
Title page	1
Contents	2
Distribution List	3
Glossary of Terms	4 - 6
Background to Asbestos in Buildings	7
The Asbestos Management Plan	8
Asbestos Management Responsibilities on Site	9 - 10
Asbestos Registers	10
Asbestos Surveys	11
ACM Labelling	11
Training	11 – 12
Dissemination of Information	12 – 13
Prevention of unauthorised or uncontrolled work	13
Initial inspections for damage and disturbance	14
Monitoring and review	14 - 15
Emergency planning	15
Lines of Responsibility	16
Emergency services	16
Third Parties Asbestos Management	16 - 17
Approval and authorisation	18
<b>Annexes</b>	
Annex A – AMP Flow chart	19
Annex B – Key duties	20 - 25
Annex C – Flow chart, Working on or near ACMs	26
Annex D – Emergency Action to be taken on disturbance of suspected ACMs	27
Annex E – Lines of Responsibility	28
AMP Formal Issue Record	29
AMP Review Record	29



## Distribution List

Appointment	Phase 1 for signature	Phase 2 for information
MOD Main Building Head of Establishment	*	
Principal Duty Holder - Modus Managing Director	*	
Asbestos Management Plan Manager	*	
General manager of Skanska Facilities Services	*	
Account Director of Amey	*	
Asbestos Responsible Person	*	
DIO Team Leader		*
Crown Commercial Services (CCS)		*
DCMC		*
OST		*

Note: Appointments responsible for distribution of this Asbestos Management Plan (AMP) to their relevant teams.

## Glossary of Terms

### Abbreviations:

ACM	Asbestos Containing Material
ACOP	Approved Code of Practice L143 (2 <sup>nd</sup> Edition Published 2013)
AMP	Asbestos Management Plan
APP	Asbestos Policies and Procedures
ARP	Asbestos Responsible Person
BOHS	British Occupational Hygiene Society
BS	British Standard
CAR 2012	Control of Asbestos Regulations 2012
CAFM	Computer Aided Facilities Management
CCS	Crown Commercial Services
HoE	Head of Establishment
HSE	Health and Safety Executive
HSG264	Asbestos: The Survey Guide
MMO	Maintenance Management Organisation – Skanska Facilities Services
PFIC	Private Finance Initiative Contractor – Modus Services Ltd
PPE	Personal Protective Equipment
RPE	Respiratory Protective Equipment
SFS	Skanska Facilities Services
The Site	MOD Main Building and the Old War Office
WDHS	Whitehall District Heating System
UKAS	United Kingdom Accreditation Service

### Asbestos Types found on the site:

Crocidolite	(known as blue asbestos)
Amosite	(known as brown asbestos)
Chrysotile	(known as white asbestos)

### Definitions:

Duty Holder	Every person who has, by virtue of a contract or tenancy, an obligation of any extent in relation to the maintenance or repair of non-domestic premises, or any means of access or egress to or from. On the site, this includes the PFIC, HoE and the FM service providers.
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**AMP Manager** The AMP Manager is the custodian of the AMP. Appointed by the PFIC Duty Holder, the AMP Manager will undertake the regular reviews of the AMP, co-ordinate all asbestos management activities and provide the conduit for communication between all parties in matters relating to asbestos management.

**ARP** The Asbestos Responsible Person is appointed by the MMO and is responsible for supporting the implementation of the requirements of the AMP.

**MMO** The generic term MMO is used to describe the M&E Building Services service provider on the site; currently Skanska Facilities Services (SFS).

**Asbestos surveys:** Under the requirement for asbestos surveys as detailed in the HSE Survey Guide, HSG264. There are 2 types of asbestos survey:

#### Management Survey.

- A Management Survey is required during the normal occupation and use of the building to ensure continued management of the ACMs in situ. Condition re-surveys are undertaken as set by the priority assessment to maintain compliant management of the ACMs in situ.

#### Refurbishment or Demolition Survey.

- A Refurbishment or Demolition Survey will be necessary when the building (or part of it) is to be upgraded, refurbished or demolished.

#### Risk Assessment:

A risk assessment will be carried out:

- After a survey has been completed on a property.
- Before any planned maintenance is carried out on a property.
- Before any reactive repairs are carried out in a property

This risk assessment is composed of two parts, a material assessment and a priority assessment.

- The material assessment:
  - Identifies high risk material that will most readily release airborne fibres if disturbed. It does not automatically follow that those materials assigned the highest score in the material assessment will be the materials that should be given priority for remedial action.

- Each material receives a scoring against four categories: Product Type, Extent of Damage, Surface Treatment & Asbestos Type (or presumed asbestos type), in line with the Material Assessment Scoring Schedule set out in HSG 264.
- Priority Assessment:
  - The priority assessment considers the likelihood of the ACM actually being disturbed and exposing someone to asbestos fibres. For there to be risk to health it is not enough for it to be damaged or friable, but it also needs to be disturbed and get into the air we breathe. The priority assessment therefore considers the normal occupant activity in that area and the likelihood of disturbance, exposure and spread.
- The overall risk assessment rating:
  - An overall risk assessment rating is calculated by adding the priority assessment score to the material assessment score. It is this overall score which is used to prioritise any necessary management and/or remedial works.

## Background to Asbestos in Buildings

1. Definition: Asbestos is the general term used for the fibrous silicates, any mixture containing one or more of these fibrous silicates at more than trace amounts as defined in *Asbestos: The analysts' guide for sampling, analysis and clearance procedures (The analysts' guide)* is within the definition. For any work covered by the Regulations, 'asbestos' also includes asbestos-containing materials (ACMs), containing any of these fibrous silicates or mixtures of them.

Three main types of asbestos were commonly used:

- Crocidolite (commonly known as blue asbestos)
- Amosite (commonly known as brown asbestos)
- Chrysotile (commonly known as white asbestos)

2. Asbestos containing products have been widely used in buildings as construction materials, fireproofing, thermal insulation, electrical insulation, sound insulation, decorative plasters, roofing products, flooring products, heat-resistant materials, gaskets, friction products etc. Further information is available in Health and Safety Executive's (HSE) guidance on the management of asbestos in premises. In the 1960s and 1970s annual imports of asbestos containing products peaked at over 150,000 tonnes each year. Since 1985 the new use of any material containing blue and brown asbestos has been banned. This means that in Britain there are many thousands of tonnes of asbestos still in buildings, where, so long as it is in good condition and remains undisturbed, it does not present a risk. By 1999 the new use of any building materials containing white asbestos had been banned. Therefore, an assessment of premises constructed after 1999 should be very easy. Unless you have information to the contrary, you would simply have to record the fact that the date of construction indicates there is no asbestos present.

**(NB. All 3 main types of asbestos are found on the site)**

3. The asbestos policy adopted during the major renovation of MOD Main Building between 2000 and 2004 was to ensure that all remaining ACM's were enclosed in new building fabric or structure to remove the risk of disturbance from normal or routine activity to zero. In the Old War Office all ACMs have been labelled in accordance with the requirements of the CAR 2012. The condition of the asbestos warning labels is checked during routine inspections by the ARP.
4. Asbestos, a category 1 human carcinogen, is subject to a specific set of regulations: The Control of Asbestos Regulations (CAR) 2012. These regulations cover work with asbestos, prohibitions on the importation, supply and use of asbestos, and licensing of asbestos-removal activities. Regulation 4 of CAR 2012 contains an explicit duty on the owners and occupiers of non-domestic premises, who have maintenance and repair responsibilities, to assess and manage the risks from the presence of asbestos. The risks will vary with circumstances and can arise from normal occupation of a building or from inadvertent disturbance during the repair, refurbishment and demolition of premises. The risk assessment will be used to produce a management plan which details and records what actions to take to manage and reduce the risks from asbestos.

## **The Asbestos Management Plan**

### **Requirement:**

5. The duty to manage asbestos in non-domestic premises, introduced in the Control of Asbestos at Work Regulations 2002 and re-enacted in Regulation 4 of the CAR 2006 and 2012 requires all establishments to have in place a suitable Asbestos Management Plan (AMP).

### **Scope:**

6. PFIC managed and maintained areas of MOD Main Building and Old War Office Building. Excluded from the scope are Authority retained services or areas (see para 74 to 78) and third party systems.

### **Purpose:**

7. The AMP provides guidance on the requirements and procedures for managing the asbestos risk.
8. The AMP confirms the requirement of the ARP to maintain and update priority risk assessments – a determination of the level of asbestos risk.
9. The AMP confirms the requirement of the ARP to manage and maintain the written scheme of inspections identifying those parts of the premises covered and the measures to be taken to manage the risk.
10. The AMP confirms the need to maintain a record of Asbestos Containing Materials (ACMs) - this will include an asbestos register with accurate drawings and photographs (where practicable) detailing the location of ACMs for each building on the site, including details of all works in and around ACM and works where asbestos has been removed.
11. The AMP provides guidance on the action to be taken when new asbestos containing material is discovered or suspected. (Annex C)
12. The AMP provides guidance on emergency action to be taken when it is suspected that asbestos fibres have been released into the atmosphere, including the action to take to reduce the spread of asbestos. (Annex D)
13. The continuing suitability of the AMP will be monitored and updated regularly by the AMP Manager; the time between monitoring reviews will be no greater than 6 months. In addition to this requirement a monthly review of the suitability of the monitoring arrangements is to be conducted as part of the Compliance Monitoring meeting.
14. Where there is a conflict between the AMP and a statutory requirement the latter is to be followed and the Duty Holder is to be advised immediately.
15. The management activities of the AMP are captured in the flow chart at Annex A.

## Asbestos Management Responsibilities on the Site

16. **The Principal Duty Holder.** The Principal Duty Holder for the site is the Managing Director of Modus Services. The Principal Duty Holder is responsible for the effective management of asbestos on the site. Key duties of the Principal Duty Holder are at Annex B. The Principal Duty Holder's contact details are as follows:

[REDACTED]  
Managing Director  
Modus Services Ltd  
MOD Main Building  
Whitehall  
London  
SW1A 2HB  
Tel: [REDACTED]

17. **The Shared Duty Holders.** On this site, additional Duty Holder duties are shared by additional personnel in recognition of their key contributions to the effective management of asbestos on the site. Key duties of the shared duty holders are at Annex B. The duties are shared between the MD of Modus Services, the MOD Head of Establishment (HoE) and the Contract Managers (General Manager and Account Director) of the FM Service Providers who have indicated acceptance of their responsibilities by signing the AMP.

18. **The AMP Manager.** The Principal Duty Holder has appointed an AMP Manager as custodian of the AMP and to assist the Principal Duty Holder and the shared duty holders in the execution of their duties. The AMP Manager will deputise for the Principal Duty Holder in his absence. Key duties of the AMP Manager are detailed within Annex B. The AMP Manager's contact details are as follows:

[REDACTED]  
Hard FM Operations Manager  
Modus Services Ltd  
MOD Main Building  
Whitehall  
London  
SW1A 2HB  
Tel: [REDACTED]

**19. The Maintenance Management Organisation.** The MMO is responsible for the implementation of the AMP and regular review of the Asbestos Policies and Procedures (APP). These responsibilities are delegated formally by the Principal Duty Holder and accepted by the MMO via a letter of appointment. Key duties of the MMO are at Annex B. The MMO contact details are as follows;

[REDACTED]  
Contract Manager  
Skanska Facilities Services  
MOD Main Building  
Whitehall  
London  
SW1A 2HB  
Tel: [REDACTED]

**20. The Asbestos Responsible Person.** The MMO has appointed 2 competent Asbestos Responsible Persons to carry out the day-to-day work necessary for the implementation of the AMP including all inspections and risk assessments associated with ACMs throughout the site. Key duties of the Asbestos Responsible Person are at Annex B. The Asbestos Responsible Persons' contact details are as follows:

[REDACTED]  
Asbestos Responsible Person  
Skanska Facilities Services  
B2.4.03  
MOD Main Building  
Whitehall  
London  
SW1A 2HB  
Tel: [REDACTED]

[REDACTED]  
Deputy Asbestos Responsible Person  
Skanska Facilities Services  
Room 005  
Old War Office  
London  
SW1A 2EU  
Tel: [REDACTED]

### **Asbestos Registers**

21. The Asbestos Registers for MOD Main Building and Old War Office Building are held and managed on a day to day basis by the ARPs.

22. The Asbestos Registers are updated by the Asbestos Responsible Person following both planned and reactive inspections; this includes recording all defects found and details of all remedial actions including completion dates. The Asbestos Register is kept up-to-date and available for review by the Asbestos Responsible Persons.



## **Asbestos Surveys**

23. During the period 2002 - 2006, a number of Type 2 and Type 3 Asbestos Surveys<sup>1</sup> were undertaken at MOD Main Building and Old War Office Building, Whitehall, London. The work entailed:
- a. Thorough visual inspections of the buildings.
  - b. Sampling and analysis of all suspect materials where located with a report on the findings.
  - c. Preparation of a material and priority risk assessment for each location where Asbestos Containing Materials (ACM) were found.
  - d. Compilation of the foregoing details to form an Asbestos Register for each building.
24. In 2015 a full Management Survey was commenced to cover all PFIC areas within MOD Main Building.
25. The survey reports are held by the MMO and maintained by the ARP.

## **ACM Labelling**

26. ACMs are labelled where there is a risk of disturbance.

## **Training**

27. Training is considered a critical component for effective management of asbestos on site.
28. The MMO will ensure that all personnel involved in the management of asbestos, both inspections and works, are competent to do so through the provision of appropriate initial training and annual refresher training.
29. The MMO will ensure that the ARP receives BOHS approved P405 and P402 training, it is desirable that the ARP also receives P407 training.
30. The MMO will ensure that the Deputy ARP receives BOHS approved P405 training, it is desirable that the Deputy ARP also receives P402 training.
31. The MMO will ensure that both the ARP and Deputy ARP hold the corresponding certificates of qualification.
32. The MMO ARP and Deputy ARP must ensure that they attend suitable refresher training as required by industry standard.

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<sup>1</sup> MDHS 100      Guidance at that time was the Methods for the Determination of Hazardous Substances Surveying, sampling and assessment of asbestos containing materials, now superseded by HSG264.

33. The MMO will ensure that all members of the MMO staff working on this site are familiar with the content and requirements of this AMP through the provision of appropriate initial (induction) and annual refresher training.
34. The MMO will ensure that all sub-contractors or other suppliers working for the MMO on this site are familiar with the content and requirements of this AMP through the provision of appropriate initial (induction) and annual refresher training.
35. The MMO will ensure that all employees, subcontractors and suppliers whose work may have an impact on retained ACMs receive Regulation 10 (CAR 2012) compliant asbestos awareness training.
36. The MMO will provide all support necessary to enable Amey and the MOD to carry out their training responsibilities as detailed in paragraphs 37 to 42.
37. Amey will ensure that all members of Amey staff working on this site are familiar with the content and requirements of this AMP through the provision of appropriate initial (induction) and annual refresher training.
38. Amey will ensure that all sub-contractors or other suppliers working for the Amey on this site are familiar with the content and requirements of this AMP through the provision of appropriate initial (induction) and annual refresher training.
39. Amey will ensure that all employees whose work may have an impact on retained ACMs receive Regulation 10 (CAR 2012) compliant asbestos awareness training.
40. The MOD Shared Duty Holder will ensure that all members of staff working on this site are familiar with the content and requirements of this AMP and will provide them with an initial briefing to the site and make arrangements for refresher training if appropriate as determined by the MOD Asbestos Management Plan.
41. The MOD will ensure that all sub-contractors, 3<sup>rd</sup> Party Contractors or other suppliers working for the MOD on this site are familiar with the content and requirements of this AMP and will provide them with an initial induction briefing to the site and will obtain assurance through the risk, method statement and impact assessment process that they have received appropriate and annually updated refresher training from their employer.
42. The MOD will ensure that all employees, Sub-contractors, 3<sup>rd</sup> Party Contractors or other suppliers whose work may have an impact on retained ACMs are provided with an initial induction briefing to the site and have provided assurance through the risk, method and impact assessment process that they have received Regulation 10 (CAR 2012) compliant asbestos awareness training.
43. Please note it is a requirement of the annual review/audit of the AMP to confirm these training arrangements remain in place and to confirm the effectiveness of their delivery.

### **Dissemination of Information**

44. The details of **PFIC controlled** ACMs within the MOD Main Building (MB) are held in the MB Asbestos Register in soft copy within the CAFM System: *Concept Evolution*. This is

in the process of being transferred to the new AMS Teams (The Electronic Asbestos Management System).

45. The details of ACMs within the Old War Office are kept on record in the OWO Asbestos Register in both soft and hard copy in an MS Office Excel spreadsheet.
46. As detailed above, all MMO members of staff, their sub-contractors and 3<sup>rd</sup> party contractors have been formally advised of the requirements of this AMP and the need to contact the Asbestos Responsible Person before carrying out any work which may directly or indirectly disturb an ACM.
47. The ARP will liaise closely with the AMP Manager to ensure the Principal Duty Holder and Shared Duty Holders are kept fully aware of works related to the AMP.
48. Records of communications between the ARP and other parties are to be held within the following locations:
  - a. Asbestos Registers.
  - b. Within the CAFM system (Concept helpdesk task logs).
  - c. Within the SFS Monthly Compliance Pack and meeting minutes.
  - d. Within SFS Archive documents.

**The prevention of unauthorised or uncontrolled work that may disturb the fabric of the building(s).**

49. Under the Third Party Protocol, sponsors of activities and works that are likely to have an impact of the building or its users are required to complete a Building Impact Assessment.
50. Any work on site of a non-routine nature, irrespective of the scope of work, is regarded as having the potential to result in the spread of and/or exposure to asbestos. This risk must be assessed by the ARP during the works planning stage. Where it is found that the work may directly or indirectly disturb an ACM, the execution of the work must follow the procedure shown in the flow chart at Annex C.
51. All employees or others planning to undertake any new works on the site must firstly check whether they are working on or near ACM by logging an asbestos enquiry with the Helpdesk, Tel: 82000, Option1. The resulting investigation and assessment is undertaken by the ARP.
52. Where the presence of any ACM is confirmed, only a licensed and approved specialist contractor will be authorised to undertake works in connection with the ACM.
53. Authorisation to proceed with works where ACM is confirmed present, suspected or in the vicinity, will only be given by the ARP once the works have been reviewed, the asbestos register consulted and method statements & risk assessments verified, to ensure they reflect the requirements for working in an asbestos controlled environment. Authorisation to proceed can only be given in writing from the ARP following entry on the *Concept* system's permit to work (job card).

## **Initial inspections for damage and disturbance of materials and immediate actions**

54. The ARP (or appointed competent contractor) carries out regular routine visual inspections of the site looking for any signs of damage to materials used to encapsulate ACM (e.g. holes in a wall & ceiling panels; pipe work insulation hanging-off; sprayed insulation damaged; loose debris and dust on floors / voids / risers etc).
55. The frequency of visual inspections is determined through the application of the priority risk assessment procedure carried out by the ARP in accordance with CAR 2012 and HSG227.
56. The prioritising of remedial actions is undertaken by combining the Material Risk Assessment from the Survey Material Assessments with an assessment of the risk of exposing building users to any asbestos fibres. This latter assessment is the Priority Risk Assessment; hence the final risk assessment takes into account both the condition of the material and the context in which it is located.
57. If any damage is found, the procedure set down in the flow chart at Annex D must be followed. It is essential to determine whether the damage has disturbed the ACM and if so, take the necessary actions to isolate, repair and remove etc., whilst preventing any further access, spread or exposure.
58. The record of inspections with the inspection reports are held with the Asbestos Registers by the ARP.

## **Monitoring and Review**

59. Monitoring of the implementation of the AMP will take place at regular intervals not exceeding 6 months (see para 12) to make sure that the arrangements are effective and that people are fully aware of what their responsibilities are in order to comply with the duty to manage. The arrangements will need to be reviewed and changes made particularly when there are changes in the asbestos management personnel. The arrangements will be formerly reviewed by the AMP Manager on behalf of the Principal Duty Holder and audited by an external consultant at least every 12 months.
60. Circumstances that may trigger an AMP review are typically (but not exclusively):
  - a. An incident of accidental exposure to Asbestos fibre release.
  - b. A significant non-compliance with maintenance of Asbestos Register.
  - c. Any changes to the relevant legislation.
  - d. Periodically at intervals not exceeding 12 months.
  - e. Any other situation which the Principal Duty Holder deems appropriate.
61. The Review will use the defined requirements of CAR 2012, the associated guidance and any such other information as deemed appropriate to assess the following:
  - a. The degree of compliance with Safe Working Systems.
  - b. The attainment of specific schedules within defined timescales.

- c. The proactive identification of system weaknesses.
- d. The non-compliance records and Improvement Plans from previous Reviews.

62. The MMO is to arrange for an external auditor to conduct sample parallel re-inspections at regular intervals not exceeding 11 months; these re-inspections are retained by the MMO and Modus as evidence of external verification.

## **Emergency Planning**

63. The emergency procedures are shown in the flow chart at Annex D.

64. Action to be taken on finding disturbance of asbestos containing materials.

- a. If a person working suspects that unforeseen ACM may be present at the workplace or causes damage to an ACM he is to cease work immediately, if possible, close off the room/building/area and report his suspicions immediately to the Helpdesk and the ARP.
- b. The ARP is to immediately notify the Principal Duty Holder and give guidance on what immediate measures need to be taken to ensure the safety of personnel. In all cases the initial advice will be:
  - (1) Evacuate the immediate location.
  - (2) Close/fence off/ the location and post warning signs.
  - (3) Ensure that the details are taken of anyone that may have been exposed to the ACM.
- c. The Principal Duty Holder will discuss with the ARP what further measures need to be taken and will advise the other Shared Duty Holders accordingly.
- d. All new discoveries or accidental damage to ACMs are to be recorded in the Asbestos Register and the risk assessments are to be reviewed.
- e. When there is a risk that asbestos dust has been released into the atmosphere the following action is to be taken:
  - i. Where it is suspected that asbestos dust has been released into the open atmosphere or there has been a significant fire involving ACMs, the Principal Duty Holder, in consultation with the MMO will notify Shared Duty Holders and keep them informed of the situation.
  - ii. Air monitoring will be undertaken except where exposures are known to be well below the recommended control limit and where work is intermittent or of short duration and adequate information is available to enable the appropriate PPE to be provided.
  - iii. Where such a high standard of RPE and PPE is provided for the predicted exposure that no foreseeable measurement results could indicate a need for a higher level of protection.

## **Lines of Responsibility**

65. A Lines of responsibility diagram showing how the separate Duty Holders, responsible persons and organisations interact and work together with the AMP to ensure that ACM's are effectively managed is shown at Annex E.

## **Emergency Services**

66. In the event of an emergency; the emergency services will be provided with information from the asbestos register detailing the location of asbestos on the site, this information is to be held in the following locations
- a. MB North and south Entrance
  - b. MB Security Control Centre)
  - c. OWOB Security Control Centre.
  - d. OWOB Quad Entrance Guard facility.
67. The ARP will ensure that, on behalf of the Duty Holder, the information is reviewed annually and updated with changes that have been identified.

## **Third Parties Asbestos Management**

### **Whitehall District Heating System (WDHS)**

68. The WDHS pipelines run to and from the associated equipment and plant within the Boiler House through the site. The management of ACMs present in the pipeline is the responsibility of the Boiler House Maintenance Organisation.
69. The MMO will allow all reasonable requests for access by the Boiler House Maintenance Organisation for the purpose of fulfilling their own asbestos management duties in accordance with their Asbestos Management Plan and the current Control of Asbestos Regulations 2012.
70. The Boiler House Maintenance Organisation will undertake any inspection with due diligence using competent staff. Should any risk of fibre release be observed during the inspection they shall immediately notify the MMO Asbestos Responsible Person and the Site Duty Holder, Modus Services Limited.
71. Where an employee of the MMO - SFS discovers a situation of potential fibre release from plant / equipment for which the Boiler House Maintenance Organisation is responsible the Asbestos Responsible Person of that organisation shall immediately be informed along with the Site Duty Holder, Modus Services Limited.

NOTE: ANY damage observed shall be treated as a potential fibre release situation until investigated and proven to the contrary.

## **PINDAR**

72. The PINDAR installation has an AMP and Asbestos Register indicating there are no encroachment of "PINDAR owned" ACM onto the Main Building site.
73. It is the responsibility of the Pindar HoE to inform the Principal Duty Holder if this position changes.

## **MOD Retained Services or Areas**

74. The areas of MB classified within the PFI Contract as MOD retained services or areas are under the direct control of the MOD, the management of ACMs present in these areas is the responsibility of the Head of Establishment (HoE) Organisation.
75. The MMO will allow all reasonable requests for access by the HoE Organisation for the purpose of fulfilling their own asbestos management duties in accordance with their Asbestos Management Plan and the current Control of Asbestos Regulations 2012.
76. The MOD will undertake, directly or through sub-contractor, any inspection with due diligence using competent staff. Should any risk of fibre release be observed during the inspection they shall immediately notify the MMO Asbestos Responsible Person and the Principal Duty Holder, Modus Services Limited.
77. Where an employee of the MMO - SFS discovers a situation of potential fibre release from the MOD retained services or areas for which the HoE Organisation is responsible the Asbestos Responsible Person of that organisation shall immediately be informed along with the Site Duty Holder, Modus Services Limited.
78. The MOD shall ensure that procedures stipulated in the Third Parties' Asbestos Management Plans are implemented.

NOTE: ANY damage observed shall be treated as a potential fibre release situation until investigated and proven to the contrary.

**Approval and authorisation**

**THE ASBESTOS MANAGEMENT PLAN FOR MOD MAIN BUILDING AND OLD WAR  
OFFICE BUILDING, WHITEHALL, LONDON**

Issue Number      AMP/012  
Dated                11 August 2015

The content and format of this Asbestos Management Plan are agreed and authorised by:

**The Principal Duty Holder:**

1.      The Managing Director of Modus Services

Name: [redacted] ... Signature: [redacted]

The AMP Manager (Deputy Duty Holder)

Name: [redacted] ..... Signature: [redacted] .....

**The shared duty holders:**

2.      The MOD Head of Establishment

Name: [redacted]      Signature: [redacted]

3.      The General Manager of Skanska Facilities

Name: [redacted] ... Signature: [redacted]

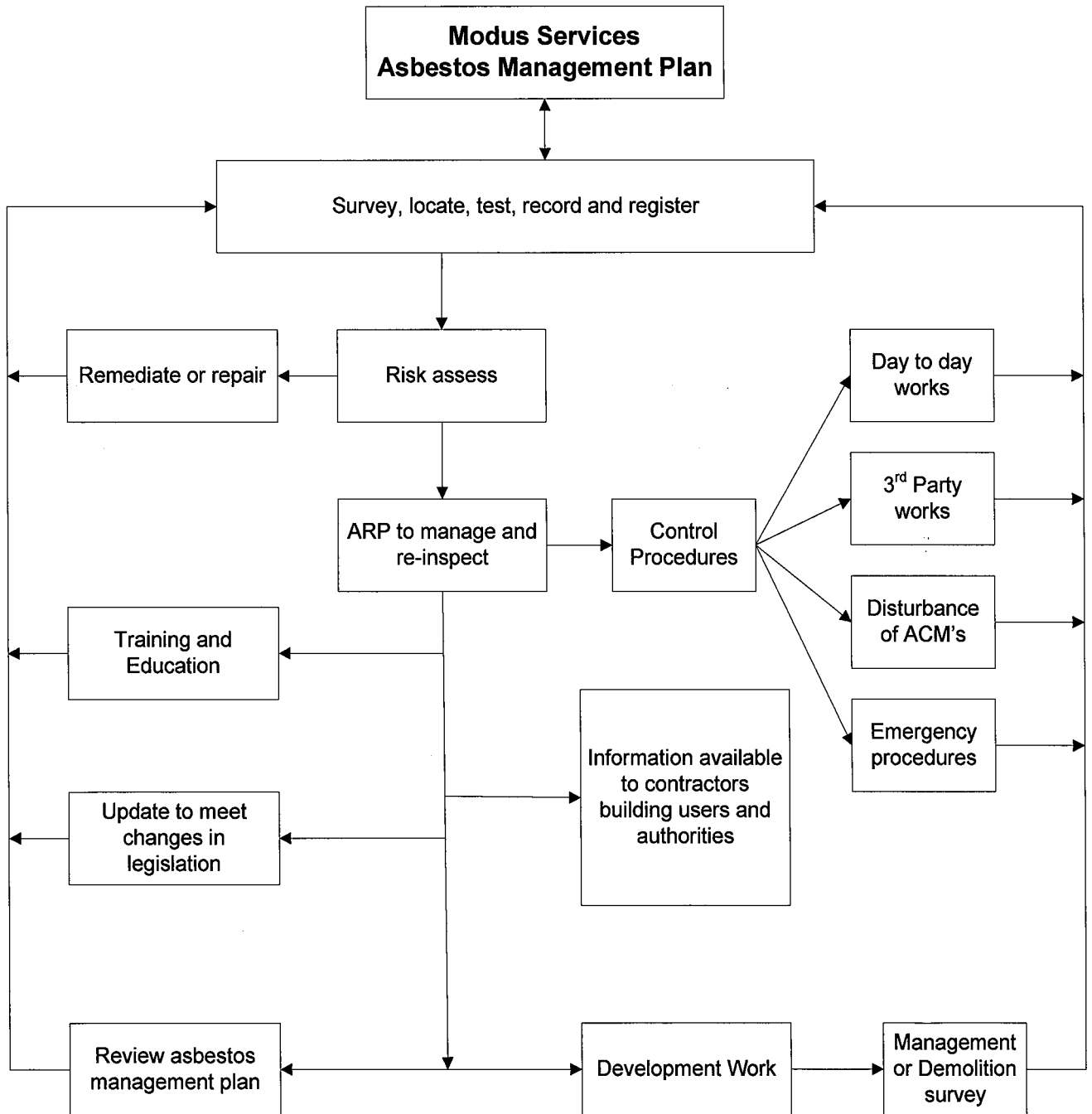
4.      The Account Director of Amey

Name: [redacted] .. Signature: [redacted]



**Flow Chart**

**Asbestos Management Plan**



## KEY DUTIES

Key duties to be carried out;

### **The Principal Duty Holder**

The Principal Duty Holder is responsible for the preparation, review, and maintenance of the AMP. The Principal Duty Holder will:

Ensure that an AMP is prepared and implemented for those areas of the site that are a PFIC responsibility.

Ensure that the contents of the AMP and associated procedures are communicated to all contractors, building users, third parties and visitors, who may, through their normal work activity, have cause to disturb any ACM contained within the PFIC controlled areas of the buildings and facilities over which he exercises control.

Ensure that the management procedures are reviewed regularly and at least every 6 months.

Ensure that the AMP is reviewed regularly and at least every 12 months.

Ensure that an Audit of the effectiveness of the AMP is conducted annually.

Ensure that any organisation undertaking work related to the AMP has suitable competence and training.

Ensure that all works on ACMs will be carried out in accordance with the requirements of CAR 2012 and The Hazardous Waste Regulations 2005.

Ensure that the contents of the AMP and associated procedures are communicated to all building users and visitor hosts.

Ensure that surveys to identify and record ACMs are undertaken and that the condition of ACMs are monitored to prevent disturbance, spread and exposure.

Receive reports and advice from visiting workers / contractors, with regard to ACMs, and act accordingly.

Be responsible for the provision and maintenance of the record of ACM for all buildings and facilities over which he exercises control.

## **The Shared Duty Holders**

The Shared Duty Holders are responsible for assisting the Principal Duty Holder on the preparation, review, and implementation of the AMP, and will:

Ensure that an AMP has been prepared and implemented in those areas for which they have responsibility for maintenance and provide the Principal Duty Holder with advice on the suitability of information provide by other shared duty holders for inclusion in the AMP.

Ensure that the contents of the AMP and associated procedures are communicated to all contractors and building users who may through their normal work activity have cause to disturb any ACM contained within buildings and facilities over which he occupies, and / or has a responsibility for maintenance.

Provide copies of the AMP, on request, to other interested parties.

Ensure that the AMP is reviewed at regular intervals.

Ensure that the effectiveness of the AMP is monitored.

Ensure that any organisation undertaking work related to the AMP has suitable competence and training.

Ensure that all works on ACMs will be carried in accordance with the requirements of CAR 2012, Carriage of Dangerous Goods (etc) Regulations 2009 and The Hazardous Waste Regulations 2005.

Ensure that the contents of the AMP and associated procedures are communicated to all building users and visitor hosts.

Ensure that an AMP is implemented in those areas for which he is responsible

Ensure that surveys to identify and record ACMs are undertaken

Receive reports and advice from visiting workers / contractors, with regard to ACMs, and act accordingly.

Be responsible for the provision and maintenance of the record of ACMs for all assets for which he has a maintenance responsibility.

## **The AMP Manager**

Deputise for the Principal Duty Holder during times of absence.

To prepare, review, maintain and implement the AMP as follows:

- Ensure that an AMP is prepared and implemented for the site.
- Ensure that the contents of the AMP and associated procedures are communicated to all contractors, building users, third parties and visitors, who may, through their normal work activity, have cause to disturb any ACM contained within buildings and facilities over which he exercises control.
- Ensure that the AMP is reviewed regularly and at least every 12 months.
- Arrange internal review of the effectiveness of the AMP at least every 6 months.
- Arrange external audits of the effectiveness of the AMP annually.
- Ensure that any organisation undertaking work related to the AMP has suitable competence and training.
- Ensure that all works on ACMs will be carried out in accordance with the requirements of CAR 2012 and The Hazardous Waste Regulations 2005.
- Ensure that the contents of the AMP and associated procedures are communicated to all building users and visitor hosts.
- Ensure that an AMP is implemented in those areas for which he is responsible
- Ensure that surveys to identify and record ACMs are undertaken
- Receive reports and advice from visiting workers / contractors, with regard to ACMs, and act accordingly.
- Be responsible for the provision and maintenance of the record of ACM for all buildings and facilities over which he exercises control.

## **The Maintenance Management Organisation**

The Maintenance Management Organisation (MMO) is responsible for ensuring the health and safety of their employees and the employees of their subcontractors when working on this site. The MMO is to ensure that they are made aware of the hazards and the impact of their activities on the health and safety of themselves or others.

The MMO is responsible for reviewing, updating and issuing the APP in line with sections 58 to 61 (Monitoring and Review) of the AMP.

The MMO is responsible for recommending the appointment of the ARP and Deputy ARP and for ensuring the competency of the ARP and Deputy ARP.

The MMO is responsible for consulting the records of ACM for the site and monitoring the compliance of his staff and his supply chain contractors with the AMP and relevant health and safety legislation.

The MMO has a duty to make recommendations to the Principal Duty Holder regarding any action required on asbestos related issues, including the immediate action required following discovery of, damage or degradation to ACMs. The structure of the AMP provides the framework to achieve this duty. The MMO will therefore additionally:

- Ensure that all works, under their contract, are procured in accordance with the AMP Safe Working System, requiring a risk assessment and method statement for all works undertaken with ACMs.
- Where work is to be undertaken on, or near, any ACM, ensure that the method statement / risk assessment is specified by a competent person, in accordance with CAR 2012.
- Ensure that any work on ACM, under their control, is supervised and undertaken by suitably competent and trained persons, in accordance with CAR 2012.
- Ensure that all works under their control are undertaken on site in accordance with the relevant AMP Safe Working System.
- Ensure that any suspected exposure is dealt with in accordance with the emergency procedures contained within the AMP.

The MMO as the subject matter expert for all Asbestos related matters is to advise the Principal Duty Holder and communicating details of legislative changes, all relevant consultation and changes to guidance and publications from the Asbestos Liaison Group.

## **Asbestos Responsible Person**

The ARP must ensure he is fully trained to a minimum standard BHOS 405 & 402 (additional training in the form of P407 is desirable), qualified, site familiar and formally appointed to undertake the tasks detailed in this AMP.

The ARP must ensure that he attends refresher training (BHOS 405 & 402) as required by industry standard or the legislation of the day.

The ARP will hold, maintain and update the Asbestos Registers for the site.

The ARP will carry out the inspection of ACMs on the site at the frequency determined through continuous monitoring and updating of the priority risk assessments of the ACMs.

The ARP is to arrange sample parallel re-inspections of ACM's to be carried out on a yearly basis, the sample inspections are to be carried out by an external auditor.

The ARP is to ensure that all external re-inspections are retained by MMO as evidence of audit.

The ARP will routinely review the priority risk assessments in the Asbestos Register at least every 12 months to ensure they are current and appropriate.

The ARP is the subject matter expert for all Asbestos related matters on the site, including:

- Provision of toolbox talks to all PFIC employees, sub contractors & suppliers
- Support the MMO in reviewing and updating the APP.

The ARP will receive and act upon requests for advice and repair to ACMs in accordance with the guidance given in the AMP.

The ARP will report all incidents concerning asbestos and asbestos management to the Principal Duty Holder.

The ARP will ensure that asbestos labelling on site is maintained in accordance with the current HSE guidelines.

## **Deputy Asbestos Responsible Person**

The Deputy ARP must ensure he is fully trained to a minimum standard of BHOS 405 (additional training in the form of P402 is desirable), qualified, site familiar and formally appointed to undertake the tasks detailed in this AMP.

The Deputy ARP must ensure that he attends refresher training (BHOS 405) as required by industry standard or the legislation of the day.

The Deputy ARP must support the ARP in the delivery of the AMP as directed by the MMO.

In the absence of the ARP the Deputy ARP will hold, maintain and update the Asbestos Registers for the site.

In the absence of the ARP the Deputy ARP will carry out the inspection of ACMs on the site at the frequency determined through continuous monitoring and updating of the priority risk assessments of the ACMs.

In the absence of the ARP the Deputy ARP is to arrange sample parallel re-inspections of ACM's to be carried out on a yearly basis, the sample inspections are to be carried out by an external auditor.

In the absence of the ARP the Deputy ARP is to ensure that all external re-inspections are retained by MMO as evidence of audit.

In the absence of the ARP the Deputy ARP will routinely review the priority risk assessments in the Asbestos Register at least every 12 months to ensure they are current and appropriate.

In the absence of the ARP the Deputy ARP is the subject matter expert for all Asbestos matters on the site.

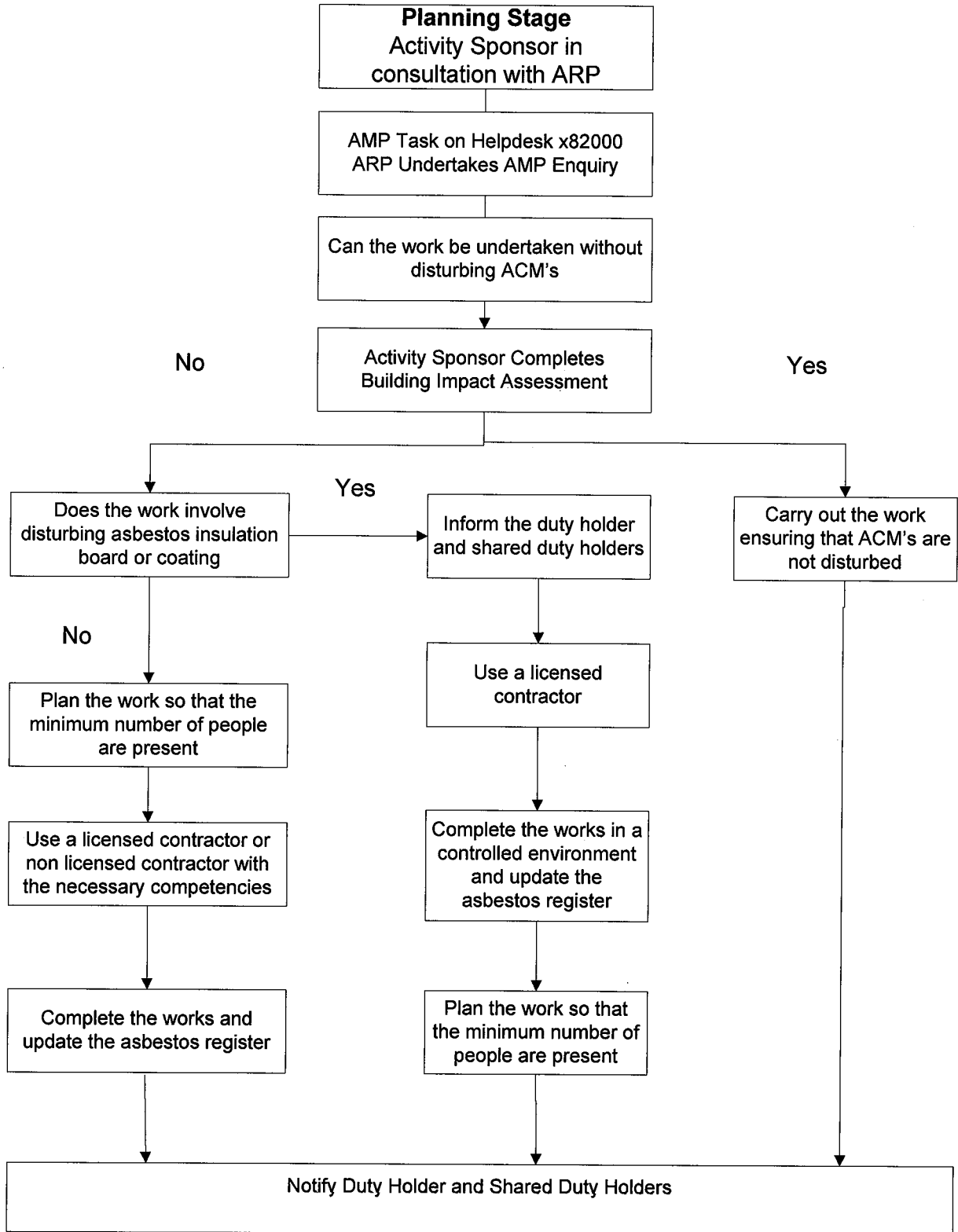
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In the absence of the ARP the Deputy ARP will report all incidents concerning asbestos and asbestos management to the Duty Holder.

In the absence of the ARP the Deputy ARP will ensure that asbestos labelling on site is maintained in accordance with the current HSE guidelines.

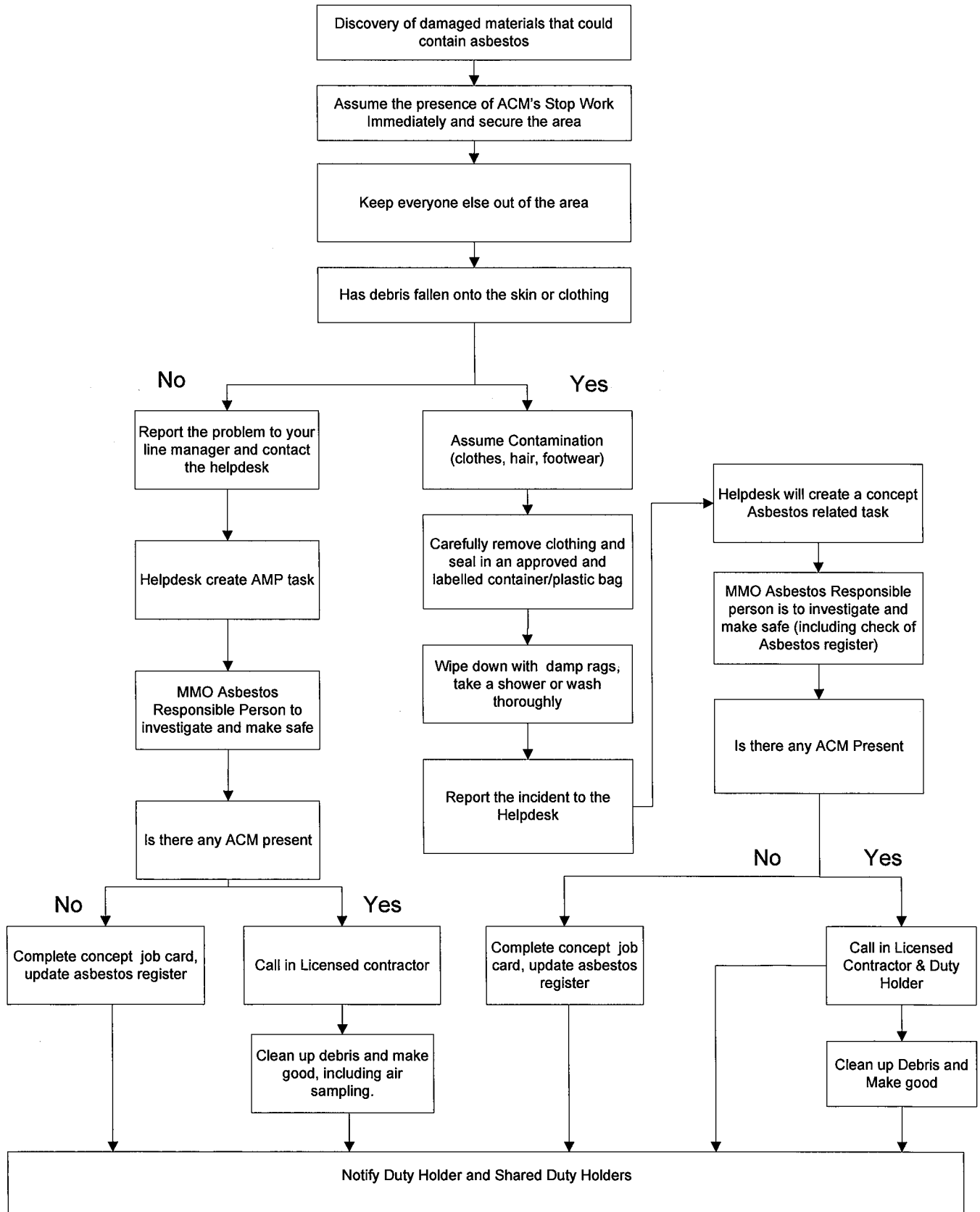
**Flow Chart**

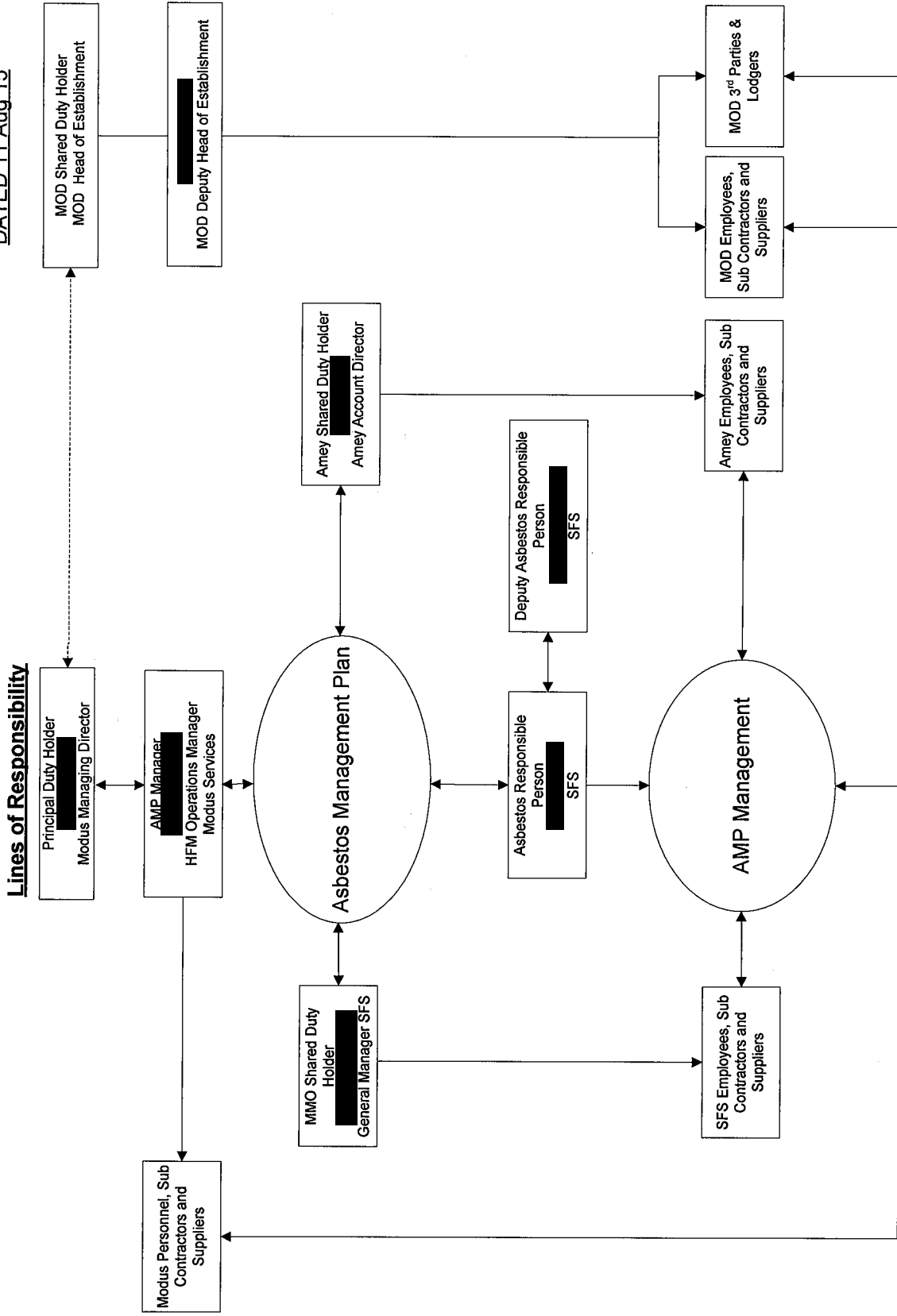
**Working on or near ACM's**





**Emergency action to take on the disturbance of suspected ACM's**





## AMP Formal Issue Record

Issue	Date	Amendment	Approved By	Authorised By
12	Aug 15	Change of AMP Manager, MMO & Amey contact details and Deputy Asbestos Responsible Person details.		
11	Apr 14	Change of AMP Manager		Not Issued
10	Dec 13	Inclusion of new regulations (CAR 2012) and recommendations identified during the 2012 External audit. Text and layout adjustments resulting from routine review, changes to appointed persons. Insertion of new clause for MOD Retained areas.		
09	Jul 11	Text and layout adjustments resulting from routine review		
08	Nov 10	Minor changes as recommended in AMP Audit dated Sep 10		
07	Feb 10	Inclusion of: 1. new guidance, HSG264 Asbestos: The survey guide 2. appointment of new Deputy Asbestos Responsible Person		
06	Aug 09	Reviewed and revised; includes new clause for WDHS.		
05	Feb 09	Revised to reflect transfer of hard fm duties between Amey and SRW and issued for use		
04	Jan 08	Issued for use		
01-03	Jun - Dec 07	Issued for Use + new regulations		

## AMP Review Record

Issue	Review Date	Amendment	1 <sup>st</sup> Reviewer	2 <sup>nd</sup> Reviewer	Comments
12 Draft	10 Aug 15	Final review			
12 Draft	6 Aug 15	Change of Asbestos Management Plan Manager (AMP Manager)			
12 Draft	12 Jun 15	Change of Deputy Asbestos Responsible Person (DARP)			
12 Draft	5 Jun 15	Minor changes to grammar and wording			
11	27 May 15	Reviewed – change of Amey Director and Skanska General Manager (MMO)			

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GVA  
10 Stratton Street  
London  
W1J 8JR

# Technical Due Diligence Report

Defence Infrastructure Organisation

The Old War Office, Whitehall, London, SW1A 2EU

Inspected: August 2014

# Preface

Identification  
Photograph:



**Property Address:** The Old War Office, Whitehall, London SW1A 2EU

**Approximate GIFA:** 54,063.1 sq. m (581,930 sq. ft.)

**Date of Inspection:** Inspected between the dates of 28<sup>th</sup> July and 6<sup>th</sup> August 2014

**Inspection Conditions:** Generally dry and sunny conditions

**Lead Surveyor:** [REDACTED] – Senior Director

**Accompanying Parties:**

[REDACTED]	GVA	MEP Project Manager
[REDACTED]	GVA	Mechanical Engineer
[REDACTED]	GVA	Electrical Engineer
[REDACTED]	GVA	Lift Engineer

**GVA Reference:** 02B400049

**Version Control:**

Status	Surveyor	Date
Draft:	[REDACTED]	04/09/14
Director Review:	[REDACTED]	04/09/14
Director Authorisation:	[REDACTED]	05/09/14
Version One Issue:	[REDACTED]	05/09/14
Final Issue:	[REDACTED]	12/09/14

## Contents

1.	Executive Summary .....	4
2.	Scope of Instruction and Brief .....	21
3.	Property Description .....	23
4.	Form of Construction and State of Repair .....	30
5.	Building Engineering Services .....	47
6.	Sustainability .....	51
7.	Environmental Matters .....	52
8.	Deleterious Materials .....	53
9.	Legal and Compliance Matters .....	55
10.	Asset Management Considerations .....	57

## Appendices

Appendix A	Schedule of Remedial Works & Estimated Costs
Appendix B	Schedule of Photographs
Appendix C	Building Engineering Services Report
Appendix D	Phase 1 Environmental Assessment
Appendix E	Terms of Engagement

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### Key Findings

1.29 We set out below a summary of our principal observations categorised using the following risk rating / criticality indicator:

-  High Risk (critical issues relating to health and safety and property protection)
-  Medium Risk (non-critical statutory compliance issues and items of significant expenditure)
-  Low Risk (for information /routine maintenance and repair)

## Structure & Fabric

## Risk Rating

1.30 An extensive asbestos survey and register (available on the data site) was undertaken in 2003 and covers the entire building. This was completed following an extensive asbestos removal contract between 2002 and 2003, reportedly costing circa £15m. The register is updated annually. The removal works were mainly concentrated in the basement and lower ground floor areas and to vertical and horizontal ducts across remaining floors where services were run in insulation containing asbestos.

However, as the building was occupied it was not possible to fully access all areas and there is therefore a risk that asbestos debris /residue remains, particularly to:

- Brick surfaces at basement level behind encapsulation paint.
- Under timber sub-floors to offices where ducts penetrate
- Behind panelling in ducts

An Asbestos Management Plan (ref:SD724P/86213) dated 25<sup>th</sup> September 2012 and completed by Aspect Contracts Ltd is also contained on the data site. A plan has been in place since the removal works and there is regular air monitoring. The encapsulation paint at basement level has been applied to all walls and ceilings and is constantly monitored for disrepair and patch repaired as necessary. It was found to be in good condition. Where areas of paint have become damaged the opportunity has been taken to sample the paint and brickwork behind. We understand that circa 600 tests have been completed since the strip out with only two recorded positive results.

In addition known asbestos containing materials are present in the following.

- Cladding panels to "Sovex" lift shaft
- Various pipe flanges
- Lower moat



It will therefore be necessary for a full Asbestos Demolition and Refurbishment Survey to be undertaken once the building is vacated and prior to any redevelopment. This will identify the extent of asbestos to be removed. We have included a budget cost for the survey in our report.

■ [REDACTED]

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■ [REDACTED]

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[REDACTED] [REDACTED]  
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[REDACTED]

[REDACTED]

[REDACTED] [REDACTED]  
[REDACTED]  
[REDACTED]

1.56 The "Sovex" lift shaft being constructed with a material with asbestos has been de-commissioned and encapsulated since the 1960's. The lift equipment and shaft will need to be totally removed. However, the location would lend itself to a new lift if required.



[REDACTED] [REDACTED]  
[REDACTED]  
[REDACTED]  
[REDACTED]

[REDACTED]

[REDACTED] [REDACTED]  
[REDACTED]

[REDACTED]

### Environmental Matters

1.59 Our environmental team has concluded that the site is considered to be of low /moderate environmental sensitivity given the underlying aquifers, the nearby river Thames and its commercial use setting.

1.60 Based on their assessment of the available information, they consider that the site represents a **low environmental risk** from a ground contamination perspective for acquisition and continued use.

## Legal Enquiries

1.61 A Report on Title is provided in the data site.

1.62 The building is Grade 2\* listed and located in a conservation area. You should obtain a copy of the exact listing requirements and we recommend that you review the conservation and heritage reports provided to inform what may be possible to implement in a redevelopment scheme.

█ [REDACTED]

1.64 A vast amount of information on the building and services installations is held by Modus as PFI contractors to the Ministry of Defence. Much of this information could not be released on the data site for security and contractual reasons or was not provided to us. We understand that the information will be released as part of the sale and you should ensure that you obtain copies. Documents include; health and safety files of work completed since 1998; stone façade report; sections of operating and maintenance manuals; various plans and drawings; water tests; electrical tests; and fire alarm tests.

█ [REDACTED]

█ [REDACTED]

## Further Investigations and Information Required

1.67 A Demolition and Refurbishment Asbestos Survey will need to be undertaken prior to any redevelopment works to fully understand the extent of asbestos containing materials (ACM's) in the building and the extent of removal that will be required.

[REDACTED]

[REDACTED]

[REDACTED]

[REDACTED]	[REDACTED]	[REDACTED]	[REDACTED]
[REDACTED]	[REDACTED]	[REDACTED]	[REDACTED]
[REDACTED]	[REDACTED]	[REDACTED]	[REDACTED]
[REDACTED]	[REDACTED]	[REDACTED]	[REDACTED]
[REDACTED]	[REDACTED]	[REDACTED]	[REDACTED]

[REDACTED]

[REDACTED]

[REDACTED]

## Conclusions and Suitability for Purchase/Sale

1.70 The Old War Office is a landmark Grade 2\* building substantially built to a typical specification for its age and use. A well-managed maintenance regime has been in place and we found the main structure, services installations and enclosing fabric to be in a sound and robust condition, free from significant defect and commensurate with its age and use.

[REDACTED]

[REDACTED]

1.73 Further investigations will be required to determine the extent of asbestos removal works needed. Any scheme to a building of this type would require an initial strip-out and enabling works contract to include these investigations and any work to ascertain the condition of concealed elements. Consideration should also be given to any waterproofing of the basement areas that might be needed, dependent on use.

[REDACTED]

## 2. Scope of Instruction and Brief

- 2.1 In accordance with your recent instructions, we have carried out an inspection of The Old War Office, Whitehall, London SW1A 2EU in order to advise on the forms of construction and current state of repair.
- 2.2 Our survey report has been undertaken for the benefit of a future purchaser who will be acquiring an investment interest. The building is likely to be substantially redeveloped, subject to statutory consents, and our report therefore concentrates on the general standard and condition of the building fabric and services installations that are likely to be retained and any principal defects or shortcomings which may affect the investment interest. We have not commented on minor repair items, the general internal fabric, finishes or services installations beyond incoming services, which are likely to be removed as part of any redevelopment.
- 2.3 The survey team was escorted and access to all areas was not possible and only a selection of representative areas was visited during the survey. Access to some parts of the property was not possible due to health and safety or security restrictions. The areas not inspected including the UKPN substation, the lower and parts of the upper "Moat", pavement vaults and computer rooms.
- 2.4 The information we have been provided with can be found on the data site. Further files were reviewed on site which are tabled in a log-book (also included in the data site). We are aware of further documents which are held directly by Modus as PFI contractors to the MoD and which have not been released to us.
- 2.5 We have engaged our in-house Services Team to undertake a non-intrusive visual inspection of the service installations. However, where further investigation or testing is deemed necessary, this has been recommended.
- 2.6 We have also engaged our in-house Environmental Services Team on your behalf to undertake a Phase 1 Environmental Assessment.
- 2.7 We note that the property will be sold on a long leasehold interest. An extensive data site is available for the purchaser, with various reports offered for reliance.

- 2.8 At Appendix A, we include a Schedule of Remedial Works and Estimated Costs for putting the property into a good standard of repair.
- 2.9 At Appendix B, we include a Schedule of Photographs taken during our inspection.
- 2.10 At Appendix C, we include a copy of our Building Engineering Services Report.
- 2.11 At Appendix D, we include a copy of our Phase 1 Environmental Report.
- 2.12 At Appendix E, we include a copy of our Terms of Engagement and Scope of Services, in accordance with which this Technical Due Diligence Report has been produced.

[REDACTED]

[REDACTED]

[REDACTED]

[REDACTED]

[REDACTED]

[REDACTED]

4.38 A decommissioned document lift known as the "sovex" lift is located in the corner of the triangular lightwell within a circular shaft. The lift will need to be removed as it has encapsulated asbestos panels but it



lends itself to the provision of a new, potentially glass, lift whilst the architecturally interesting staircore is opened up.

[Redacted]

[Redacted]

[Redacted]

[Redacted]

[REDACTED]

[REDACTED]

5.7 The building is served by seven passenger lifts and two goods only lifts. A de-commissioned document lift known as the "Sovex" lift has not been used since the 1960's and has subsequently been encapsulated due to the presence of asbestos in the shaft wall material. With the exception of the goods lift known as the "Fujitsu" lift, all other lifts are conventional top electric traction drives and were modernised by Jackson lift Group in 2001/2002. One lift has been removed completely although the shaft still exists. This lift used to be the private lift for the Secretary of state for War office, the shaft is currently being used as a riser for other services.

5.8 The building has operated and been maintained under a PFI contract since August 2000 by Modus Services Ltd being a consortium of Skanska and Amey Business Services. The building has therefore been subject to a comprehensive planned preventative maintenance regime and has been maintained to a satisfactory standard to meet the requirements of the PFI contract and has helped to extend the life expectancy of the central plant.

5.9 The building is subject to strict working practises within the "Moat" and parts of the basement where asbestos has been identified. Prior to carrying out any work relating to the re-development of the building the asbestos will need to be removed.

5.10 The little operating and maintenance information and record drawings that are available on site are reported to be records of minor refurbishments and fit outs that have taken place over the years but much, if not all of the information relating to earlier major renewal of the engineering services in the 1980's and 1990's has been lost.

[REDACTED]



commissioned and encapsulated since the 1960's. The lift equipment and shaft will need to be totally removed. However, the location would lend itself to have a new lift installed if required.

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[REDACTED]  
[REDACTED]  
[REDACTED]

## 7. Environmental Matters

- 7.1 The Phase One Environmental Assessment can be found in Appendix D. Our environmental team has concluded that the site is considered to be of **low /moderate environmental sensitivity** given the underlying aquifers, the nearby river Thames and its commercial use setting.
- 7.2 Based on their assessment of the available information, they consider that the site represents a **low environmental risk** from a ground contamination perspective for acquisition and continued use.

## 8. Deleterious Materials

8.1 We have identified the following materials which we suspect are deleterious:-

- Asbestos
- Lead in paintwork

8.2 We understand that the plaster was checked for anthrax spores as it contains horse hair but none was identified. We were not provided with the report confirming this and you should request a copy upon completion.

8.3 We are unable to confirm the presence of lead in paintwork but because of the age of the building, this is a risk. We recommend that paintwork is tested before redecoration works are completed and suitable precautions made.

8.4 An extensive asbestos survey and register (available on the data site) was undertaken in 2003 and covers the entire building. This was completed following an extensive asbestos removal contract between 2002 and 2003, reportedly costing circa £15m. The register is updated annually. The removal works were mainly concentrated in the basement and lower ground floor areas and to vertical and horizontal ducts across remaining floors where services were run in insulation containing asbestos.

8.5 However, as the building was occupied it was not possible to fully access all areas and there is therefore a risk that asbestos debris /residue remains, particularly to:

- Brick surfaces at basement level behind encapsulation paint.
- Under timber sub-floors to offices where ducts penetrate
- Behind panelling in ducts

8.6 An Asbestos Management Plan (ref:SD724P/86213) dated 25<sup>th</sup> September 2012 and completed by Aspect Contracts Ltd is also contained on the data site. A plan has been in place since the removal works and there is regular air monitoring. The encapsulation paint at basement level has been applied to all walls and ceilings and is constantly monitored for disrepair and patch repaired as necessary. It was found to be in good condition. Where areas of paint have become damaged the opportunity

has been taken to sample the paint and brickwork behind. We understand that circa 600 tests have been completed since the strip out with only two recorded positive results.

8.7 In addition known asbestos containing materials are present in the following.

- Cladding panels to "Sovex" lift shaft
- Various pipe flanges
- Lower moat

8.8 It will therefore be necessary for a full Asbestos Demolition and Refurbishment Survey to be undertaken once the building is vacated and prior to any redevelopment. This will identify the extent of asbestos to be removed. We have included a budget cost for the survey in our report.

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Technical Due Diligence Report

# **Appendix A**

## Schedule of Remedial Works & Estimated Costs



## Estimated Repair Costs

Works Required		Budget Cost £
<b>Immediate/Short Term (0-1 Years)</b>		
<b>Structure &amp; Fabric</b>		
1.	Not Applicable	
<b>Technical Services</b>		
2.	Not Applicable	
<b>Medium Term (2-5 Years)</b>		
<b>Structure &amp; Fabric</b>		
3.	Stone repairs and cleaning contract to include lead repairs across; roofs; Whitehall Place; Whitehall Court and Courtyard elevations. Includes scaffolding.	1,520,000
4.	Re-stain all external frames to windows and doors, completing minor repairs and re-sealing of mastic. Includes for easing and adjusting. Access costs allowed above.	312,500
5.	Completion of a demolition and refurbishment asbestos survey	100,000
6.	Replace lead sheet roof to dome over staircase	45,000
7.	Replace glass roofs to atrium, old library and dome. Includes provisional sum for replacement of dome outer glass roof enclosure.	200,000
8.	Complete repairs and redecoration contract to upper moat areas including courtyard lower ground floor to include concrete and stone repairs and patching and overcoating of asphalt. Provisional sum.	200,000
9.	York stone and granite sett repairs to courtyard. Provisional sum.	20,000
<b>Technical Services</b>		
10.	Not Applicable	-
<b>Long Term (6-10 Years)</b>		



<b>Structure &amp; Fabric</b>		
11.	Not Applicable	
<b>Technical Services</b>		
12.	Not Applicable	-
	<b>TOTAL</b>	<b>£2,397,500</b>
	<b>of which:</b>	
	<b>Short Term (0-1 yr)</b>	<b>Nil</b>
	<b>Medium Term (2-5 yrs)</b>	<b>£2,397,500</b>
	<b>Long Term (6-10 yrs)</b>	<b>Nil</b>

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Technical Due Diligence Report

## **Appendix C**

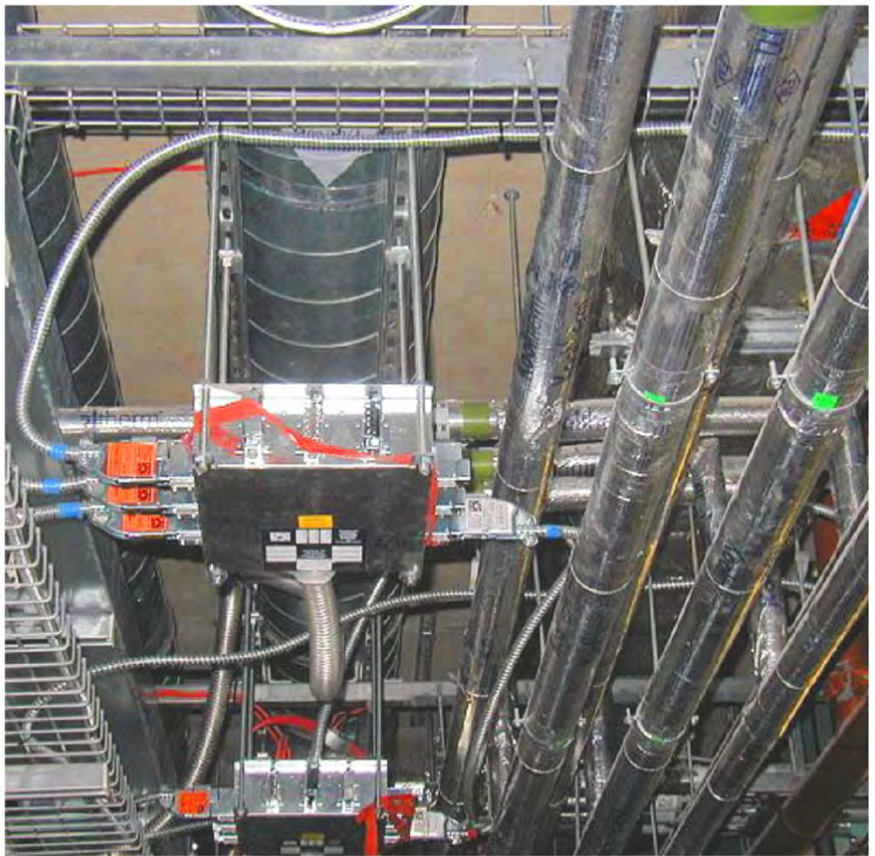
### Building Engineering Services Report

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# Report



GVA  
10 Stratton Street  
London  
W1J 8JR



## Defence Infrastructure Organisation The Old War Office, Whitehall

Building Engineering Survey Report

September 2014


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## Contents

1.	<b>EXECUTIVE SUMMARY</b> .....	3
2.	<b>INTRODUCTION</b> .....	8
3.	<b>STATUTORY DOCUMENTATION</b> .....	11
4.	<b>DESIGN, OPERATION AND MAINTENANCE</b> .....	15
5.	<b>EXISTING UTILITY SERVICES</b> .....	18
6.	<b>EXISTING BUILDING ENGINEERING SERVICES</b> .....	23
7.	<b>EXISTING PLANT LOCATIONS/RISERS/SERVICE ROUTES</b> .....	34
8.	<b>CONSTRAINTS AND OPPORTUNITIES</b> .....	38
9.	<b>SERVICES STRATEGY FOR PROSPECTIVE USES</b> .....	41

## Appendices

- Appendix A Drawings – Existing and Wayleave
- Appendix B Sub-station Lease
- Appendix C Modules OWO Survey Log

 .....

Prepared by:  Authorised by: 

Date September 2014 Date September 2014

Doc Ref: 02B400049/3833653\_1

## 1. Executive Summary

- 1.1 The Old War Office (OWO) was purpose built for the Government and constructed between 1898 and 1906 and is located to the east side of Whitehall and bounded on three other sides; Horse Guards Avenue (south), Whitehall Court (east), and Whitehall Place (north). A total of circa 54,063.1M2 (581,930 sq. ft.) Gross Internal Area including basement is provided.
- 1.2 The property is to be sold and it is expected that there will be a change in use, therefore the engineering services are expected to be stripped out and new installed. The purpose of the survey and this report is therefore to identify the constraints and opportunities that the existing building may provide and identify to the prospective purchaser any liabilities and/or constraints due to the nature of the building. For details please refer to sections 8 and 9 of this report.
- 1.3 The original construction of the building was at the turn of the 20<sup>th</sup> Century and there are elements of the original design and installations that have been retained and still in use. i.e. the underground drainage system, pipe services, lift shafts.
- 1.4 The property has been listed by English Heritage and there are elements of the engineering services that have been marked out as being of “significant” heritage interest. Refer to Alan Baxter and Associates’ Conservation Report dated August 2014. Specifically their report identifies the following of specific interest:
- Historic rooms, building structure, fabric, fixtures and fittings
  - Examples of early cast iron drainage pipework
  - Preserved Edwardian water main
  - Heating pipework trenches
  - Cast iron radiators
  - Fire hydrants with brass flanges
  - Lift landing finishes and architraves
- 1.5 The last major refurbishments of the building were in 1982, 1988 and 1992. The building engineering services were designed and installed at these times and

therefore range in age from 22 to 32 years old. There is evidence that due to age some plant replacement has been undertaken in recent years.

- 1.6 The building is essentially a naturally ventilated and heated building. Mechanical ventilation and air conditioning was introduced when the "Link Block" which in filled one of the lightwells and the computer rooms were constructed. A number of other dedicated rooms are mechanical ventilated elsewhere.
- 1.7 The electrical distribution within the building is very robust and provided with alternative supplies from two UK Power Networks (UKPN) high voltage (HV) networks. Within the building the distribution system provides for diverse routing and a high level of redundancy and resilience as would be expected of a key MoD establishment.
- 1.8 The engineering services serving the offices and their supporting systems are no longer in keeping with a modern office environment and do not comply with current standards or expectations.
- 1.9 The building is served by seven passenger lifts and two goods only lifts. A de-commissioned document lift known as the "Sovex" lift has not been used since the 1960's and has subsequently been encapsulated due to the presence of asbestos in the shaft wall material. With the exception of the goods lift known as the "Fujitsu" lift, all other lifts are conventional top electric traction drives and were modernised by Jackson lift Group in 2001/2002. One lift has been removed completely although the shaft still exists. This lift used to be the private lift for the Secretary of State for War Office, the shaft is currently used as a riser for other services.
- 1.10 The OWO has operated and been maintained under a PFI contract since August 2000 by Modus Services Ltd being a consortium of Skanska and Amey Business Services. The building has therefore been subject to a comprehensive planned preventative maintenance regime and has been maintained to a satisfactory standard to meet the requirements of the PFI contract, this has helped to extend the life expectancy of the central plant.

1.11 The building is subject to strict working practises within the "Moat" and parts of the basement where asbestos has been identified. Prior to carrying out any work relating to the re-development of the building the asbestos will need to be removed.

1.12 Little operating and maintenance information and record drawings remain available, although there is reportedly records of minor refurbishments and fit outs that have taken place over the years. Much if not all information of the earlier major renewal of the engineering services in the 1980's and 1990's has been lost.

█ [REDACTED]

█ [REDACTED]

█ [REDACTED]

[REDACTED]

[REDACTED]

[REDACTED]

[REDACTED]



[REDACTED]

[REDACTED]

[REDACTED]

[REDACTED]

[REDACTED]

- The "Sovex" lift shaft being constructed of a material with asbestos has been de-commissioned and encapsulated since the 1960's. The lift equipment and shaft will need to be totally removed. However, the location would lend itself to have a new lift installed if required.

[REDACTED]

[REDACTED]

[REDACTED]

[REDACTED]

[REDACTED]

[REDACTED]

[REDACTED]

1.20 Any costs that maybe associated with the items identified in clause 1.15 are assumed to be included in the re-development costs as we understand the engineering services will be replaced as part of the re-development works.

## 2. Introduction

### Purpose of Survey

- 2.1 GVA have been instructed on behalf of Defence Infrastructure Organisation to undertake a visual survey of the property at The Old War Office, Whitehall, London SW1A 2EU, in particular the mechanical, electrical, public health and vertical transportation services installations. The property is to be sold and it is expected that there will be a change in use, therefore the engineering services are expected to be stripped out and new installed.
- 2.2 The purpose of the survey and this report is therefore to identify the constraints and opportunities that the existing building may provide and identify to the prospective purchaser any liabilities and/or constraints due to the nature of the building.

### Brief Description of the Property

- 2.3 The Old War Office was purpose built for the Government and constructed between 1898 and 1906 and is located to the east side of Whitehall and bounded on three other sides; Horse Guards Avenue (south), Whitehall Court (east), and Whitehall Place (north). A total of circa 54,063.1M2 (581,930 sq. ft.) Gross Internal Area including basement is provided.
- 2.4 The building is a Grade 2\* listed and located in the City of Westminster Whitehall Conservation Area, which is in turn classified as a “designated heritage site” as defined by the National Planning Policy Framework.
- 2.5 The building is constructed over basement, lower ground and five principal floors with further isolated accommodation located on the Whitehall Court elevation of the 5th and 6th floors. There are two internal courtyards; the Quadrangle is a large rectangular space located behind the Whitehall elevation and the inner courtyard is a triangular shaped lightwell on the eastern side. Five lesser lightwells are located centrally although the north/south lightwell was filled in by link block rooms during the last major refurbishment in 1988 to 1992.

### Survey

- 2.6 The survey took place between the 1<sup>st</sup> and 5<sup>th</sup> August 2014 and was undertaken by



problems being discovered which are not covered in this report.

- 2.16 This report has been prepared for the specific use of Defence Infrastructure Organisation for the purposes of the purchase of the property and should not be used for any other party or for any other purpose.

### 3. Statutory Documentation

3.1 [REDACTED] met with [REDACTED] of Skanska on the 27th August 2014 to review the status of the building engineering systems. He confirmed that documents were not held on site at the OWO but at the Main MoD Building and therefore an inspection of the records could not be made. However, the following list of statutory documentation that should be available was reviewed and the status on the various systems is recorded below.

3.2 Please refer to the Modus OWO Survey Control Log in Appendix C which lists the information which is available upon request.

Documentation	Legislation & Standards	Requirement	Document in place	Comments
Building Log Book.	Building Regulations Part L 2010.	Log book to be maintained and up dated as required.	✗	
Building engineering services operating and maintenance manual to include emergency procedures.	Health and Safety at Work Act 1974.	O&M manual to be updated to reflect any new plant and alterations to systems.	✗	
Record drawings for building engineering services installations.	Health and Safety at Work Act 1974.	Record drawings to be maintained and kept up to date.	✗	Some records are available but for refurbishments but not a complete set of information.
Risk assessment for plant and systems.	Health and Safety at Work Act 1974.	Risk assessment to reflect current arrangements.	✓	
COSHH risk assessment.	Control of substances hazardous to health regulations	Risk assessment to reflect current	✓	

Documentation	Legislation & Standards	Requirement	Document in place	Comments
	1988.	arrangements.		
Legionella risk assessment and records of risk management.	Health and Safety at Work Act 1974. COSHH Regulations 1988.	Records of water temperature readings. Annual water analysis.	✓	Modus Services Report dated February 2013.
Records and register for refrigerants.	European Union F-Gas Regulation 842/2006.	Register to be maintained and updated to reflect installed systems.	✓	
Records of fire detection and alarm tests.	Fire Precautions Act 1971 and Regulatory Reform (Fire) Order.	Weekly sounder tests. Annual system inspection and test.	✓	Testing and maintenance carried out by Siemens Fire
Records of emergency lighting tests.	Fire Precautions Act 1971 and Regulatory Reform (Fire) Order.	Monthly inspections. Annual system inspection and test.	✓	
Records of sprinkler system tests.	Fire Precautions Act 1971 and Regulatory Reform (Fire) Order.	Annual inspection and test.	N/A	
Records of fire hose reel tests.	Fire Precautions Act 1971 and Regulatory Reform (Fire) Order.	Annual inspection and test.	✓	Testing and maintenance carried out by Walker Fire.
Records of dry riser, wet riser, foam or gas extinguishing systems.	Fire Precautions Act 1971 and Regulatory Reform (Fire) Order.	Annual inspection and test.	✓	Testing and maintenance carried out by Walker Fire.
Records of smoke extract system tests.	Fire Precautions Act 1971 and Regulatory Reform (Fire) Order.	Annual inspection and test.	N/A	
Records of smoke pressurisation system tests.	Fire Precautions Act 1971 and Regulatory Reform (Fire) Order.	Annual inspection and test.	N/A	

Documentation	Legislation & Standards	Requirement	Document in place	Comments
Periodic electrical installation inspection and test certificate.	Electricity at Work Regulations 1989.	Five yearly inspections.	✓	Advised 5 yearly periodic inspection was carried out this year.
Records of portable appliance testing.	Electricity at Work Regulations 1989.	Office equipment two yearly inspections.	✓	
Records of standby generator tests.	Fire Precautions Act 1971 and Regulatory Reform (Fire) Order.	Monthly tests. Annual system inspection and test.	✓	
Records of water hygiene tests.	Health and Safety at Work Act 1974.	Annual water analysis.	✓	Safe Care Report March 2014. Phase Technology carry out testing.
Reports and certificates for pressure vessels and systems.	Pressure systems and Transportable Gas Containers Regulations 1989.	Annual inspection and test.	✓	
Records of gas safety inspections.	Gas Safety (Installation and Use) Regulations 1998.	Annual inspection and test.	N/A	
Records of lift inspection, test reports and certificates.	Factories Act 1961 Offices, Shops and Railway Premises.	6 monthly inspection and test.	✓	LOLER Inspections carried out by RSA in October 2013.
Air conditioning inspection certificate for systems greater than 12kW.	European Union Directive 2010/31/EU.	Valid for 5 years.	✗	Ove Arup Report dated 2009 seen and is now out of date.
Display Energy Certificate.	European Union Directive	EPC - Valid for 10 years.	✗	Being a public building a



Documentation	Legislation & Standards	Requirement	Document in place	Comments
	2010/31/EU.			DEC should be available.

**Note:** N/A – equals not applicable

█ [REDACTED]

[REDACTED]

4.7 A Display Energy Certificate (DEC) is normally required for all public buildings, however due to its Grade 2\* listing and being located in the City of Westminster Whitehall Conservation Area, which is in turn classified as a “designated heritage site” as defined by the National Planning Policy Framework a DEC is not mandatory.

#### Operation and Maintenance

4.8 The building is part of the MoD PFI initiative which includes a number of MoD buildings in Whitehall and has been operated and maintained under a PFI contract since August 2000 by Modus Services Ltd being a consortium of Skanska and Amey Business Services. The building has therefore been subject to a comprehensive planned preventative maintenance regime and has been maintained to a satisfactory standard to meet the requirements of the PFI contract, this has helped to extend the life expectancy of the central plant.

█ [REDACTED]

4.10 Presently, Skanska provide facilities management services for the building and they have a permanent team resident on site comprising four staff. This includes a supervisor, an electrician, a fitter and a PAT tester. This team is supported by out sourced specialist maintenance contractors.

- 4.11 During 2002 a major flood caused by an external burst water main flooded the basement and destroyed the majority of the building Health and Safety Files including the engineering services operating and maintenances manuals and record drawings. This has at times caused problems for the maintenance staff in their understanding of the services installed in the basement and the contaminated areas of the "Moat", particularly the foul and storm water drainage.
- 4.12 Little operating and maintenance information and record drawings remain available, although reportedly there are records of minor refurbishments and fit outs that have taken place over the years. Much, if not all of the information of the earlier major renewal of the engineering services in the 1980's and 1990's has been lost.
- 4.13 Some areas of the building are subject to access restrictions and permitted maintenance routines due to the presence of asbestos in the building.
- 4.14 Major plant and equipment is predominantly located in the basement and there is limited and restricted access for plant renewal. Currently access for plant replacement is either via a plant access hatch in the courtyard or via the loading bay and a small goods lift. Refer to sketch 02B400049/EX-02 and 03. Plant on the roof will require craning into position.

█ [REDACTED]

[REDACTED]

[REDACTED]

[REDACTED]

[REDACTED]

[REDACTED]

### Vertical Transportation

- 6.51 The lift installations were originally installed in the 1890's and 1930's by Waygood Otis however, they have been modernised over the years and most recently in 2001 to 2002. There is little of the original equipment left to date the lifts accurately. In total seven passenger lifts serve the building and two goods only lifts.
- 6.52 The "Sovex" lift was de-commissioned in the 1960's and has been encapsulated due to the construction of the lift walls including asbestos material. The shaft was not surveyed, however the lift is a goods only type and was used to transport documents from the upper floors to the basement incinerator.
- 6.53 The general condition of the lifts is as you would expect for their age. They are being well maintained with few breakdowns recorded on the lift attendance record sheets. However, the lifts are approaching the end of their life and have a life expectancy of circa 5 years. Future re-development of the building should include the replacement of the lifts.
- 6.54 The lifts are in reasonable condition for the age and appear to be well maintained currently by Kone.
- 6.55 The lifts were modernised to BS5655 and were practical EN81 the lifts comply with

these codes. Whilst the lifts were modernised in 2001 this brought them up to the safety standards at the time, however since this date newer recommendations have been released and thought as a minimum should be given to upgrading to EN81-80 if no further works are considered.

- 6.56 It is possible that the Keep lift (WES 361) has accessible space beneath the pit as it only serves the first to fourth floors, if the lift is retained it should include counterweight safety gear if this space below the shaft is to be used.
  
- 6.57 "Sovex" lift (WES 400) has been out of use for over 40 years and its removal must be considered due the asbestos present.



the OWO building via the service ducts to the MoD Main Building (service duct A) and the Corinthian Hotel as part of the district heating system serving other buildings in Whitehall. This ring main will be retained. A branch connection is made to the OWO calorifier room to provide heating to the building. This service could be made available to serve the new development.

█ [REDACTED]

█ [REDACTED]

█ [REDACTED]

█ [REDACTED]

█ [REDACTED]

[REDACTED]

## 8. Constraints and Opportunities

8.1 The building is subject to strict working practises within the "Moat" and parts of the basement where asbestos has been identified. Prior to carrying out any work relating to the re-development of the building the asbestos will need to be removed.

8.2 The Whitehall District Heating System (WDHS) 250 mm dia. welded steel, HTHW flow and return heating mains are routed from the MOD building under Horse Guards Avenue in service tunnel A and enter the OWO at basement level. The HTHW mains are distributed around the perimeter of the OWO in the lower and upper "Moat". We were advised that the branch connections within the "Moat" provide HTHW heating to a number of Whitehall buildings. These mains shall be retained and permanent access made available for the CCS and their agents as they form part of the district heating system network and will be subject to a way leave.

█ [REDACTED]

8.4 The drainage systems within the building appear to date in part to the original installation at the turn of the 19th Century. Recent inspection reports indicate that the drainage pipework within the basement/"Moat" are now deteriorated to a state where rust is accumulating in the pipework. It is recommended that any re-development of the OWO must include the total renewal of the drainage system and outfall to the sewer.

█ [REDACTED]



8.6 The "Sovex" lift shaft being constructed of a material with asbestos has been de-commissioned and encapsulated since the 1960's. The lift equipment and shaft will need to be totally removed. However, the location would lend itself to have a new lift installed if required.

[REDACTED]

[REDACTED]

[REDACTED]

[REDACTED]

[REDACTED]

[REDACTED]



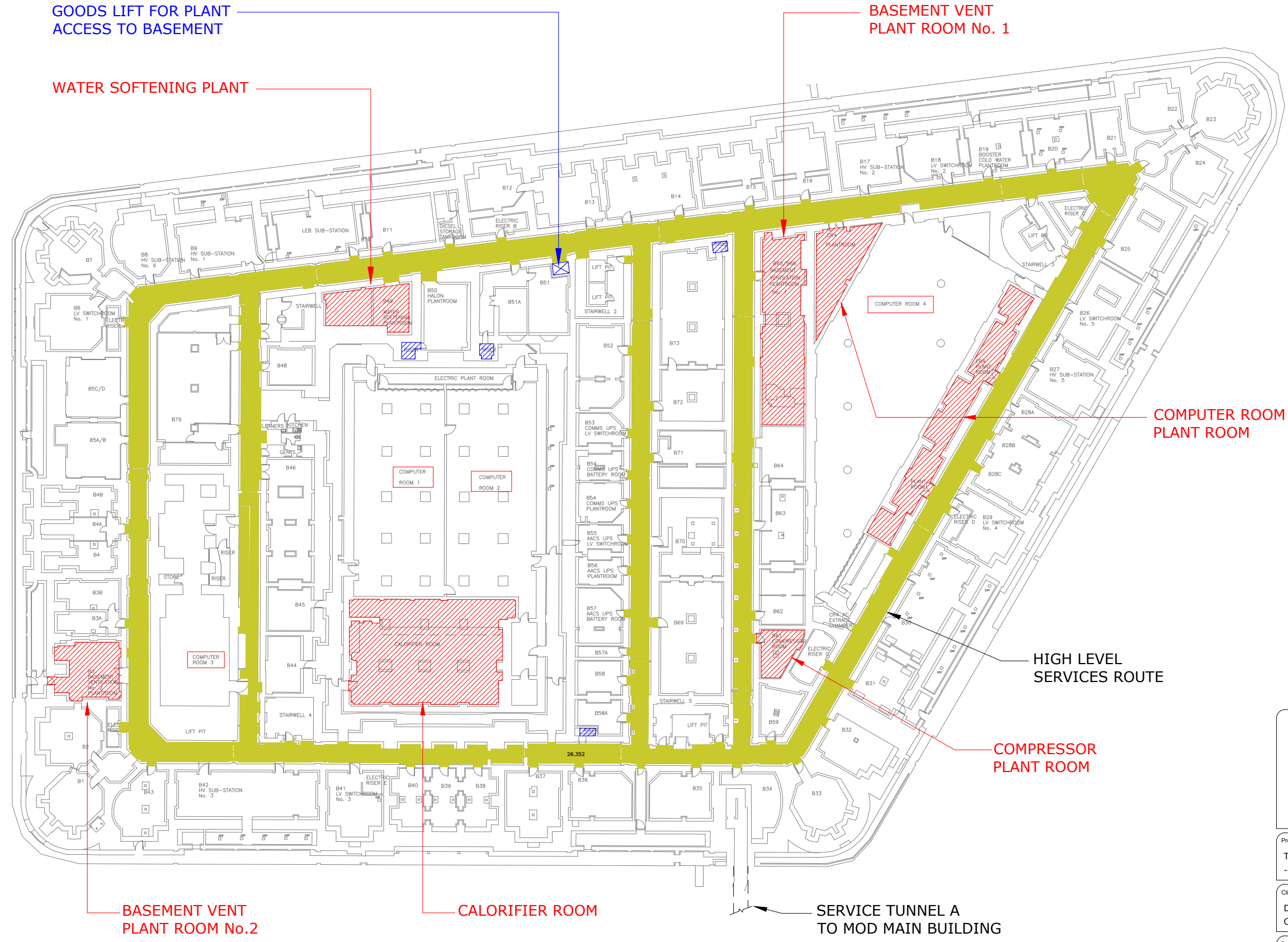
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M&E Survey

# Appendix A

## Drawings – Existing and Wayleave

**Do not scale this drawing.**  
All dimensions to be checked on site. Drawing to be read in conjunction with any specifications, schedules and Consultants drawings and details.




08449 02 03 04  
10 Stratton Street, London, W1J 8JR  
www.gva.co.uk

Project Name  
**THE OLD WAR OFFICE**

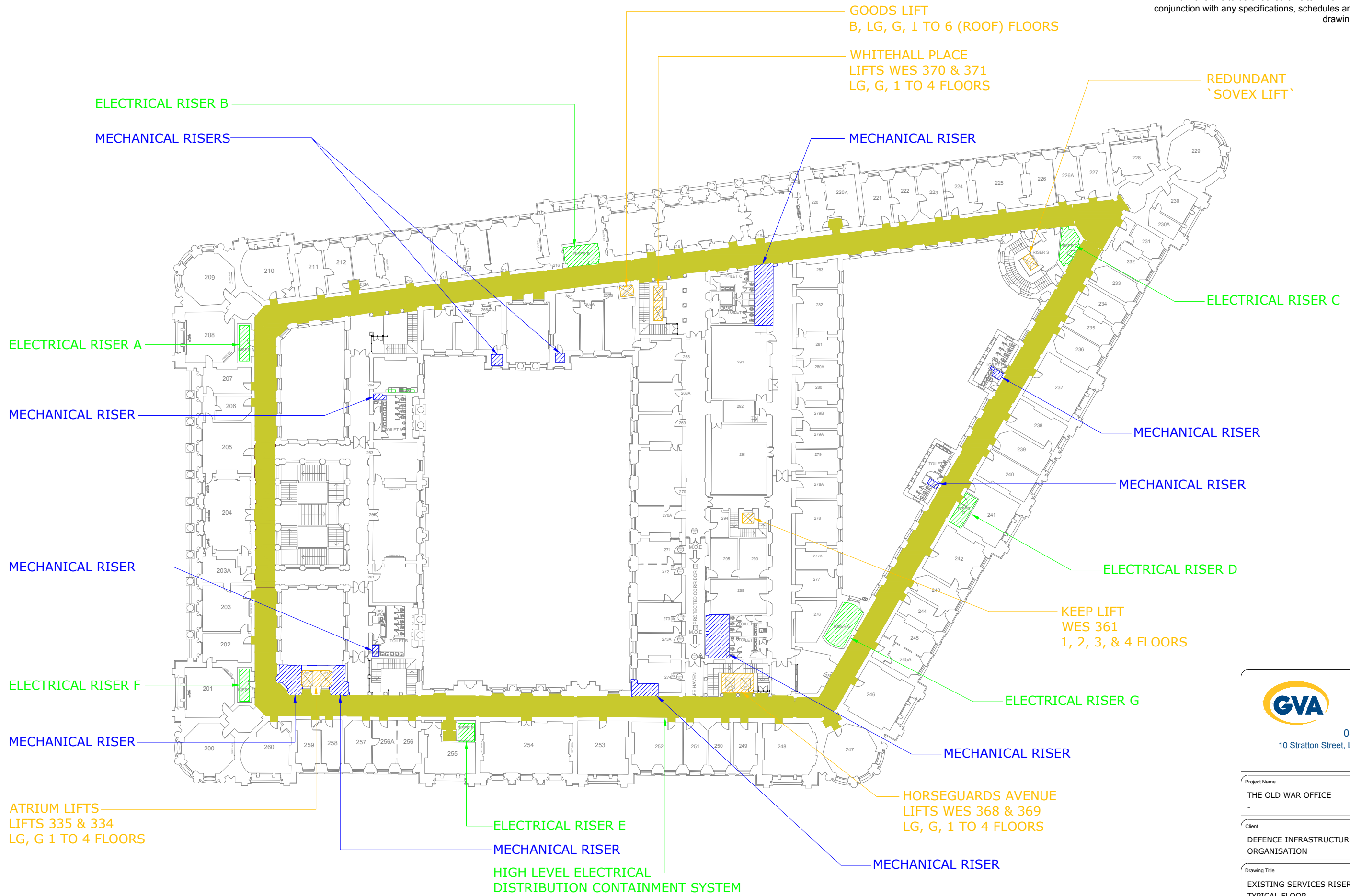
Client  
**DEFENCE INFRASTRUCTURE ORGANISATION**

Drawing Title  
**EXISTING MECHANICAL PLANT ROOMS & RISERS - BASEMENT**

Drawn By	Cnk'd By	Scale @ A3	Date
		1:500	05/09/2014

Project No.	Drawing No.	Revision
02B400049	EX-01	-

**Do not scale this drawing.**  
All dimensions to be checked on site. Drawing to be read in conjunction with any specifications, schedules and Consultants drawings and details.



08449 02 03 04  
10 Stratton Street, London, W1J 8JR  
www.gva.co.uk

Project Name  
THE OLD WAR OFFICE

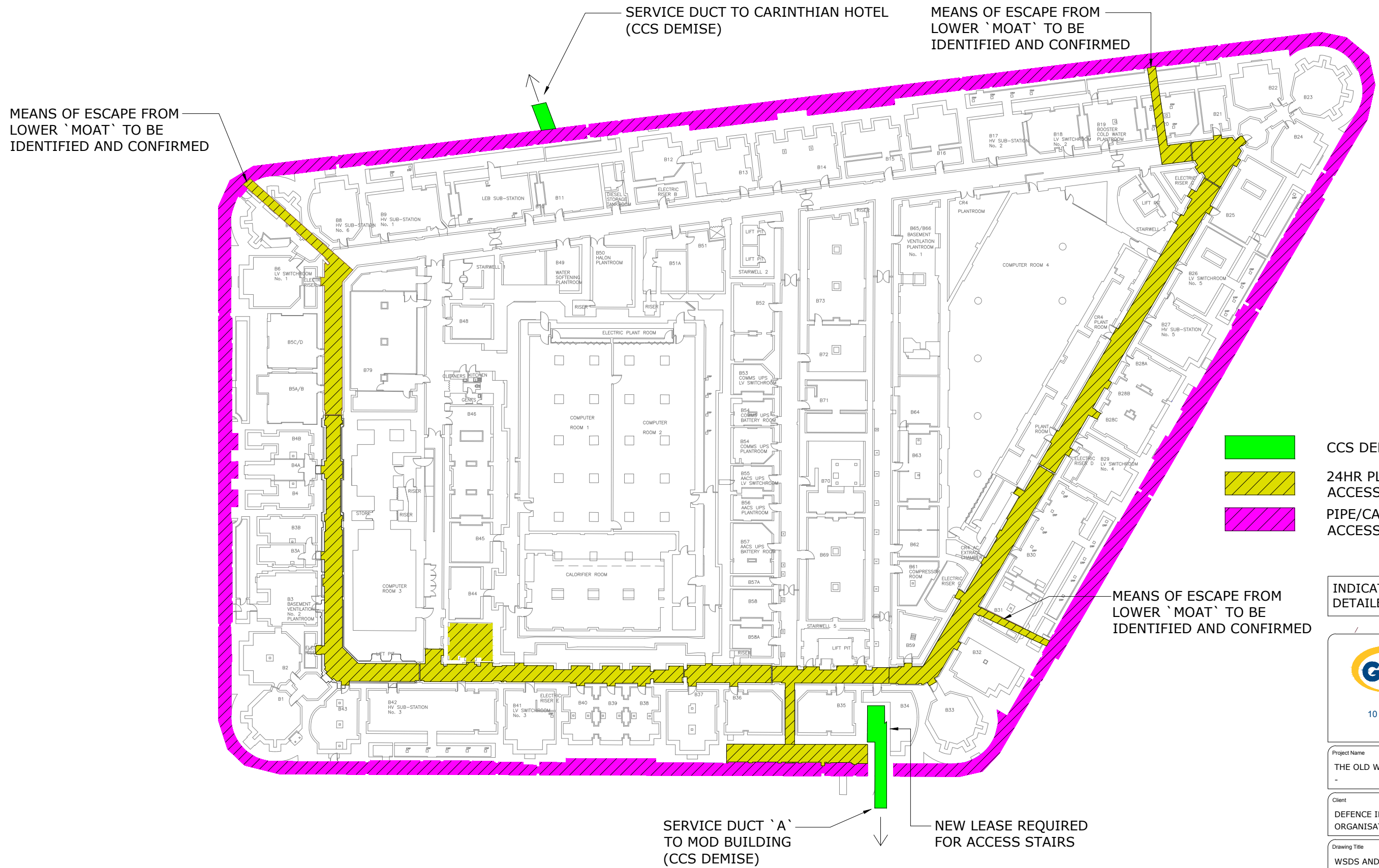
Client  
DEFENCE INFRASTRUCTURE ORGANISATION




Drawing Title  
EXISTING SERVICES RISERS AND LIFTS TYPICAL FLOOR

Drawn By [ ] Crk'd By [ ] Scale @ A3 1:500 Date 05/09/2014

Project No. 02B400049 Drawing No. EX-06 Revision -

**Do not scale this drawing.**  
All dimensions to be checked on site. Drawing to be read in conjunction with any specifications, schedules and Consultants drawings and details.



-  CCS DEMISE
-  24HR PLANT AND STAFF ACCESS ROUTE
-  PIPE/CABLE ACCESS ROUTE

INDICATIVE ONLY - REQUIRES DETAILED SURVEY

 **GVA**

08449 02 03 04  
10 Stratton Street, London, W1J 8JR  
www.gva.co.uk

Project Name  
THE OLD WAR OFFICE

Client  
DEFENCE INFRASTRUCTURE ORGANISATION

Drawing Title  
WSDS AND WDHS LEASE AND WAYLEAVES BASEMENT

Drawn By	Cnk'd By	Scale @ A3	Date
		1:500	05/09/2014

Project No.	Drawing No.	Revision
02B400049	WL-01	-



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M&E Survey

## Appendix C

### Modus OWO Survey Log

**Modus – OWO Survey Control Log**

OWOSC Ref:	OWOSC Task / Issue:	Evaluation/Response:	Outcome:	Status / Action by:			
				MOD / GVA	Modus	Amey	SFS
	<b>General Construction and Statutory Documentation:</b>						
GCS01	1. Any as built drawings or existing floor plans.	Held by SFS in hard copy. Access to rooms containing details to be arranged through SFS. SFS will facilitate access to location as well as be available to provide assistance in accessing documents etc.					
GCS02	2. Asbestos Surveys		Copy of 'OWO – Asbestos Survey 2012' provided to GVA 29/7/14				
GCS03	3. Fire Risk Assessment		Copy of 'Fire Risk Assessment – 2013' report provided 6/8/14				
GCS04	4. Access Audit	Not for Modus as discussed GVA 2/7/14	NFA				
GCS05	5. Phase 1 Environmental Review	Not for Modus as discussed GVA 2/7/14	NFA				
GCS06	6. Planned Maintenance Programmes	Details are held on the CAFM 'Concept' which MOD have access to.					
GCS07	7. Health & Safety Files	Held by SFS in hard copy. Access etc. as for GCS01.					
GCS08	8. Any specialist reports or tests undertaken to the building fabric, e.g. stone façade, concrete, structural engineering reports, drainage reports etc.						
GCS08.1	a. Stone Façade		Copy of Façade report provided to GVA 29/7/14				
GCS08.2	b. Condition Report – 2011		Copy of 'Condition Report – 2011' provided 6/8/14				
GCS08.3	c. Inspection Air Conditioning – 2009		Copy of 'Inspection Air Condition – 2009' provided 6/8/14				
GCS08.4	d. Legionella Management Plan – 2013		Copy of 'Legionella MP – 2013' provided 6/8/14				
GCS08.5	e. Risk Assessment Water Hygiene – 2014		Copy of 'Risk Assessment Water Hygiene – 2014' provided 6/8/14				
GCS09	9. Report on Title and Title plans	Not for Modus as discussed GVA 2/7/14	NFA				
GCS10	10. Any assignable building contracts, warranties or product guarantees	Those available for recent equipment installations are held by SFS in hard copy. Historic documentation limited either as a result of that provided in 2000 or lost due to asbestos and flood contamination. Access etc. as for GCS01					
GCS11	11. Any Building Regulation Certificates and Planning Approvals						
GCS12	12. Reinstatement Cost Assessment	NA as discussed GVA 2/7/14					
	<b>Building Engineering Services Installations:</b>						
BES01	1. As built drawings of the mechanical, electrical and public health installations.	Documentation limited due to loss to asbestos and flood contamination. Access etc. as for GCS01					
BES02	2. Operating and maintenance manuals.	Historic documentation limited either though none provided in 2000 to loss to asbestos and flood contamination. Access etc. as for GCS01					
BES03	3. Original specifications and design drawings.	Access etc. as for GCS01					
BES04	4. Maintenance records including any planned preventative maintenance regimes.	Details are held on the CAFM 'Concept' which MOD have access to.					
BES05	5. Statutory information as detailed on attached list where relevant. (see separate attachment)						
BES05.1	1. Building Log Book.	Hard copy held on site [room 005]; GCS01 refers.					
BES05.2	2. Building engineering services operating and maintenance manual to include emergency procedures.	Hard copy held on site [room 005]; GCS01 refers.					
BES05.3	3. Record drawings for building engineering services installations.	Hard copy held on site [room 005]; GCS01 refers.					
BES05.4	4. Risk assessment for plant and systems.	Hard copy held on site [room 005]; GCS01 refers.					
BES05.5	5. COSHH risk assessment.	Hard copy held on site [room 005]; GCS01 refers.					
BES05.6	6. Legionella risk assessment and records of risk management.	e-copy to be made available					
BES05.7	7. Records and register for refrigerants.	e-copy to be made available					
BES05.8	8. Records of fire detection and alarm tests.	e-copy to be made available					
BES05.9	9. Records of emergency lighting tests.	e-copy to be made available					
BES05.10	10. Records of sprinkler system tests.	NA – No sprinkler system in OWO	NFA				
BES05.11	11. Records of fire hose reel tests.	e-copy to be made available					
BES05.12	12. Records of dry riser, wet riser, foam or gas extinguishing systems.	NA – Fire Extinguishers	NFA				
BES05.13	13. Records of smoke extract system tests.	NA	NFA				
BES05.14	14. Records of smoke pressurisation system tests.	NA	NFA				

**Modus – OWO Survey Control Log**

BESI/05.15	15. Periodic electrical installation inspection and test certificate	e-copy to be made available					
BESI/05.16	16. Records of portable appliance testing.	Seaward Database e-copy to be made available					
BESI/05.17	17. Records of standby generator tests.	Details held on CAFM Concept which MOD have access to.	NFA				
BESI/05.18	18. Records of water hygiene tests.	Hard copy held on site (Main Building B1.105); GCSD/01 refers.					
BESI/05.19	19. Reports and certificates for pressure vessels and systems.	e-copy to be provided; see Annex A	Copy of Allianz reports provided 6/8/14				
BESI/05.19	20. Records of gas safety inspections.	NA	NFA				
BESI/05.20	21. Records of lift inspection, test reports and certificates.	e-copy to be provided; see Annex B	Copy of RSA Reports provided 6/8/14				
BESI/05.21	22. Air conditioning inspection certificate for systems greater than 12kW.	e-copy to be provided	Copy of Inspection Air Condition Report (9/2009) provided to GVA 6/8/14				
BESI/05.22	23. Energy Performance Certificate/ Display Energy Certificate.	For MOD	NFA				
BESI/06	6. Details, including routes and capacities, of incoming electrical, heating, cooling, potable water and gas services and limitations on future use.	See GCSD/01					
BESI/07	7. Contact details for authorities supplying incoming services.	For MOD	NFA				
BESI/08	8. Details of any boreholes or geothermal arrangements.	None N/A	NFA				
BESI/09	9. Details of sewer connections and any limitations on future use.	For MOD	NFA				
BESI/10	10. Availability of connections to BT or other ICT providers.	For MOD	NFA				
BESI/11	11. Any restrictions connected with the installation of any future external plant, e.g. sight lines, sound levels etc.	Not known. This would be involve liaising with WCC and English Heritage as and when there were any planned installations, at present there are none planned.	NFA				
BESI/12	12. Asbestos survey.	Already provided see GCSD/02	NFA				
BESI/13	13. Security arrangements for building engineering services surveys.	Refer to MOD publication JSP375 also local permit system in operation, see GCSD/01					
BESI/14	14. Any limitations on structural loading of building in installing future services.	Not known. This would be investigated as and when there were any planned installations, at present there are none planned.					

**Legend:**

No Action Required
Action Required
Action Outstanding
Action Completed
New since last version – MOD/GVA
New since last version – Modus
New since last version – Amey
New since last version – SFS



## Supplementary Terms of Appointment and Scopes of Services for Building Surveys

### 1.0 The Survey

#### Inspection

- 1.1 Unless otherwise indicated, our inspection of the property will be of a visual and non-intrusive nature. The internal inspection may be restricted by the presence of furniture/fittings, suspended ceilings and wall and floor finishes/coverings. We do not inspect those parts of the property or its services that are built in, covered up or otherwise made inaccessible in the normal course of construction, fitting out or occupation. We are therefore unable to report that any such parts of a property are free from corrosion, rot or beetle infestation or other defects.
- 1.2 Where appropriate, recommendations will be made in the report for opening up and further investigations or tests to establish the type of concealed construction or services and condition. The implementation of any recommended further investigations will, unless otherwise indicated, be subject to an additional fee.
- 1.3 External inspections will be carried out from ground level and upper windows utilising binoculars where appropriate. Roof inspections will be undertaken only where safe permanent etc access is available or by using a hydraulic access platform, the operation of which will be limited to those parts where vehicular access is available at ground level.
- 1.4 No investigations will be undertaken to establish the condition of the underground drainage system, although recommendations will be made following the survey visit if it is considered appropriate to undertake such work to establish the condition.
- 1.5 The presence of impurities (e.g. Nickel Sulphide) in glazing, which can cause spontaneous fracture, can not be confirmed by visual inspection. Where, it can be established that this risk is reduced but not eliminated, either by the use of laminated glass or heat soak testing, this will be noted.

### 2.0 Deleterious Materials

- 2.1 We will advise you if we consider that there exists a significant possibility that deleterious or

hazardous materials exist at the property and will seek your instructions accordingly. Unless otherwise instructed we will not undertake or commission inspections or laboratory tests to confirm the extent and precise nature of any deleterious and hazardous materials that may be present.

### 3.0 Services Installations

- 3.1 Unless otherwise instructed, we do not inspect or test any of the water, mechanical, heating, electrical or drainage installations. Where appropriate we will make recommendations in relation to the execution of specialist tests to establish the condition. The implementation of such work would normally involve an additional fee.

### 4.0 Property Functionality

- 4.1 Unless otherwise stated, the suitability of a property for any use is outside the scope of the survey, and clients are therefore advised to ensure that all processes, trades or activities are possible and permitted.

#### Environmental Inspection

- 4.2 Within our report, as appropriate, we may pass comment upon the apparent existence of contamination or pollution at or in the area of the property, the impact of past, existing or proposed uses of the property on its immediate environment or other environmental issues such as the energy efficiency of the building or the property.
- 4.3 However, our report does not constitute an environmental audit or survey and nothing contained in it should be treated as a statement that there are no contamination, pollution or flooding problems relating to the property or confirmation that the property or any process carried out therein complies with existing or proposed legislation or environmental matters. An appropriate level of environmental survey by specialists is recommended.
- 4.4 Low frequency electronic fields, electro-magnetic radiation, toxic mould or similar currently controversial environmental issues will not normally be commented upon within the report unless otherwise stated.

- 4.5 Unless otherwise stated the survey will exclude the identification of any vegetation such as Japanese Knotweed, which could have a detrimental effect upon the property, although we will seek to identify the presence of such vegetation wherever possible.

## 5.0 Soil Report

- 5.1 No searches are made with the Coal Authority or other statutory bodies, unless specified, to establish that a property is not likely to be affected by subsidence as a result of mining or tunnelling operations.
- 5.2 Unless otherwise specified, mining, geological and soil investigation reports are not undertaken or inspected. We are therefore unable to certify that any land is capable of development or redevelopment at a reasonable cost.

## 6.0 Compliance with Legislation

- 6.1 Our inspection will involve a general review of the state of compliance with statutory requirements such as the Building Regulations, Fire Regulations, Equality Act 2010 and Workplace Regulations. Our report will contain observations and opinions of a general nature on these matters. However, it should be noted that compliance with these Regulations often requires an in-depth study and involves the implementation of a detailed risk assessment. Such studies and risk assessments are beyond the scope of our survey report unless otherwise stated.
- 6.2 We have not, as a part of our inspection considered the nature and use of potentially environmentally damaging materials that may be found in the building or the energy efficiency of the building. In particular we have not assessed compliance in terms of 'Part L' of the Building Regulations or the European Unions Directive on 'Energy Performance of Buildings'. We have not therefore, unless stated otherwise, carried out or gathered sufficient information for an Energy Performance Certificate (EPC), Display Energy Certificate (DEC) or air conditioning report.
- 6.3 Unless otherwise stated we assume that all necessary permanent planning and other consents, approvals and permissions have been obtained for the construction and current use of the property and that there are no outstanding enforcement or other notices.

## 7.0 Tenant Fittings

- 7.1 All items normally regarded as tenant fittings or trade fixtures and fittings are excluded from our report unless specifically referred to

therein.

## 8.0 Outstanding Claims

- 8.1 Unless otherwise stated, we do not ascertain any information in respect of any dispute or claim with neighbours or neighbouring properties.
- 8.2 In certain cases we may comment upon any major risk hazards or rights of way, support or light issues that we may note during the course of our site inspection. However such comments will not be exhaustive nor will they result from detailed investigation but rather from what may reasonably have been seen during the course of the survey visit. The client's solicitors should be relied upon to advise on all legal documentation including the existence of easements and rights.

## 9.0 Cost Appraisal

- 9.1 Any indication of cost in respect of the advice or items contained within the report is given purely as guidance. An accurate cost of carrying out particular items of work described within the report can be obtained, but will entail further work in detailing accurately the nature, scope and extent of the work. An exercise of this nature is beyond the scope and instructions of the report and will normally involve an additional fee.
- 9.2 Unless otherwise stated, any figures given are approximate costings of the more significant items of works, which exclude VAT and professional fees and are for budget purposes only. No allowance is included for future inflation unless otherwise stated.

## 10.0 Information

- 10.1 GVA will have regard to the information supplied by the client, the vendor, relevant professional advisers e.g. letting Agents, local authorities, other statutory bodies and investigation agencies. This information will be accepted as being correct and will not have been checked, unless otherwise stated.
- 10.2 From time to time we may make comments upon lease terms and/or other legal matters within our report. This should not be considered a substitute for referring to the lease documents and/or taking legal advice.
- 10.3 Detailed scrutiny and Due Diligence of construction information (including engineering checks) and legal documentation will not be undertaken as a matter of course and will normally be

subject to an additional time based fee, unless otherwise stated.

## **11.0 Other Consultants**

- 11.1 Where contractors or consultants are instructed to undertake investigations/tests, their reports will be separate, stand alone documents appended to our own formal report for your convenience. We will review the specialist reports submitted and we will incorporate a summary of their findings within the conclusion section of our report. You will be advised to consult each specialist report for a detailed understanding of the advice given and for reliance thereon.

## **12.0 Reinstatement Cost Assessment**

- 12.1 In the instances when a reinstatement cost assessment (RCA) for insurance purposes is instructed by the client and is included in the report, the RCA will be prepared in accordance with our Supplementary Terms of Appointment for RCA's.

**Asbestos Survey for**  
**Skanska**  
**at**  
**The Old War Office**  
**Horse Guards Avenue**  
**Whitehall**  
**London**  
**SW1A 2HB**



**Client Name:**

Skanska

**Site Full name:**

The Old War Office  
Horse Guards Avenue  
London

SW1A 2HB

Contact: [REDACTED]

Phone: [REDACTED]

**Report Author:**

Aspect Contracts Ltd  
Unit 6 Bowlers Croft  
Honywood Road  
Basildon  
Essex  
SS14 3EG  
Contact: [REDACTED]  
(Divisional Manager)

Phone: [REDACTED]

Email: [REDACTED]

**Report Details**

Project number: **SD724P/86213**

Survey Type **Refurbishment & Demolition Survey**

Surveyors [REDACTED]

Survey date **03 Sep 2012**

Report date **25 September 2012**

	<b>NAME</b>	<b>SIGNATURE</b>	<b>DATE</b>
<b>Report by:</b>	[REDACTED]	[REDACTED]	<b>25 September 2012</b>
<b>Authorised by</b>	[REDACTED]	[REDACTED]	<b>25 September 2012</b>

Client:	<b>Skanska</b>	Project No.	<b>SD724P/86213</b>
Site Address	<b>Old War Office, Horse Guards Avenue, London</b>	Page No.:	<b>Page 2 of 267</b>

<b>SECTION 1</b>	SURVEY OBJECTIVES
<b>SECTION 2</b>	INACCESSIBLE AREAS & SURVEY LIMITATIONS
<b>SECTION 3</b>	SURVEY SUMMARY
<b>SECTION 4</b>	SURVEY TECHNIQUES, CAVEATS & REPORT INTERPRETATION
<b>SECTION 5</b>	SITE DESCRIPTION & SURVEY OBSERVATIONS
<b>SECTION 6</b>	SAMPLE INSPECTION RECORDS
<b>SECTION 7</b>	BULK ANALYSIS CERTIFICATES
<b>SECTION 8</b>	SITE DRAWINGS
<b>APPENDIX 1</b>	MATERIAL ASSESSMENT ALGORITHMS

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Client:	<b>Skanska</b>	Project No.	<b>SD724P/86213</b>
Site Address	<b>Old War Office, Horse Guards Avenue, London</b>	Page No.:	<b>Page 3 of 267</b>

1. To carry out an asbestos location survey of the following areas:

**To obtain various samples of ceiling & walls as per itinerary for analysis.**

**Sampling was only conducted to areas specifically instructed by the client & as detailed on the plans provided.**

2. This survey was carried out on the **03 Sep 2012** by [REDACTED]
3. To ascertain the presence of asbestos based materials as instructed by the client.

### Management Surveys

The purpose of this survey is to locate, as far as reasonably practicable, the presence and extent of any suspect ACMs in the building and assess their condition, representative samples are collected and analysed for the presence of asbestos.

Samples from each type of suspect ACM found are collected and analysed to confirm or refute the surveyor's judgement. Where the materials sampled are found to contain asbestos, other similar homogeneous materials used in the same way in the building, have been presumed to contain asbestos. Less homogenous materials will require a greater number of samples. The number should be sufficient for the surveyor to make an assessment of whether asbestos is or is not present.

Sampling may take place simultaneously with the survey, or is in the case of some larger surveys, can be carried out as a separate exercise.

All areas shall be reasonably accessed and should reflect the normal use, occupation and routine maintenance that occurs in the building or on the site. Access shall not normally involve destructive or intrusive techniques unless these are necessary to allow full assessment/sampling of materials that could foreseeably form part of normal maintenance activities.

These areas shall include, but may not be limited to, underfloor coverings, above false/suspended ceilings and inside risers, lofts, ceiling voids, lift shafts (if appropriate specialist contractors are available), plant rooms, basements, associated outbuildings undercrofts.

### Refurbishment and Demolition Surveys

This type of survey is used to locate and describe, as far as reasonably practicable, all ACMs in the building and may involve destructive inspection, as necessary, to gain access to all areas, including those that may be difficult to reach. Asbestos removal works may also be necessary during these surveys and these instances may be identified prior to starting on site from existing information that may exist in a previous survey report. Should, however, there be ACMs identified during the survey that would require removal to allow further investigation behind to establish either the full extent or the possible presence of other ACMs, then an additional proposal, cost and program would be prepared. This may be some time after the initial survey works are completed and results are known, so the survey may need to be undertaken in phases. Depending upon the nature of any such materials, removal works may require notification to the HSE prior to the surveying being started.

To allow full access throughout the premises for intrusive or aggressive opening up works, free and vacant possession will be required. Where this cannot be given, there may be restrictions to the scope and accuracy of the report or its findings. Re-instatement where opening up works can be

Client:	Skanska	Project No.	SD724P/86213
Site Address	Old War Office, Horse Guards Avenue, London	Page No.:	Page 4 of 267

undertaken, but this needs to be specified as part of the request or instruction – typically areas of intrusion will be covered using polythene and/or tape.

A full sampling programme is undertaken to identify possible ACMs and estimates of the volume and surface area of ACMs made. The survey is designed to be used as a basis for tendering the removal of ACMs from the building prior to demolition or major refurbishment works.

Although there is not a requirement to assess the of condition of the asbestos, other than to note areas of damage or where additional asbestos debris may be expected to be present, Aspect Contracts Ltd will carry out a material assessment as part of our standard operating UKAS procedures. Should the ACMs not be removed within a reasonable period, for example 3 months after the survey, then the Client has a responsibility to manage those ACMs and to re-assess the management recommendations.

Should the survey be required ahead of planned refurbishment work and not full demolition, then the proposed scope of the refurbishment work shall be made clear to the surveyors such that the scope of the survey can reflect these works and the correct results from the survey can be achieved without causing unnecessary damage throughout the building.

4. The essence of the survey was to investigate all areas, within the scope of the survey, to inspect the nature and condition of existing pipe work insulation, boarding and other suspected asbestos materials, to gain access above the suspended ceilings to view the ceiling void (where present) and to identify and record the location of all asbestos materials found during the survey.
5. To produce a report to identify areas of known or suspected asbestos materials. To include a material assessment for each individual asbestos sample / inspection in accordance with the Control of Asbestos Regulations 2012.
6. To highlight the requirement for urgent action to reduce the risk of exposure to asbestos fibres.
7. To create an awareness that other asbestos materials may be present but concealed within the fabric of the building and may require removal prior to, or during, refurbishment or demolition procedures.

Client:	<b>Skanska</b>	Project No.	<b>SD724P/86213</b>
Site Address	<b>Old War Office, Horse Guards Avenue, London</b>	Page No.:	<b>Page 5 of 267</b>



## SECTION 2 INACCESSIBLE AREAS & SURVEY LIMITATIONS



1. The following areas or items could not be adequately investigated, inspected or sampled during the period of the survey. Reasons for restrictions are given. All areas/items shall be investigated prior to any works being planned.
2. Any areas listed below should be deemed to contain asbestos until it can be proven that asbestos containing materials are not present.

ALL AREAS ACCESSED.

Client:	Skanska	Project No.	SD724P/86213
Site Address	Old War Office, Horse Guards Avenue, London	Page No.:	Page 6 of 267

**No ACMs were noted during the course of the survey**

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Client:	<b>Skanska</b>	Project No.	<b>SD724P/86213</b>
Site Address	<b>Old War Office, Horse Guards Avenue, London</b>	Page No.:	<b>Page 7 of 267</b>

### Survey Techniques

1. Each room / area was viewed for materials suspected to contain asbestos and representative samples taken for confirmation. Every reasonable effort was made to investigate all aspects of the building fabric. Destructive techniques were used for access.
2. Materials of a similar type were representatively sampled. It was assumed that surfaces identical to a sampled location were of a similar composition; these are recorded as "As Samples".
3. Photographs were taken at all sample / inspection locations (unless otherwise stated).
4. All collected samples are analysed by an independent UKAS accredited laboratory and their certificate of analysis is reproduced in full within this report.
5. Asbestos Bulk Sample Analysis is conducted using Polarised Light and Dispersion Staining Techniques. Dispersion Staining is used to describe the colour effects produced when a particle or fibre is immersed in a liquid having a refractive index near to that of the particle or fibre, and is viewed under a microscope using transmitted white light. (Based on HSE Publication HSG 248)
6. This survey was carried out in accordance with the 'in - house' method documented in Procedure 001 and HSG264 current version at the time of the survey issue date.
7. All the recommendations described in this report are based upon assumptions made after consideration of the material assessment alone. Due consideration should be given by the Duty Holder (under the Control of Asbestos Regulations 2012) to the priority assessment of the material to generate the risk assessment. Recommendations should be reviewed for suitability for each circumstance, However, statutory authorities or other bodies, could require amendments based on local knowledge, change in legislation, change in use or other specific criteria.
8. There were no deviations from the standard methods used.

### Caveats

1. This report is based upon inspections utilising destructive techniques for access. The agreed scope and limitations of the survey have been discussed and incorporated into this report. Should there be any additional restrictions that could only be reasonably be identified when on site and the restriction cannot be resolved with communication of the client or occupier of the site, then these have been recorded and the reasons for the restriction are given. Any materials in documented restricted or non access areas shall be considered as containing asbestos until confirmed otherwise by sampling.
2. During the course of the survey all reasonable efforts were made to identify the physical presence of materials containing asbestos within the areas of the building. The level of intrusion adopted for this survey is restricted by safe working practices but will follow the requirements of the agreed scope of works that will follow on from and rely upon, the results of the survey. HSG264 recognises that even with 'complete' access demolition surveys, all ACMs may not be identified and this may only become apparent during demolition works.

Aspect Contracts shall, therefore, only be liable for financial penalty if there is a negligent misstatement in respect of those specific areas identified as having been tested and/or inspected.

3. The scope of a Refurbishment & Demolition asbestos survey does not extend to the removal or disturbance of asbestos containing materials or partial demolition of structural elements, unless at the time of the preparation of the quotation, the presence of ACMs was known by means of a

Client:	<b>Skanska</b>	Project No.	<b>SD724P/86213</b>
Site Address	<b>Old War Office, Horse Guards Avenue, London</b>	Page No.:	<b>Page 8 of 267</b>

Management Survey or bulk sampling results or by agreement for full vacant possession with appropriate allowance for attendance by suitable specialist contractors; this may involve notification of the enabling work to HSE before work commences.

If an ACM is suspected and no previous analysis is available, then these materials cannot be disturbed until the appropriate assessment is completed until the material type and asbestos content is known.

Subsequently this may involve a separate visit to allow appropriate and statutory procedures to be followed and may require the analysis results to be known to allow proper planning of the enabling work. As separate instruction, therefore may be necessary when the exact nature of works is established.

4. The report findings shall be read in conjunction with the agreed Survey Proposal, Plan of Works and any agreed scope/caveats contained therein, to ensure the correct scope of work has been completed.
5. Debris/residue from previous asbestos removal projects may well be present in some areas i.e. plant rooms, ducts etc. These instances may not be detected without wholesale or complete removal of new coverings, however all good intentions are made for its discovery and evidence of any previous removal works (tape marks, removed pipe hanger burn marks, paint lines following removed pipe runs, expanding foam etc) will necessitate the removal of appropriate quantities of coverings to establish the likely presence of residues. If evidence is found of residues the exact extent may depend on removal of coverings as part of fully controlled removal works only and would not be covered by the quantity assessments contained herein.
6. Air monitoring may be necessary where significant damage of suspected ACMs is uncovered during opening up works or when gaining access into previously inaccessible areas. Where appropriate, this may require an area to be sealed off until appropriate remedial works are completed. In such circumstances the Client shall be notified from site.
7. Aspect Contracts cannot be held responsible for any damage caused due to sampling procedures utilised during the course of the survey. Due to the nature and necessity of sampling for asbestos some residual risk is unavoidable, but will be limited to that necessary for the collection of the samples. Similarly, unless specified at the time of the quotation, the repairs made following intrusion or sampling shall be effective only to cover the area and ensure there is no residual risk from dust release; no guarantee is given for decorative match or weather proofing etc of any repair.
8. Where an area is occupied at the time of the survey a Refurbishment & Demolition Survey may not be able to be carried out in full. Where an area is occupied then appropriate segregation shall be carried out to prevent spread of dust from the area under inspection to allow suitable access. These areas will be specifically listed in the survey report as an inaccessible or restricted access area but asbestos will be deemed to be present. The client shall be informed from site of any such areas and only when no other alternative access can be agreed shall the area be listed as restricted access. All such areas shall be deemed to contain ACMs until confirmed by sampling.

## **Report Interpretation**

1. Access may not be gained to several areas of the site, for example:
  - Flooded Rooms / Floor ducts
  - Fire Damaged / Unsafe Areas
  - Live electrical installations
  - Occupied Areas / Rooms

Client:	<b>Skanska</b>	Project No.	<b>SD724P/86213</b>
Site Address	<b>Old War Office, Horse Guards Avenue, London</b>	Page No.:	<b>Page 9 of 267</b>

## Supporting structures where structural engineers are unavailable to confirm safety

Full details of the restricted areas are contained within the body of the report.

To allow full surveying of any such area, where either specialist equipment or attendance by another contractor is necessary, the client may have to provide a separate instruction for the work, if this was not known before the survey work commenced.

2. Whilst every effort was made to locate the ceiling panels, wall partitions and other panels, which may have been constructed from asbestos boarding, none other than those detailed were found. Only by sampling each panel would the composition of all the materials be known. Representative sampling and investigation was undertaken and samples collected from those materials where there are variations in type, appearance, colour, texture use etc.
3. This report has been written with reference to the various Guidance Notes etc, issued, and current at the date of this report and describes circumstances at the site on the date the investigation took place.
4. Installations that are suspected to contain asbestos but have not been inspected internally for reasons of safety (e.g. live electrical switchgear, power cables etc) or because it would entail destructive procedures that may affect the functional integrity of the item (e.g. fire doors, multi layer roofing etc) and have been documented and a generic product/material assessment applied. An instruction from the Client shall be required to inspect these areas where the intrusion and/or sampling may affect the security or safety of the site.
5. Where use has been made of both asbestos and non-asbestos materials in close proximity to one another, care shall be taken when disturbing areas of mixed materials and all should be treated as asbestos.
6. Any person undertaking work within the buildings should be told of the presence of asbestos. This briefing also applies to any other person associated with the site, including staff, sub-contractors and others.
7. The diagrams in the report are not to scale and are illustrative only to indicate approximate locations. The descriptions used are for location identification purposes.
8. Samples taken from certain materials contain only trace asbestos content which may not be uniform throughout the material e.g.. Textured Coatings, Artex etc. It is therefore possible for two or more samples from the same material to produce different analysis results. Care must be taken when interpreting these results and the subsequent recommendations within this report. Where any doubt exists the material should be regarded as an asbestos containing material and treated as such until proven otherwise.
9. Future refurbishment work may disturb or damage asbestos containing materials. These materials should be suitably assessed and may require removal by a Licensed Asbestos Removal Contractor prior to such works.
10. Should any demolition works be undertaken all asbestos materials that are liable to be disturbed must be suitably assessed and may require removal under controlled conditions prior to the commencement of demolition procedures.
11. It is possible that asbestos gaskets or seals may be present between flanges or joints but the full extent or quantity cannot be fully established. This likelihood should be considered and allowance should be made and due care taken during refurbishments or demolition works.

Client:	<b>Skanska</b>	Project No.	<b>SD724P/86213</b>
Site Address	<b>Old War Office, Horse Guards Avenue, London</b>	Page No.:	<b>Page 10 of 267</b>

12. Under no circumstance must any work with asbestos be undertaken without an assessment of work as detailed in Regulation 6 of the Control of Asbestos Regulations 2012. All work must be conducted in accordance with the Control of Asbestos Regulations 2012.
13. Typical examples, but not exhaustive, of where concealed asbestos may be found only during demolition / refurbishment operations are listed below, this list is given for the purposes of information only and are given to enhance the process of understanding the survey results:

Contaminated Materials

It is possible that non-asbestos materials have been laid / poured / covered / over asbestos materials or asbestos residue from a previous poor abatement contract, and have suffered cross contamination. E.g. screed laid over bitumastic adhesive.

Cavity Walls (Brick/Block)

It is known that asbestos boards have been used as cavity closers in this type of construction.

Permanent Shuttering & Fixings

Asbestos cement sheeting has been used as shuttering which is subsequently covered with a cement, screed or plaster finish. Asbestos insulation board has often been used as a 'ground' to fix into around door and window frames.

Composite Materials

Asbestos may have been used as part of a composite material, for example as a layer of insulation beneath reinforced rendering or sandwiched between timber boards / panels.

Re-insulated Pipe Work and Vessels

Residual asbestos material may be present beneath re-lagged services and cannot be detected unless the re-lagging is systematically removed. Localised areas are examined but the complete lagging insulation will not be removed.

Fire Doors

These may contain an inner layer (core) of asbestos that is not detectable without impairing the integrity of the door.

Flat Roofing

Roofing may contain a layer of asbestos based felt and/or an asbestos boarding between other non asbestos layers. These materials are not detectable without impairing the integrity of the roof.

Soil Pipes

Asbestos has been used as a packing/jointing material to pipe collars. These are difficult to detect unless they are systematically and destructively tested.

Electrical Switchgear and Storage Heaters

It is common for fuse boxes to contain woven asbestos materials as a backing behind the fuses or as a door seal, asbestos cement boards have also been used as isolation shields.

Similarly, storage heaters can contain asbestos materials. For safety reasons these are not inspected unless all power has been isolated.

Machinery, Plant & Ductwork

Items of plant or machinery will not be inspected

14. Where a survey is to be carried out in a multi-occupied premises, e.g. Block of Flats, it is recommended that all individual flats and 'common areas' are surveyed.

Aspect Contracts are not liable for any extrapolation of information gathered from a survey carried out to a percentage of buildings/structures/dwellings.

Client:	<b>Skanska</b>	Project No.	<b>SD724P/86213</b>
Site Address	<b>Old War Office, Horse Guards Avenue, London</b>	Page No.:	<b>Page 11 of 267</b>

15. This report should not be used as the sole document for tendering purposes on an asbestos removal contract. Any prospective tenderer(s) must be required to confirm quantities as part of the tendering process.

Additionally we would recommend the inclusion of a contingency / provisional sum for the removal of any ACM that may only be discovered during demolition or refurbishment procedures.

Client:	<b>Skanska</b>	Project No.	<b>SD724P/86213</b>
Site Address	<b>Old War Office, Horse Guards Avenue, London</b>	Page No.:	<b>Page 12 of 267</b>

## SECTION 5 SITE DESCRIPTION & SURVEY OBSERVATIONS



The following table records all buildings, floors, rooms and areas investigated during the survey and appropriate comments relating to buildings materials observed and assessed but not sampled or presumed similar to other ACMs in the building; these may be fibrous or not. Other pertinent observations made by the Surveyors are also recorded here where they may assist in the understanding and interpretation of the final report findings.

Building	Floor	Room/Area	Surveyors Notes
Main Building	Basement	Corridor WES 275	Refer to specific inspection.
Main Building	Basement	Room B21	Refer to specific inspection.
Main Building	Basement	Room B25	Refer to specific inspection.
Main Building	Basement	Room B33	Refer to specific inspection.
Main Building	Basement	Room B62 A	Refer to specific inspection.
Main Building	Basement	Stairwell 5	Refer to specific inspection.
Main Building	Ground (0)	Room 045 A	Refer to specific inspection.
Main Building	Lower Ground (00)	Corridor WES 335	Refer to specific inspection.
Main Building	Lower Ground (00)	Room 022	Refer to specific inspection.
Main Building	Lower Ground (00)	Room 026	Refer to specific inspection.
Main Building	Lower Ground (00)	Room 031A	Refer to specific inspection.
Main Building	Lower Ground (00)	Room 036	Refer to specific inspection.
Main Building	Lower Ground (00)	Room- Stair 3	Refer to specific inspection.
Whitehall	First Floor	Room 125 A	Refer to specific inspection.
Whitehall	First Floor	Room 127	Refer to specific inspection.
Whitehall	First Floor	Room 128	Refer to specific inspection.
Whitehall	First Floor	Room 144 A	Refer to specific inspection.
Whitehall	First Floor	Stair (1) Lobby	Refer to specific inspection.
Whitehall	First Floor	Stair (2) Lobby	Refer to specific inspection.
Whitehall	Fourth Floor	Room 417	Refer to specific inspection.
Whitehall	Fourth Floor	Room 423	Refer to specific inspection.
Whitehall	Fourth Floor	Room 428	Refer to specific inspection.
Whitehall	Fourth Floor	Room 466	Refer to specific inspection.
Whitehall	Fourth Floor	Stairwell (1)	Refer to specific inspection.
Whitehall	Fourth Floor	WES 371 Lifts	Refer to specific inspection.
Whitehall	Ground (0)	Main Entrance Area	Refer to specific inspection.

Client:	<b>Skanska</b>	Project No.	<b>SD724P/86213</b>
Site Address	<b>Old War Office, Horse Guards Avenue, London</b>	Page No.:	<b>Page 13 of 267</b>



Whitehall	Ground (0)	Room 019	Refer to specific inspection.
Whitehall	Ground (0)	Room 024	Refer to specific inspection.
Whitehall	Ground (0)	Room 027	Refer to specific inspection.
Whitehall	Ground (0)	Room 030	Refer to specific inspection.
Whitehall	Ground (0)	Room- Stairwell 4	Refer to specific inspection.
Whitehall	Ground (0)	Room WES 368	Refer to specific inspection.
Whitehall	Second Floor	Room 220	Refer to specific inspection.
Whitehall	Second Floor	Room 230	Refer to specific inspection.
Whitehall	Second Floor	Room 244	Refer to specific inspection.
Whitehall	Second Floor	Room 284	Refer to specific inspection.
Whitehall	Second Floor	Stair (3) Corridor	Refer to specific inspection.
Whitehall	Third Floor	Cleaners Cupboard (opposite 326)	Refer to specific inspection.
Whitehall	Third Floor	Cleaners Cupboard (opposite 336)	Refer to specific inspection.
Whitehall	Third Floor	Corridor WES 368	Refer to specific inspection.
Whitehall	Third Floor	Electric Riser (c)	Refer to specific inspection.
Whitehall	Third Floor	Lift Shaft- WES 367	Refer to specific inspection.
Whitehall	Third Floor	Room 313 (Porters)	Refer to specific inspection.

Client:	<b>Skanska</b>	Project No.	<b>SD724P/86213</b>
Site Address	<b>Old War Office, Horse Guards Avenue, London</b>	Page No.:	<b>Page 14 of 267</b>

## Location Survey Data Sheet

<b>Site Code/UPRN</b>	SD724P/86213	<b>Building</b>	Main Building
<b>Address</b>	The Old War Office Horse Guards Avenue Whitehall London  SW1A 2HB	<b>Floor</b>	Basement
		<b>Room</b>	Corridor WES 275
		<b>Quantity</b>	N/A
<b>Description</b>	Encapsulant to beam. Sample taken from beam directly adjacent to goods lift.	<b>Asbestos Suspected</b>	<b>No</b>



<b>Last Inspection Date</b>	-	03 Sep 2012	<b>Certificate N°</b>	-	BK30485
<b>Next Inspection Date</b>	-	03 Sep 2013	<b>Sample N°</b>	-	28
<b>Survey Type</b>	-	Refurbishment & Demolition Survey	<b>Photograph N°</b>	-	4667
<b>Position</b>	-	Sample Taken	<b>Location ID</b>	-	Loc19969

<b>Product Type</b>	-	N/A	<b>Surface Treatment</b>	-	N/A
<b>Asbestos Type</b>	-	No Asbestos Detected	<b>Damage Extent</b>	-	N/A
<b>Material Risk Score</b>	-	<b>0</b>	<b>Material Risk Band</b>	-	N/A

<b>Comments:</b>	-	
<b>Recommendations:</b>	-	

Client:	Skanska	Project No.	SD724P/86213
Site Address	Old War Office, Horse Guards Avenue, London	Page No.:	Page 15 of 267

### Location Survey Data Sheet

<b>Site Code/UPRN</b>	SD724P/86213	<b>Building</b>	Main Building
<b>Address</b>	The Old War Office Horse Guards Avenue Whitehall London	<b>Floor</b>	Basement
	SW1A 2HB	<b>Room</b>	Corridor WES 275
<b>Description</b>	Concrete to beam. Sample taken of render to concrete beam beneath encapsulant.	<b>Quantity</b>	N/A
		<b>Asbestos Suspected</b>	<b>No</b>



<b>Last Inspection Date</b>	-	03 Sep 2012	<b>Certificate N°</b>	-	BK30485
<b>Next Inspection Date</b>	-	03 Sep 2013	<b>Sample N°</b>	-	29
<b>Survey Type</b>	-	Refurbishment & Demolition Survey	<b>Photograph N°</b>	-	4668
<b>Position</b>	-	Sample Taken	<b>Location ID</b>	-	Loc19970

<b>Product Type</b>	-	N/A	<b>Surface Treatment</b>	-	N/A
<b>Asbestos Type</b>	-	No Asbestos Detected	<b>Damage Extent</b>	-	N/A
<b>Material Risk Score</b>	-	<b>0</b>	<b>Material Risk Band</b>	-	N/A

<b>Comments:</b>	-	
<b>Recommendations:</b>	-	

Client:	<b>Skanska</b>	Project No.	<b>SD724P/86213</b>
Site Address	<b>Old War Office, Horse Guards Avenue, London</b>	Page No.:	<b>Page 16 of 267</b>

### Location Survey Data Sheet

<b>Site Code/UPRN</b>	SD724P/86213	<b>Building</b>	Main Building
<b>Address</b>	The Old War Office Horse Guards Avenue Whitehall London	<b>Floor</b>	Basement
	SW1A 2HB	<b>Room</b>	Room B21
<b>Description</b>	Painted plasterboard ceiling. Present in front of RSJ.	<b>Quantity</b>	N/A
		<b>Asbestos Suspected</b>	<b>No</b>



<b>Last Inspection Date</b>	-	03 Sep 2012	<b>Certificate N°</b>	-	BK30485
<b>Next Inspection Date</b>	-	03 Sep 2013	<b>Sample N°</b>	-	10
<b>Survey Type</b>	-	Refurbishment & Demolition Survey	<b>Photograph N°</b>	-	4648
<b>Position</b>	-	Sample Taken	<b>Location ID</b>	-	Loc19951

<b>Product Type</b>	-	N/A	<b>Surface Treatment</b>	-	N/A
<b>Asbestos Type</b>	-	No Asbestos Detected	<b>Damage Extent</b>	-	N/A
<b>Material Risk Score</b>	-	<b>0</b>	<b>Material Risk Band</b>	-	N/A

<b>Comments:</b>	-	
<b>Recommendations:</b>	-	

Client:	<b>Skanska</b>	Project No.	<b>SD724P/86213</b>
Site Address	<b>Old War Office, Horse Guards Avenue, London</b>	Page No.:	<b>Page 17 of 267</b>

### Location Survey Data Sheet

<b>Site Code/UPRN</b>	SD724P/86213	<b>Building</b>	Main Building
<b>Address</b>	The Old War Office Horse Guards Avenue Whitehall London	<b>Floor</b>	Basement
	SW1A 2HB	<b>Room</b>	Room B21
<b>Description</b>	Painted plasterboard ceiling. Present to rear of RSJ- fixed to timber battons below solid ceiling.	<b>Quantity</b>	N/A
		<b>Asbestos Suspected</b>	No



<b>Last Inspection Date</b>	-	03 Sep 2012	<b>Certificate N°</b>	-	BK30485
<b>Next Inspection Date</b>	-	03 Sep 2013	<b>Sample N°</b>	-	11
<b>Survey Type</b>	-	Refurbishment & Demolition Survey	<b>Photograph N°</b>	-	4650
<b>Position</b>	-	Sample Taken	<b>Location ID</b>	-	Loc19952

<b>Product Type</b>	-	N/A	<b>Surface Treatment</b>	-	N/A
<b>Asbestos Type</b>	-	No Asbestos Detected	<b>Damage Extent</b>	-	N/A
<b>Material Risk Score</b>	-	0	<b>Material Risk Band</b>	-	N/A

<b>Comments:</b>	-	
<b>Recommendations:</b>	-	

Client:	<b>Skanska</b>	Project No.	<b>SD724P/86213</b>
Site Address	<b>Old War Office, Horse Guards Avenue, London</b>	Page No.:	<b>Page 18 of 267</b>

### Location Survey Data Sheet

<b>Site Code/UPRN</b>	SD724P/86213	<b>Building</b>	Main Building
<b>Address</b>	The Old War Office Horse Guards Avenue Whitehall London	<b>Floor</b>	Basement
	SW1A 2HB	<b>Room</b>	Room B21
<b>Description</b>	Wall encapsulant. Present to left side wall.	<b>Quantity</b>	N/A
		<b>Asbestos Suspected</b>	<b>No</b>



<b>Last Inspection Date</b>	-	03 Sep 2012	<b>Certificate N°</b>	-	BK30485
<b>Next Inspection Date</b>	-	03 Sep 2013	<b>Sample N°</b>	-	06
<b>Survey Type</b>	-	Refurbishment & Demolition Survey	<b>Photograph N°</b>	-	4644
<b>Position</b>	-	Internal	<b>Location ID</b>	-	Loc19947

<b>Product Type</b>	-	N/A	<b>Surface Treatment</b>	-	N/A
<b>Asbestos Type</b>	-	No Asbestos Detected	<b>Damage Extent</b>	-	N/A
<b>Material Risk Score</b>	-	<b>0</b>	<b>Material Risk Band</b>	-	N/A

<b>Comments:</b>	-	
<b>Recommendations:</b>	-	

Client:	<b>Skanska</b>	Project No.	<b>SD724P/86213</b>
Site Address	<b>Old War Office, Horse Guards Avenue, London</b>	Page No.:	<b>Page 19 of 267</b>

### Location Survey Data Sheet

<b>Site Code/UPRN</b>	SD724P/86213	<b>Building</b>	Main Building
<b>Address</b>	The Old War Office Horse Guards Avenue Whitehall London	<b>Floor</b>	Basement
	SW1A 2HB	<b>Room</b>	Room B21
<b>Description</b>	Wall encapsulant. Present to right side wall within 300mm of socket.	<b>Quantity</b>	N/A
		<b>Asbestos Suspected</b>	<b>No</b>



<b>Last Inspection Date</b>	-	03 Sep 2012	<b>Certificate N°</b>	-	BK30485
<b>Next Inspection Date</b>	-	03 Sep 2013	<b>Sample N°</b>	-	08
<b>Survey Type</b>	-	Refurbishment & Demolition Survey	<b>Photograph N°</b>	-	4646
<b>Position</b>	-	Sample Taken	<b>Location ID</b>	-	Loc19949

<b>Product Type</b>	-	N/A	<b>Surface Treatment</b>	-	N/A
<b>Asbestos Type</b>	-	No Asbestos Detected	<b>Damage Extent</b>	-	N/A
<b>Material Risk Score</b>	-	<b>0</b>	<b>Material Risk Band</b>	-	N/A

<b>Comments:</b>	-	
<b>Recommendations:</b>	-	

Client:	<b>Skanska</b>	Project No.	<b>SD724P/86213</b>
Site Address	<b>Old War Office, Horse Guards Avenue, London</b>	Page No.:	<b>Page 20 of 267</b>

### Location Survey Data Sheet

<b>Site Code/UPRN</b>	SD724P/86213	<b>Building</b>	Main Building
<b>Address</b>	The Old War Office Horse Guards Avenue Whitehall London	<b>Floor</b>	Basement
	SW1A 2HB	<b>Room</b>	Room B21
<b>Description</b>	Wall render/cement. Present to left side wall.	<b>Quantity</b>	N/A
		<b>Asbestos Suspected</b>	<b>No</b>



<b>Last Inspection Date</b>	-	03 Sep 2012	<b>Certificate N°</b>	-	BK30485
<b>Next Inspection Date</b>	-	03 Sep 2013	<b>Sample N°</b>	-	07
<b>Survey Type</b>	-	Refurbishment & Demolition Survey	<b>Photograph N°</b>	-	4645
<b>Position</b>	-	Sample Taken	<b>Location ID</b>	-	Loc19948

<b>Product Type</b>	-	N/A	<b>Surface Treatment</b>	-	N/A
<b>Asbestos Type</b>	-	No Asbestos Detected	<b>Damage Extent</b>	-	N/A
<b>Material Risk Score</b>	-	<b>0</b>	<b>Material Risk Band</b>	-	N/A

<b>Comments:</b>	-	
<b>Recommendations:</b>	-	

Client:	<b>Skanska</b>	Project No.	<b>SD724P/86213</b>
Site Address	<b>Old War Office, Horse Guards Avenue, London</b>	Page No.:	<b>Page 21 of 267</b>



### Location Survey Data Sheet

<b>Site Code/UPRN</b>	SD724P/86213	<b>Building</b>	Main Building
<b>Address</b>	The Old War Office Horse Guards Avenue Whitehall London	<b>Floor</b>	Basement
	SW1A 2HB	<b>Room</b>	Room B21
<b>Description</b>	Wall render/cement. Present to right side wall within 300mm of socket.	<b>Quantity</b>	N/A
		<b>Asbestos Suspected</b>	<b>No</b>



<b>Last Inspection Date</b>	-	03 Sep 2012	<b>Certificate N°</b>	-	BK30485
<b>Next Inspection Date</b>	-	03 Sep 2013	<b>Sample N°</b>	-	09
<b>Survey Type</b>	-	Refurbishment & Demolition Survey	<b>Photograph N°</b>	-	4647
<b>Position</b>	-	Sample Taken	<b>Location ID</b>	-	Loc19950

<b>Product Type</b>	-	N/A	<b>Surface Treatment</b>	-	N/A
<b>Asbestos Type</b>	-	No Asbestos Detected	<b>Damage Extent</b>	-	N/A
<b>Material Risk Score</b>	-	<b>0</b>	<b>Material Risk Band</b>	-	N/A

<b>Comments:</b>	-	
<b>Recommendations:</b>	-	

Client:	<b>Skanska</b>	Project No.	<b>SD724P/86213</b>
Site Address	<b>Old War Office, Horse Guards Avenue, London</b>	Page No.:	<b>Page 22 of 267</b>

### Location Survey Data Sheet

<b>Site Code/UPRN</b>	SD724P/86213	<b>Building</b>	Main Building
<b>Address</b>	The Old War Office Horse Guards Avenue Whitehall London	<b>Floor</b>	Basement
	SW1A 2HB	<b>Room</b>	Room B25
		<b>Quantity</b>	N/A
<b>Description</b>	Mortar to wall adjacent to door.	<b>Asbestos Suspected</b>	<b>No</b>



<b>Last Inspection Date</b>	-	03 Sep 2012	<b>Certificate N<sup>o</sup></b>	-	BK30485
<b>Next Inspection Date</b>	-	03 Sep 2013	<b>Sample N<sup>o</sup></b>	-	04
<b>Survey Type</b>	-	Refurbishment & Demolition Survey	<b>Photograph N<sup>o</sup></b>	-	4642
<b>Position</b>	-	Sample Taken	<b>Location ID</b>	-	Loc19945

<b>Product Type</b>	-	N/A	<b>Surface Treatment</b>	-	N/A
<b>Asbestos Type</b>	-	No Asbestos Detected	<b>Damage Extent</b>	-	N/A
<b>Material Risk Score</b>	-	<b>0</b>	<b>Material Risk Band</b>	-	N/A

<b>Comments:</b>	-	
<b>Recommendations:</b>	-	

Client:	Skanska	Project No.	SD724P/86213
Site Address	Old War Office, Horse Guards Avenue, London	Page No.:	Page 23 of 267

### Location Survey Data Sheet

<b>Site Code/UPRN</b>	SD724P/86213	<b>Building</b>	Main Building
<b>Address</b>	The Old War Office Horse Guards Avenue Whitehall London	<b>Floor</b>	Basement
	SW1A 2HB	<b>Room</b>	Room B25
<b>Description</b>	Plasterboard ceiling board.	<b>Quantity</b>	N/A
		<b>Asbestos Suspected</b>	<b>No</b>



<b>Last Inspection Date</b>	-	03 Sep 2012	<b>Certificate N°</b>	-	BK30485
<b>Next Inspection Date</b>	-	03 Sep 2013	<b>Sample N°</b>	-	01
<b>Survey Type</b>	-	Refurbishment & Demolition Survey	<b>Photograph N°</b>	-	4639
<b>Position</b>	-	Sample Taken	<b>Location ID</b>	-	Loc19942

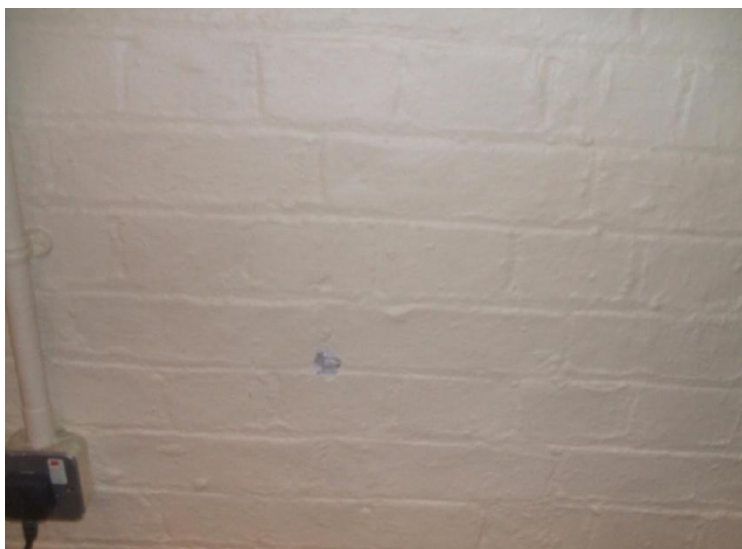
<b>Product Type</b>	-	N/A	<b>Surface Treatment</b>	-	N/A
<b>Asbestos Type</b>	-	No Asbestos Detected	<b>Damage Extent</b>	-	N/A
<b>Material Risk Score</b>	-	<b>0</b>	<b>Material Risk Band</b>	-	N/A

<b>Comments:</b>	-	
<b>Recommendations:</b>	-	

Client:	<b>Skanska</b>	Project No.	<b>SD724P/86213</b>
Site Address	<b>Old War Office, Horse Guards Avenue, London</b>	Page No.:	<b>Page 24 of 267</b>

### Location Survey Data Sheet

<b>Site Code/UPRN</b>	SD724P/86213	<b>Building</b>	Main Building
<b>Address</b>	The Old War Office Horse Guards Avenue Whitehall London	<b>Floor</b>	Basement
	SW1A 2HB	<b>Room</b>	Room B25
<b>Description</b>	Mortar to wall within 300mm of wall socket.	<b>Quantity</b>	N/A
		<b>Asbestos Suspected</b>	<b>No</b>



<b>Last Inspection Date</b>	-	03 Sep 2012	<b>Certificate N<sup>o</sup></b>	-	BK30485
<b>Next Inspection Date</b>	-	03 Sep 2013	<b>Sample N<sup>o</sup></b>	-	05
<b>Survey Type</b>	-	Refurbishment & Demolition Survey	<b>Photograph N<sup>o</sup></b>	-	4643
<b>Position</b>	-	Sample Taken	<b>Location ID</b>	-	Loc19946

<b>Product Type</b>	-	N/A	<b>Surface Treatment</b>	-	N/A
<b>Asbestos Type</b>	-	No Asbestos Detected	<b>Damage Extent</b>	-	N/A
<b>Material Risk Score</b>	-	<b>0</b>	<b>Material Risk Band</b>	-	N/A

<b>Comments:</b>	-	
<b>Recommendations:</b>	-	

Client:	<b>Skanska</b>	Project No.	<b>SD724P/86213</b>
Site Address	<b>Old War Office, Horse Guards Avenue, London</b>	Page No.:	<b>Page 25 of 267</b>

### Location Survey Data Sheet

<b>Site Code/UPRN</b>	SD724P/86213	<b>Building</b>	Main Building
<b>Address</b>	The Old War Office Horse Guards Avenue Whitehall London	<b>Floor</b>	Basement
	SW1A 2HB	<b>Room</b>	Room B25
<b>Description</b>	Encapsulated to wall within 300mm of wall socket.	<b>Quantity</b>	N/A
		<b>Asbestos Suspected</b>	<b>No</b>



<b>Last Inspection Date</b>	-	03 Sep 2012	<b>Certificate N<sup>o</sup></b>	-	BK30485
<b>Next Inspection Date</b>	-	03 Sep 2013	<b>Sample N<sup>o</sup></b>	-	03
<b>Survey Type</b>	-	Refurbishment & Demolition Survey	<b>Photograph N<sup>o</sup></b>	-	4641
<b>Position</b>	-	Sample Taken	<b>Location ID</b>	-	Loc19944

<b>Product Type</b>	-	N/A	<b>Surface Treatment</b>	-	N/A
<b>Asbestos Type</b>	-	No Asbestos Detected	<b>Damage Extent</b>	-	N/A
<b>Material Risk Score</b>	-	<b>0</b>	<b>Material Risk Band</b>	-	N/A

<b>Comments:</b>	-	
<b>Recommendations:</b>	-	

Client:	<b>Skanska</b>	Project No.	<b>SD724P/86213</b>
Site Address	<b>Old War Office, Horse Guards Avenue, London</b>	Page No.:	<b>Page 26 of 267</b>

### Location Survey Data Sheet

<b>Site Code/UPRN</b>	SD724P/86213	<b>Building</b>	Main Building
<b>Address</b>	The Old War Office Horse Guards Avenue Whitehall London	<b>Floor</b>	Basement
	SW1A 2HB	<b>Room</b>	Room B25
<b>Description</b>	Encapsulated to solid wall adjacent to door.	<b>Quantity</b>	N/A
		<b>Asbestos Suspected</b>	<b>No</b>



<b>Last Inspection Date</b>	-	03 Sep 2012	<b>Certificate N°</b>	-	BK30485
<b>Next Inspection Date</b>	-	03 Sep 2013	<b>Sample N°</b>	-	02
<b>Survey Type</b>	-	Refurbishment & Demolition Survey	<b>Photograph N°</b>	-	4640
<b>Position</b>	-	Sample Taken	<b>Location ID</b>	-	Loc19943

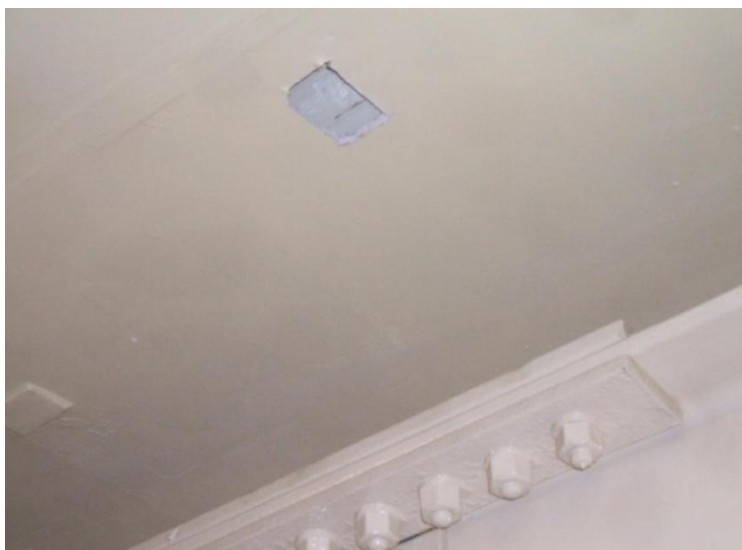
<b>Product Type</b>	-	N/A	<b>Surface Treatment</b>	-	N/A
<b>Asbestos Type</b>	-	No Asbestos Detected	<b>Damage Extent</b>	-	N/A
<b>Material Risk Score</b>	-	<b>0</b>	<b>Material Risk Band</b>	-	N/A

<b>Comments:</b>	-	
<b>Recommendations:</b>	-	

Client:	<b>Skanska</b>	Project No.	<b>SD724P/86213</b>
Site Address	<b>Old War Office, Horse Guards Avenue, London</b>	Page No.:	<b>Page 27 of 267</b>

### Location Survey Data Sheet

<b>Site Code/UPRN</b>	SD724P/86213	<b>Building</b>	Main Building
<b>Address</b>	The Old War Office Horse Guards Avenue Whitehall London	<b>Floor</b>	Basement
	SW1A 2HB	<b>Room</b>	Room B25
<b>Description</b>	Plasterboard ceiling board (beneath solid painted ceiling).	<b>Quantity</b>	N/A
		<b>Asbestos Suspected</b>	<b>No</b>



<b>Last Inspection Date</b>	-	03 Sep 2012	<b>Certificate N°</b>	-	BK30485
<b>Next Inspection Date</b>	-	03 Sep 2013	<b>Sample N°</b>	-	12
<b>Survey Type</b>	-	Refurbishment & Demolition Survey	<b>Photograph N°</b>	-	4651
<b>Position</b>	-	Sample Taken	<b>Location ID</b>	-	Loc19953

<b>Product Type</b>	-	N/A	<b>Surface Treatment</b>	-	N/A
<b>Asbestos Type</b>	-	No Asbestos Detected	<b>Damage Extent</b>	-	N/A
<b>Material Risk Score</b>	-	<b>0</b>	<b>Material Risk Band</b>	-	N/A

<b>Comments:</b>	-	
<b>Recommendations:</b>	-	

Client:	<b>Skanska</b>	Project No.	<b>SD724P/86213</b>
Site Address	<b>Old War Office, Horse Guards Avenue, London</b>	Page No.:	<b>Page 28 of 267</b>

### Location Survey Data Sheet

<b>Site Code/UPRN</b>	SD724P/86213	<b>Building</b>	Main Building
<b>Address</b>	The Old War Office Horse Guards Avenue Whitehall London	<b>Floor</b>	Basement
	SW1A 2HB	<b>Room</b>	Room B33
<b>Description</b>	Encapsulant to wall.	<b>Quantity</b>	N/A
		<b>Asbestos Suspected</b>	<b>No</b>



<b>Last Inspection Date</b>	-	03 Sep 2012	<b>Certificate N°</b>	-	BK30485
<b>Next Inspection Date</b>	-	03 Sep 2013	<b>Sample N°</b>	-	13
<b>Survey Type</b>	-	Refurbishment & Demolition Survey	<b>Photograph N°</b>	-	4652
<b>Position</b>	-	Sample Taken	<b>Location ID</b>	-	Loc19954

<b>Product Type</b>	-	N/A	<b>Surface Treatment</b>	-	N/A
<b>Asbestos Type</b>	-	No Asbestos Detected	<b>Damage Extent</b>	-	N/A
<b>Material Risk Score</b>	-	<b>0</b>	<b>Material Risk Band</b>	-	N/A

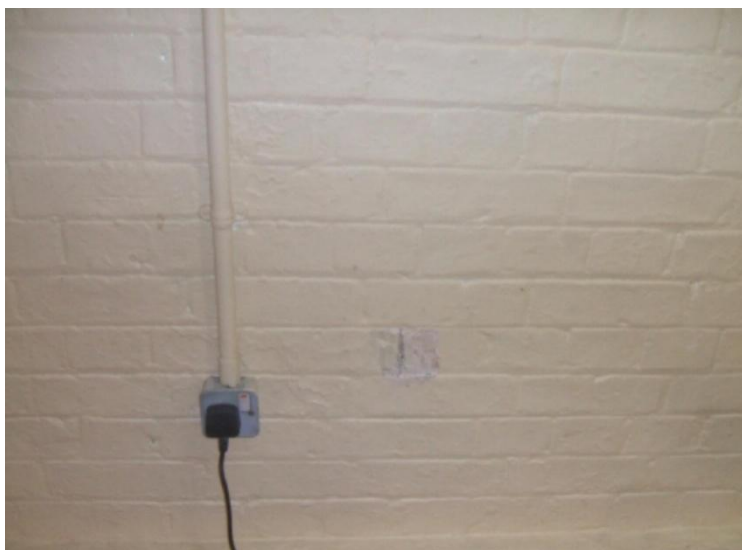
<b>Comments:</b>	-	
<b>Recommendations:</b>	-	

Client:	Skanska	Project No.	SD724P/86213
Site Address	Old War Office, Horse Guards Avenue, London	Page No.:	Page 29 of 267



### Location Survey Data Sheet

<b>Site Code/UPRN</b>	SD724P/86213	<b>Building</b>	Main Building
<b>Address</b>	The Old War Office Horse Guards Avenue Whitehall London	<b>Floor</b>	Basement
	SW1A 2HB	<b>Room</b>	Room B33
<b>Description</b>	Encapsulant to wall. Sample taken within 300mm of socket.	<b>Quantity</b>	N/A
		<b>Asbestos Suspected</b>	<b>No</b>



<b>Last Inspection Date</b>	-	03 Sep 2012	<b>Certificate N°</b>	-	BK30485
<b>Next Inspection Date</b>	-	03 Sep 2013	<b>Sample N°</b>	-	15
<b>Survey Type</b>	-	Refurbishment & Demolition Survey	<b>Photograph N°</b>	-	4654
<b>Position</b>	-	Sample Taken	<b>Location ID</b>	-	Loc19956

<b>Product Type</b>	-	N/A	<b>Surface Treatment</b>	-	N/A
<b>Asbestos Type</b>	-	No Asbestos Detected	<b>Damage Extent</b>	-	N/A
<b>Material Risk Score</b>	-	<b>0</b>	<b>Material Risk Band</b>	-	N/A

<b>Comments:</b>	-	
<b>Recommendations:</b>	-	

Client:	<b>Skanska</b>	Project No.	<b>SD724P/86213</b>
Site Address	<b>Old War Office, Horse Guards Avenue, London</b>	Page No.:	<b>Page 30 of 267</b>

### Location Survey Data Sheet

<b>Site Code/UPRN</b>	SD724P/86213	<b>Building</b>	Main Building
<b>Address</b>	The Old War Office Horse Guards Avenue Whitehall London	<b>Floor</b>	Basement
	SW1A 2HB	<b>Room</b>	Room B33
<b>Description</b>	Mortar to solid wall. Sample taken within 300mm of socket.	<b>Quantity</b>	N/A
		<b>Asbestos Suspected</b>	<b>No</b>



<b>Last Inspection Date</b>	-	03 Sep 2012	<b>Certificate N°</b>	-	BK30485
<b>Next Inspection Date</b>	-	03 Sep 2013	<b>Sample N°</b>	-	16
<b>Survey Type</b>	-	Refurbishment & Demolition Survey	<b>Photograph N°</b>	-	4655
<b>Position</b>	-	Sample Taken	<b>Location ID</b>	-	Loc19957

<b>Product Type</b>	-	N/A	<b>Surface Treatment</b>	-	N/A
<b>Asbestos Type</b>	-	No Asbestos Detected	<b>Damage Extent</b>	-	N/A
<b>Material Risk Score</b>	-	<b>0</b>	<b>Material Risk Band</b>	-	N/A

<b>Comments:</b>	-	
<b>Recommendations:</b>	-	

Client:	<b>Skanska</b>	Project No.	<b>SD724P/86213</b>
Site Address	<b>Old War Office, Horse Guards Avenue, London</b>	Page No.:	<b>Page 31 of 267</b>

### Location Survey Data Sheet

<b>Site Code/UPRN</b>	SD724P/86213	<b>Building</b>	Main Building
<b>Address</b>	The Old War Office Horse Guards Avenue Whitehall London	<b>Floor</b>	Basement
	SW1A 2HB	<b>Room</b>	Room B33
<b>Description</b>	Mowrtar to solid wall.	<b>Quantity</b>	N/A
		<b>Asbestos Suspected</b>	<b>No</b>



<b>Last Inspection Date</b>	-	03 Sep 2012	<b>Certificate N<sup>o</sup></b>	-	BK30485
<b>Next Inspection Date</b>	-	03 Sep 2013	<b>Sample N<sup>o</sup></b>	-	14
<b>Survey Type</b>	-	Refurbishment & Demolition Survey	<b>Photograph N<sup>o</sup></b>	-	4653
<b>Position</b>	-	Sample Taken	<b>Location ID</b>	-	Loc19955

<b>Product Type</b>	-	N/A	<b>Surface Treatment</b>	-	N/A
<b>Asbestos Type</b>	-	No Asbestos Detected	<b>Damage Extent</b>	-	N/A
<b>Material Risk Score</b>	-	<b>0</b>	<b>Material Risk Band</b>	-	N/A

<b>Comments:</b>	-	
<b>Recommendations:</b>	-	

Client:	<b>Skanska</b>	Project No.	<b>SD724P/86213</b>
Site Address	<b>Old War Office, Horse Guards Avenue, London</b>	Page No.:	<b>Page 32 of 267</b>

### Location Survey Data Sheet

<b>Site Code/UPRN</b>	SD724P/86213	<b>Building</b>	Main Building
<b>Address</b>	The Old War Office Horse Guards Avenue Whitehall London	<b>Floor</b>	Basement
	SW1A 2HB	<b>Room</b>	Room B33
<b>Description</b>	Paper lining to plasterboard ceiling.	<b>Quantity</b>	N/A
		<b>Asbestos Suspected</b>	<b>No</b>



<b>Last Inspection Date</b>	-	03 Sep 2012	<b>Certificate N<sup>o</sup></b>	-	BK30485
<b>Next Inspection Date</b>	-	03 Sep 2013	<b>Sample N<sup>o</sup></b>	-	17
<b>Survey Type</b>	-	Refurbishment & Demolition Survey	<b>Photograph N<sup>o</sup></b>	-	4656
<b>Position</b>	-	Sample Taken	<b>Location ID</b>	-	Loc19958

<b>Product Type</b>	-	N/A	<b>Surface Treatment</b>	-	N/A
<b>Asbestos Type</b>	-	No Asbestos Detected	<b>Damage Extent</b>	-	N/A
<b>Material Risk Score</b>	-	<b>0</b>	<b>Material Risk Band</b>	-	N/A

<b>Comments:</b>	-	
<b>Recommendations:</b>	-	

Client:	Skanska	Project No.	SD724P/86213
Site Address	Old War Office, Horse Guards Avenue, London	Page No.:	Page 33 of 267

### Location Survey Data Sheet

<b>Site Code/UPRN</b>	SD724P/86213	<b>Building</b>	Main Building
<b>Address</b>	The Old War Office Horse Guards Avenue Whitehall London	<b>Floor</b>	Basement
	SW1A 2HB	<b>Room</b>	Room B33
<b>Description</b>	Plasterboard ceiling.	<b>Quantity</b>	N/A
		<b>Asbestos Suspected</b>	<b>No</b>



<b>Last Inspection Date</b>	-	03 Sep 2012	<b>Certificate N°</b>	-	BK30485
<b>Next Inspection Date</b>	-	03 Sep 2013	<b>Sample N°</b>	-	18
<b>Survey Type</b>	-	Refurbishment & Demolition Survey	<b>Photograph N°</b>	-	4657
<b>Position</b>	-	Sample Taken	<b>Location ID</b>	-	Loc19959

<b>Product Type</b>	-	N/A	<b>Surface Treatment</b>	-	N/A
<b>Asbestos Type</b>	-	No Asbestos Detected	<b>Damage Extent</b>	-	N/A
<b>Material Risk Score</b>	-	<b>0</b>	<b>Material Risk Band</b>	-	N/A

<b>Comments:</b>	-	
<b>Recommendations:</b>	-	

Client:	<b>Skanska</b>	Project No.	<b>SD724P/86213</b>
Site Address	<b>Old War Office, Horse Guards Avenue, London</b>	Page No.:	<b>Page 34 of 267</b>

### Location Survey Data Sheet

<b>Site Code/UPRN</b>	SD724P/86213	<b>Building</b>	Main Building
<b>Address</b>	The Old War Office Horse Guards Avenue Whitehall London	<b>Floor</b>	Basement
	SW1A 2HB	<b>Room</b>	Room B62 A
<b>Description</b>	Mortar to solid wall. Adjacent to wall light switch.	<b>Quantity</b>	N/A
		<b>Asbestos Suspected</b>	<b>No</b>



<b>Last Inspection Date</b>	-	03 Sep 2012	<b>Certificate N°</b>	-	BK30485
<b>Next Inspection Date</b>	-	03 Sep 2013	<b>Sample N°</b>	-	24
<b>Survey Type</b>	-	Refurbishment & Demolition Survey	<b>Photograph N°</b>	-	4663
<b>Position</b>	-	Sample Taken	<b>Location ID</b>	-	Loc19965

<b>Product Type</b>	-	N/A	<b>Surface Treatment</b>	-	N/A
<b>Asbestos Type</b>	-	No Asbestos Detected	<b>Damage Extent</b>	-	N/A
<b>Material Risk Score</b>	-	<b>0</b>	<b>Material Risk Band</b>	-	N/A

<b>Comments:</b>	-	
<b>Recommendations:</b>	-	

Client:	<b>Skanska</b>	Project No.	<b>SD724P/86213</b>
Site Address	<b>Old War Office, Horse Guards Avenue, London</b>	Page No.:	<b>Page 35 of 267</b>

### Location Survey Data Sheet

<b>Site Code/UPRN</b>	SD724P/86213	<b>Building</b>	Main Building
<b>Address</b>	The Old War Office Horse Guards Avenue Whitehall London	<b>Floor</b>	Basement
	SW1A 2HB	<b>Room</b>	Room B62 A
<b>Description</b>	Mortar to solid wall. Present to end wall.	<b>Quantity</b>	N/A
		<b>Asbestos Suspected</b>	<b>No</b>



<b>Last Inspection Date</b>	-	03 Sep 2012	<b>Certificate N<sup>o</sup></b>	-	BK30485
<b>Next Inspection Date</b>	-	03 Sep 2013	<b>Sample N<sup>o</sup></b>	-	22
<b>Survey Type</b>	-	Refurbishment & Demolition Survey	<b>Photograph N<sup>o</sup></b>	-	4661
<b>Position</b>	-	Sample Taken	<b>Location ID</b>	-	Loc19963

<b>Product Type</b>	-	N/A	<b>Surface Treatment</b>	-	N/A
<b>Asbestos Type</b>	-	No Asbestos Detected	<b>Damage Extent</b>	-	N/A
<b>Material Risk Score</b>	-	<b>0</b>	<b>Material Risk Band</b>	-	N/A

<b>Comments:</b>	-	
<b>Recommendations:</b>	-	

Client:	Skanska	Project No.	SD724P/86213
Site Address	Old War Office, Horse Guards Avenue, London	Page No.:	Page 36 of 267

### Location Survey Data Sheet

<b>Site Code/UPRN</b>	SD724P/86213	<b>Building</b>	Main Building
<b>Address</b>	The Old War Office Horse Guards Avenue Whitehall London	<b>Floor</b>	Basement
	SW1A 2HB	<b>Room</b>	Room B62 A
<b>Description</b>	Solid ceiling above void. Present above plasterboard false ceiling.	<b>Quantity</b>	N/A
		<b>Asbestos Suspected</b>	<b>No</b>



<b>Last Inspection Date</b>	-	03 Sep 2012	<b>Certificate N°</b>	-	BK30485
<b>Next Inspection Date</b>	-	03 Sep 2013	<b>Sample N°</b>	-	27
<b>Survey Type</b>	-	Refurbishment & Demolition Survey	<b>Photograph N°</b>	-	4666
<b>Position</b>	-	Sample Taken	<b>Location ID</b>	-	Loc19968

<b>Product Type</b>	-	N/A	<b>Surface Treatment</b>	-	N/A
<b>Asbestos Type</b>	-	No Asbestos Detected	<b>Damage Extent</b>	-	N/A
<b>Material Risk Score</b>	-	<b>0</b>	<b>Material Risk Band</b>	-	N/A

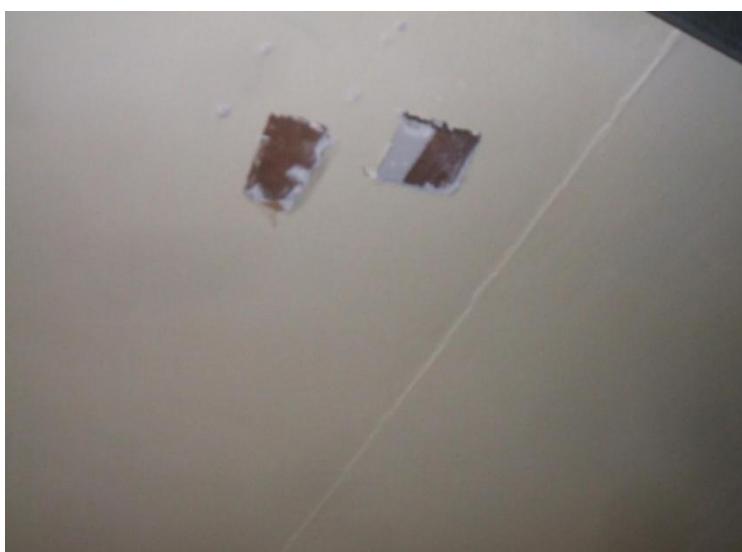
<b>Comments:</b>	-	
<b>Recommendations:</b>	-	

Client:	<b>Skanska</b>	Project No.	<b>SD724P/86213</b>
Site Address	<b>Old War Office, Horse Guards Avenue, London</b>	Page No.:	<b>Page 37 of 267</b>



### Location Survey Data Sheet

<b>Site Code/UPRN</b>	SD724P/86213	<b>Building</b>	Main Building
<b>Address</b>	The Old War Office Horse Guards Avenue Whitehall London	<b>Floor</b>	Basement
	SW1A 2HB	<b>Room</b>	Room B62 A
		<b>Quantity</b>	N/A
<b>Description</b>	Lining to plasterboard ceiling.	<b>Asbestos Suspected</b>	<b>No</b>



<b>Last Inspection Date</b>	-	03 Sep 2012	<b>Certificate N<sup>o</sup></b>	-	BK30485
<b>Next Inspection Date</b>	-	03 Sep 2013	<b>Sample N<sup>o</sup></b>	-	25
<b>Survey Type</b>	-	Refurbishment & Demolition Survey	<b>Photograph N<sup>o</sup></b>	-	4664
<b>Position</b>	-	Sample Taken	<b>Location ID</b>	-	Loc19966

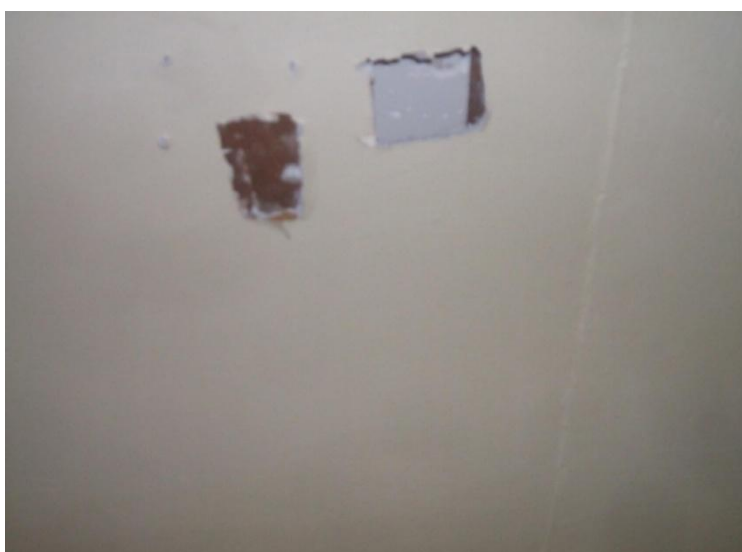
<b>Product Type</b>	-	N/A	<b>Surface Treatment</b>	-	N/A
<b>Asbestos Type</b>	-	No Asbestos Detected	<b>Damage Extent</b>	-	N/A
<b>Material Risk Score</b>	-	<b>0</b>	<b>Material Risk Band</b>	-	N/A

<b>Comments:</b>	-	
<b>Recommendations:</b>	-	

Client:	<b>Skanska</b>	Project No.	<b>SD724P/86213</b>
Site Address	<b>Old War Office, Horse Guards Avenue, London</b>	Page No.:	<b>Page 38 of 267</b>

### Location Survey Data Sheet

<b>Site Code/UPRN</b>	SD724P/86213	<b>Building</b>	Main Building
<b>Address</b>	The Old War Office Horse Guards Avenue Whitehall London	<b>Floor</b>	Basement
	SW1A 2HB	<b>Room</b>	Room B62 A
<b>Description</b>	Plasterboard ceiling.	<b>Quantity</b>	N/A
		<b>Asbestos Suspected</b>	<b>No</b>



<b>Last Inspection Date</b>	-	03 Sep 2012	<b>Certificate N<sup>o</sup></b>	-	BK30485
<b>Next Inspection Date</b>	-	03 Sep 2013	<b>Sample N<sup>o</sup></b>	-	26
<b>Survey Type</b>	-	Refurbishment & Demolition Survey	<b>Photograph N<sup>o</sup></b>	-	4665
<b>Position</b>	-	Sample Taken	<b>Location ID</b>	-	Loc19967

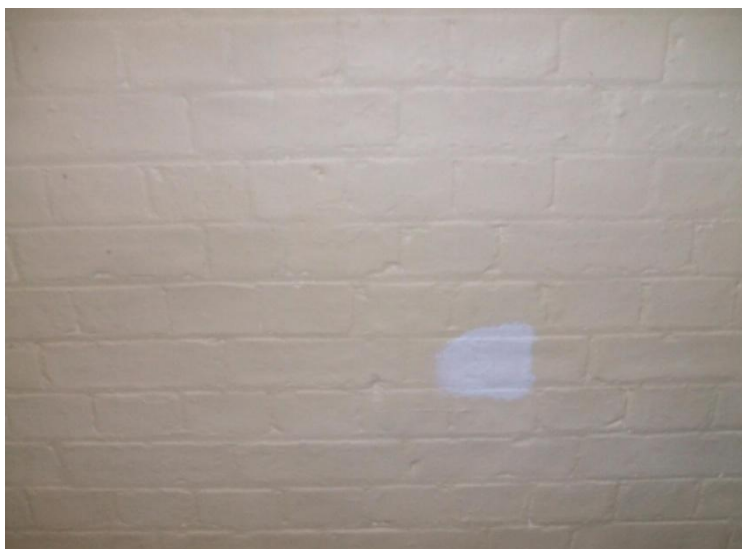
<b>Product Type</b>	-	N/A	<b>Surface Treatment</b>	-	N/A
<b>Asbestos Type</b>	-	No Asbestos Detected	<b>Damage Extent</b>	-	N/A
<b>Material Risk Score</b>	-	<b>0</b>	<b>Material Risk Band</b>	-	N/A

<b>Comments:</b>	-	
<b>Recommendations:</b>	-	

Client:	Skanska	Project No.	SD724P/86213
Site Address	Old War Office, Horse Guards Avenue, London	Page No.:	Page 39 of 267

### Location Survey Data Sheet

<b>Site Code/UPRN</b>	SD724P/86213	<b>Building</b>	Main Building
<b>Address</b>	The Old War Office Horse Guards Avenue Whitehall London	<b>Floor</b>	Basement
	SW1A 2HB	<b>Room</b>	Room B62 A
<b>Description</b>	Encapsulant to wall. Present to end wall.	<b>Quantity</b>	N/A
		<b>Asbestos Suspected</b>	<b>No</b>



<b>Last Inspection Date</b>	-	03 Sep 2012	<b>Certificate N°</b>	-	BK30485
<b>Next Inspection Date</b>	-	03 Sep 2013	<b>Sample N°</b>	-	21
<b>Survey Type</b>	-	Refurbishment & Demolition Survey	<b>Photograph N°</b>	-	4660
<b>Position</b>	-	Sample Taken	<b>Location ID</b>	-	Loc19962

<b>Product Type</b>	-	N/A	<b>Surface Treatment</b>	-	N/A
<b>Asbestos Type</b>	-	No Asbestos Detected	<b>Damage Extent</b>	-	N/A
<b>Material Risk Score</b>	-	<b>0</b>	<b>Material Risk Band</b>	-	N/A

<b>Comments:</b>	-	
<b>Recommendations:</b>	-	

Client:	Skanska	Project No.	SD724P/86213
Site Address	Old War Office, Horse Guards Avenue, London	Page No.:	Page 40 of 267

### Location Survey Data Sheet

<b>Site Code/UPRN</b>	SD724P/86213	<b>Building</b>	Main Building
<b>Address</b>	The Old War Office Horse Guards Avenue Whitehall London	<b>Floor</b>	Basement
	SW1A 2HB	<b>Room</b>	Room B62 A
<b>Description</b>	Encapsulant to wall. Adjacent to wall light switch.	<b>Quantity</b>	N/A
		<b>Asbestos Suspected</b>	<b>No</b>



<b>Last Inspection Date</b>	-	03 Sep 2012	<b>Certificate N°</b>	-	BK30485
<b>Next Inspection Date</b>	-	03 Sep 2013	<b>Sample N°</b>	-	23
<b>Survey Type</b>	-	Refurbishment & Demolition Survey	<b>Photograph N°</b>	-	4662
<b>Position</b>	-	Sample Taken	<b>Location ID</b>	-	Loc19964

<b>Product Type</b>	-	N/A	<b>Surface Treatment</b>	-	N/A
<b>Asbestos Type</b>	-	No Asbestos Detected	<b>Damage Extent</b>	-	N/A
<b>Material Risk Score</b>	-	<b>0</b>	<b>Material Risk Band</b>	-	N/A

<b>Comments:</b>	-	
<b>Recommendations:</b>	-	

Client:	<b>Skanska</b>	Project No.	<b>SD724P/86213</b>
Site Address	<b>Old War Office, Horse Guards Avenue, London</b>	Page No.:	<b>Page 41 of 267</b>

### Location Survey Data Sheet

<b>Site Code/UPRN</b>	SD724P/86213	<b>Building</b>	Main Building
<b>Address</b>	The Old War Office Horse Guards Avenue Whitehall London	<b>Floor</b>	Basement
	SW1A 2HB	<b>Room</b>	Stairwell 5
<b>Description</b>	Encapsulant to beam. Sample tane from beam immediatley above fire door.	<b>Quantity</b>	N/A
		<b>Asbestos Suspected</b>	<b>No</b>



<b>Last Inspection Date</b>	-	03 Sep 2012	<b>Certificate N°</b>	-	BK30485
<b>Next Inspection Date</b>	-	03 Sep 2013	<b>Sample N°</b>	-	19
<b>Survey Type</b>	-	Refurbishment & Demolition Survey	<b>Photograph N°</b>	-	4658
<b>Position</b>	-	Sample Taken	<b>Location ID</b>	-	Loc19960

<b>Product Type</b>	-	N/A	<b>Surface Treatment</b>	-	N/A
<b>Asbestos Type</b>	-	No Asbestos Detected	<b>Damage Extent</b>	-	N/A
<b>Material Risk Score</b>	-	<b>0</b>	<b>Material Risk Band</b>	-	N/A

<b>Comments:</b>	-	Encapsulant to beam. Sample tane from beam immediatley above fire door.
<b>Recommendations:</b>	-	

Client:	<b>Skanska</b>	Project No.	<b>SD724P/86213</b>
Site Address	<b>Old War Office, Horse Guards Avenue, London</b>	Page No.:	<b>Page 42 of 267</b>

### Location Survey Data Sheet

<b>Site Code/UPRN</b>	SD724P/86213	<b>Building</b>	Main Building
<b>Address</b>	The Old War Office Horse Guards Avenue Whitehall London	<b>Floor</b>	Basement
	SW1A 2HB	<b>Room</b>	Stairwell 5
<b>Description</b>	Plaster render. Sample taken from behind encapsulant to beam above fire door.	<b>Quantity</b>	N/A
		<b>Asbestos Suspected</b>	<b>No</b>



<b>Last Inspection Date</b>	-	03 Sep 2012	<b>Certificate N°</b>	-	BK30485
<b>Next Inspection Date</b>	-	03 Sep 2013	<b>Sample N°</b>	-	20
<b>Survey Type</b>	-	Refurbishment & Demolition Survey	<b>Photograph N°</b>	-	4659
<b>Position</b>	-	Sample Taken	<b>Location ID</b>	-	Loc19961

<b>Product Type</b>	-	N/A	<b>Surface Treatment</b>	-	N/A
<b>Asbestos Type</b>	-	No Asbestos Detected	<b>Damage Extent</b>	-	N/A
<b>Material Risk Score</b>	-	<b>0</b>	<b>Material Risk Band</b>	-	N/A

<b>Comments:</b>	-	
<b>Recommendations:</b>	-	

Client:	<b>Skanska</b>	Project No.	<b>SD724P/86213</b>
Site Address	<b>Old War Office, Horse Guards Avenue, London</b>	Page No.:	<b>Page 43 of 267</b>

### Location Survey Data Sheet

<b>Site Code/UPRN</b>	SD724P/86213	<b>Building</b>	Main Building
<b>Address</b>	The Old War Office Horse Guards Avenue Whitehall London	<b>Floor</b>	Ground (0)
	SW1A 2HB	<b>Room</b>	Room 045 A
<b>Description</b>	Fireplace (02) Firebrick within chimney.	<b>Quantity</b>	N/A
		<b>Asbestos Suspected</b>	<b>No</b>



<b>Last Inspection Date</b>	-	03 Sep 2012	<b>Certificate N<sup>o</sup></b>	-	BK30485
<b>Next Inspection Date</b>	-	03 Mar 2013	<b>Sample N<sup>o</sup></b>	-	65
<b>Survey Type</b>	-	Refurbishment & Demolition Survey	<b>Photograph N<sup>o</sup></b>	-	4704
<b>Position</b>	-	Internal	<b>Location ID</b>	-	Loc20006

<b>Product Type</b>	-	N/A	<b>Surface Treatment</b>	-	N/A
<b>Asbestos Type</b>	-	No Asbestos Detected	<b>Damage Extent</b>	-	N/A
<b>Material Risk Score</b>	-	<b>0</b>	<b>Material Risk Band</b>	-	N/A

<b>Comments:</b>	-	
<b>Recommendations:</b>	-	

Client:	<b>Skanska</b>	Project No.	<b>SD724P/86213</b>
Site Address	<b>Old War Office, Horse Guards Avenue, London</b>	Page No.:	<b>Page 44 of 267</b>

### Location Survey Data Sheet

<b>Site Code/UPRN</b>	SD724P/86213	<b>Building</b>	Main Building
<b>Address</b>	The Old War Office Horse Guards Avenue Whitehall London	<b>Floor</b>	Ground (0)
	SW1A 2HB	<b>Room</b>	Room 045 A
<b>Description</b>	Fireplace (02)- Fire brick mortar.	<b>Quantity</b>	N/A
		<b>Asbestos Suspected</b>	<b>No</b>



<b>Last Inspection Date</b>	-	03 Sep 2012	<b>Certificate N°</b>	-	BK30485
<b>Next Inspection Date</b>	-	03 Sep 2013	<b>Sample N°</b>	-	66
<b>Survey Type</b>	-	Refurbishment & Demolition Survey	<b>Photograph N°</b>	-	4705
<b>Position</b>	-	Internal	<b>Location ID</b>	-	Loc20007

<b>Product Type</b>	-	N/A	<b>Surface Treatment</b>	-	N/A
<b>Asbestos Type</b>	-	No Asbestos Detected	<b>Damage Extent</b>	-	N/A
<b>Material Risk Score</b>	-	<b>0</b>	<b>Material Risk Band</b>	-	N/A

<b>Comments:</b>	-	
<b>Recommendations:</b>	-	

Client:	<b>Skanska</b>	Project No.	<b>SD724P/86213</b>
Site Address	<b>Old War Office, Horse Guards Avenue, London</b>	Page No.:	<b>Page 45 of 267</b>



### Location Survey Data Sheet

<b>Site Code/UPRN</b>	SD724P/86213	<b>Building</b>	Main Building
<b>Address</b>	The Old War Office Horse Guards Avenue Whitehall London	<b>Floor</b>	Ground (0)
	SW1A 2HB	<b>Room</b>	Room 045 A
<b>Description</b>	Fireplace (01)- Fire brick mortar.	<b>Quantity</b>	N/A
		<b>Asbestos Suspected</b>	<b>No</b>



<b>Last Inspection Date</b>	-	03 Sep 2012	<b>Certificate N<sup>o</sup></b>	-	BK30485
<b>Next Inspection Date</b>	-	03 Sep 2013	<b>Sample N<sup>o</sup></b>	-	64
<b>Survey Type</b>	-	Refurbishment & Demolition Survey	<b>Photograph N<sup>o</sup></b>	-	4703
<b>Position</b>	-	Sample Taken	<b>Location ID</b>	-	Loc20005

<b>Product Type</b>	-	N/A	<b>Surface Treatment</b>	-	N/A
<b>Asbestos Type</b>	-	No Asbestos Detected	<b>Damage Extent</b>	-	N/A
<b>Material Risk Score</b>	-	<b>0</b>	<b>Material Risk Band</b>	-	N/A

<b>Comments:</b>	-	
<b>Recommendations:</b>	-	

Client:	Skanska	Project No.	SD724P/86213
Site Address	Old War Office, Horse Guards Avenue, London	Page No.:	Page 46 of 267

### Location Survey Data Sheet

<b>Site Code/UPRN</b>	SD724P/86213	<b>Building</b>	Main Building
<b>Address</b>	The Old War Office Horse Guards Avenue Whitehall London	<b>Floor</b>	Ground (0)
	SW1A 2HB	<b>Room</b>	Room 045 A
<b>Description</b>	Fireplace (01) Firebrick within chimney.	<b>Quantity</b>	N/A
		<b>Asbestos Suspected</b>	<b>No</b>



<b>Last Inspection Date</b>	-	03 Sep 2012	<b>Certificate N°</b>	-	BK30485
<b>Next Inspection Date</b>	-	03 Sep 2013	<b>Sample N°</b>	-	63
<b>Survey Type</b>	-	Refurbishment & Demolition Survey	<b>Photograph N°</b>	-	4702
<b>Position</b>	-	Sample Taken	<b>Location ID</b>	-	Loc20004

<b>Product Type</b>	-	N/A	<b>Surface Treatment</b>	-	N/A
<b>Asbestos Type</b>	-	No Asbestos Detected	<b>Damage Extent</b>	-	N/A
<b>Material Risk Score</b>	-	<b>0</b>	<b>Material Risk Band</b>	-	N/A

<b>Comments:</b>	-	
<b>Recommendations:</b>	-	

Client:	<b>Skanska</b>	Project No.	<b>SD724P/86213</b>
Site Address	<b>Old War Office, Horse Guards Avenue, London</b>	Page No.:	<b>Page 47 of 267</b>

### Location Survey Data Sheet

<b>Site Code/UPRN</b>	SD724P/86213	<b>Building</b>	Main Building
<b>Address</b>	The Old War Office Horse Guards Avenue Whitehall London	<b>Floor</b>	Lower Ground (00)
	SW1A 2HB	<b>Room</b>	Corridor WES 335
<b>Description</b>	Plasterboard to high level beam.	<b>Quantity</b>	N/A
		<b>Asbestos Suspected</b>	<b>No</b>



<b>Last Inspection Date</b>	-	03 Sep 2012	<b>Certificate N°</b>	-	BK30485
<b>Next Inspection Date</b>	-	03 Sep 2013	<b>Sample N°</b>	-	61
<b>Survey Type</b>	-	Refurbishment & Demolition Survey	<b>Photograph N°</b>	-	4700
<b>Position</b>	-	Sample Taken	<b>Location ID</b>	-	Loc20002

<b>Product Type</b>	-	N/A	<b>Surface Treatment</b>	-	N/A
<b>Asbestos Type</b>	-	No Asbestos Detected	<b>Damage Extent</b>	-	N/A
<b>Material Risk Score</b>	-	<b>0</b>	<b>Material Risk Band</b>	-	N/A

<b>Comments:</b>	-	
<b>Recommendations:</b>	-	

Client:	<b>Skanska</b>	Project No.	<b>SD724P/86213</b>
Site Address	<b>Old War Office, Horse Guards Avenue, London</b>	Page No.:	<b>Page 48 of 267</b>

### Location Survey Data Sheet

<b>Site Code/UPRN</b>	SD724P/86213	<b>Building</b>	Main Building
<b>Address</b>	The Old War Office Horse Guards Avenue Whitehall London	<b>Floor</b>	Lower Ground (00)
	SW1A 2HB	<b>Room</b>	Corridor WES 335
<b>Description</b>	Plaster to high level beam. Showing steel RSJ behind plasterboard boxing.	<b>Quantity</b>	N/A
		<b>Asbestos Suspected</b>	<b>No</b>



<b>Last Inspection Date</b>	-	03 Sep 2012	<b>Certificate N°</b>	-	BK30485
<b>Next Inspection Date</b>	-	03 Sep 2013	<b>Sample N°</b>	-	62
<b>Survey Type</b>	-	Refurbishment & Demolition Survey	<b>Photograph N°</b>	-	4701
<b>Position</b>	-	Sample Taken	<b>Location ID</b>	-	Loc20003

<b>Product Type</b>	-	N/A	<b>Surface Treatment</b>	-	N/A
<b>Asbestos Type</b>	-	No Asbestos Detected	<b>Damage Extent</b>	-	N/A
<b>Material Risk Score</b>	-	<b>0</b>	<b>Material Risk Band</b>	-	N/A

<b>Comments:</b>	-	
<b>Recommendations:</b>	-	

Client:	<b>Skanska</b>	Project No.	<b>SD724P/86213</b>
Site Address	<b>Old War Office, Horse Guards Avenue, London</b>	Page No.:	<b>Page 49 of 267</b>

### Location Survey Data Sheet

<b>Site Code/UPRN</b>	SD724P/86213	<b>Building</b>	Main Building
<b>Address</b>	The Old War Office Horse Guards Avenue Whitehall London	<b>Floor</b>	Lower Ground (00)
	SW1A 2HB	<b>Room</b>	Room 022
<b>Description</b>	Central Partition Wall- Mortar line.	<b>Quantity</b>	N/A
		<b>Asbestos Suspected</b>	<b>No</b>



<b>Last Inspection Date</b>	-	03 Sep 2012	<b>Certificate N°</b>	-	BK30485
<b>Next Inspection Date</b>	-	03 Sep 2013	<b>Sample N°</b>	-	40
<b>Survey Type</b>	-	Refurbishment & Demolition Survey	<b>Photograph N°</b>	-	4676
<b>Position</b>	-	Sample Taken	<b>Location ID</b>	-	Loc19981

<b>Product Type</b>	-	N/A	<b>Surface Treatment</b>	-	N/A
<b>Asbestos Type</b>	-	No Asbestos Detected	<b>Damage Extent</b>	-	N/A
<b>Material Risk Score</b>	-	<b>0</b>	<b>Material Risk Band</b>	-	N/A

<b>Comments:</b>	-	
<b>Recommendations:</b>	-	

Client:	Skanska	Project No.	SD724P/86213
Site Address	Old War Office, Horse Guards Avenue, London	Page No.:	Page 50 of 267

### Location Survey Data Sheet

<b>Site Code/UPRN</b>	SD724P/86213	<b>Building</b>	Main Building
<b>Address</b>	The Old War Office Horse Guards Avenue Whitehall London	<b>Floor</b>	Lower Ground (00)
	SW1A 2HB	<b>Room</b>	Room 022
<b>Description</b>	Chimney Stack- PLaster finish to walls. Present to stack.	<b>Quantity</b>	N/A
		<b>Asbestos Suspected</b>	<b>No</b>



<b>Last Inspection Date</b>	-	03 Sep 2012	<b>Certificate N°</b>	-	BK30485
<b>Next Inspection Date</b>	-	03 Sep 2013	<b>Sample N°</b>	-	30
<b>Survey Type</b>	-	Refurbishment & Demolition Survey	<b>Photograph N°</b>	-	4669
<b>Position</b>	-	Sample Taken	<b>Location ID</b>	-	Loc19971

<b>Product Type</b>	-	N/A	<b>Surface Treatment</b>	-	N/A
<b>Asbestos Type</b>	-	No Asbestos Detected	<b>Damage Extent</b>	-	N/A
<b>Material Risk Score</b>	-	<b>0</b>	<b>Material Risk Band</b>	-	N/A

<b>Comments:</b>	-	
<b>Recommendations:</b>	-	

Client:	<b>Skanska</b>	Project No.	<b>SD724P/86213</b>
Site Address	<b>Old War Office, Horse Guards Avenue, London</b>	Page No.:	<b>Page 51 of 267</b>

### Location Survey Data Sheet

<b>Site Code/UPRN</b>	SD724P/86213	<b>Building</b>	Main Building
<b>Address</b>	The Old War Office Horse Guards Avenue Whitehall London	<b>Floor</b>	Lower Ground (00)
	SW1A 2HB	<b>Room</b>	Room 022
<b>Description</b>	Chimney Stack- Render present to stack behind render.	<b>Quantity</b>	N/A
		<b>Asbestos Suspected</b>	<b>No</b>



<b>Last Inspection Date</b>	-	03 Sep 2012	<b>Certificate N°</b>	-	BK30485
<b>Next Inspection Date</b>	-	03 Sep 2013	<b>Sample N°</b>	-	31
<b>Survey Type</b>	-	Refurbishment & Demolition Survey	<b>Photograph N°</b>	-	4670
<b>Position</b>	-	Internal	<b>Location ID</b>	-	Loc19972

<b>Product Type</b>	-	N/A	<b>Surface Treatment</b>	-	N/A
<b>Asbestos Type</b>	-	No Asbestos Detected	<b>Damage Extent</b>	-	N/A
<b>Material Risk Score</b>	-	<b>0</b>	<b>Material Risk Band</b>	-	N/A

<b>Comments:</b>	-	
<b>Recommendations:</b>	-	

Client:	<b>Skanska</b>	Project No.	<b>SD724P/86213</b>
Site Address	<b>Old War Office, Horse Guards Avenue, London</b>	Page No.:	<b>Page 52 of 267</b>

### Location Survey Data Sheet

<b>Site Code/UPRN</b>	SD724P/86213	<b>Building</b>	Main Building
<b>Address</b>	The Old War Office Horse Guards Avenue Whitehall London	<b>Floor</b>	Lower Ground (00)
	SW1A 2HB	<b>Room</b>	Room 022
<b>Description</b>	Chimney Stack- Mortar line to brickwork.	<b>Quantity</b>	N/A
		<b>Asbestos Suspected</b>	<b>No</b>



<b>Last Inspection Date</b>	-	03 Sep 2012	<b>Certificate N°</b>	-	BK30485
<b>Next Inspection Date</b>	-	03 Sep 2013	<b>Sample N°</b>	-	32
<b>Survey Type</b>	-	Refurbishment & Demolition Survey	<b>Photograph N°</b>	-	4671
<b>Position</b>	-	Sample Taken	<b>Location ID</b>	-	Loc19973

<b>Product Type</b>	-	N/A	<b>Surface Treatment</b>	-	N/A
<b>Asbestos Type</b>	-	No Asbestos Detected	<b>Damage Extent</b>	-	N/A
<b>Material Risk Score</b>	-	<b>0</b>	<b>Material Risk Band</b>	-	N/A

<b>Comments:</b>	-	
<b>Recommendations:</b>	-	

Client:	<b>Skanska</b>	Project No.	<b>SD724P/86213</b>
Site Address	<b>Old War Office, Horse Guards Avenue, London</b>	Page No.:	<b>Page 53 of 267</b>



### Location Survey Data Sheet

<b>Site Code/UPRN</b>	SD724P/86213	<b>Building</b>	Main Building
<b>Address</b>	The Old War Office Horse Guards Avenue Whitehall London	<b>Floor</b>	Lower Ground (00)
	SW1A 2HB	<b>Room</b>	Room 022
<b>Description</b>	Plaster finish to walls. Left side of stack.	<b>Quantity</b>	N/A
		<b>Asbestos Suspected</b>	<b>No</b>



<b>Last Inspection Date</b>	-	03 Sep 2012	<b>Certificate N°</b>	-	BK30485
<b>Next Inspection Date</b>	-	03 Sep 2013	<b>Sample N°</b>	-	33
<b>Survey Type</b>	-	Refurbishment & Demolition Survey	<b>Photograph N°</b>	-	4672
<b>Position</b>	-	Sample Taken	<b>Location ID</b>	-	Loc19974

<b>Product Type</b>	-	N/A	<b>Surface Treatment</b>	-	N/A
<b>Asbestos Type</b>	-	No Asbestos Detected	<b>Damage Extent</b>	-	N/A
<b>Material Risk Score</b>	-	<b>0</b>	<b>Material Risk Band</b>	-	N/A

<b>Comments:</b>	-	
<b>Recommendations:</b>	-	

Client:	<b>Skanska</b>	Project No.	<b>SD724P/86213</b>
Site Address	<b>Old War Office, Horse Guards Avenue, London</b>	Page No.:	<b>Page 54 of 267</b>

### Location Survey Data Sheet

<b>Site Code/UPRN</b>	SD724P/86213	<b>Building</b>	Main Building
<b>Address</b>	The Old War Office Horse Guards Avenue Whitehall London	<b>Floor</b>	Lower Ground (00)
	SW1A 2HB	<b>Room</b>	Room 022
<b>Description</b>	Render walls. Left side of stack.	<b>Quantity</b>	N/A
		<b>Asbestos Suspected</b>	<b>No</b>



<b>Last Inspection Date</b>	-	03 Sep 2012	<b>Certificate N<sup>o</sup></b>	-	BK30485
<b>Next Inspection Date</b>	-	03 Sep 2013	<b>Sample N<sup>o</sup></b>	-	34
<b>Survey Type</b>	-	Refurbishment & Demolition Survey	<b>Photograph N<sup>o</sup></b>	-	4673
<b>Position</b>	-	Sample Taken	<b>Location ID</b>	-	Loc19975

<b>Product Type</b>	-	N/A	<b>Surface Treatment</b>	-	N/A
<b>Asbestos Type</b>	-	No Asbestos Detected	<b>Damage Extent</b>	-	N/A
<b>Material Risk Score</b>	-	<b>0</b>	<b>Material Risk Band</b>	-	N/A

<b>Comments:</b>	-	
<b>Recommendations:</b>	-	

Client:	<b>Skanska</b>	Project No.	<b>SD724P/86213</b>
Site Address	<b>Old War Office, Horse Guards Avenue, London</b>	Page No.:	<b>Page 55 of 267</b>

### Location Survey Data Sheet

<b>Site Code/UPRN</b>	SD724P/86213	<b>Building</b>	Main Building
<b>Address</b>	The Old War Office Horse Guards Avenue Whitehall London	<b>Floor</b>	Lower Ground (00)
	SW1A 2HB	<b>Room</b>	Room 022
<b>Description</b>	Plaster ceiling.	<b>Quantity</b>	N/A
		<b>Asbestos Suspected</b>	<b>No</b>



<b>Last Inspection Date</b>	-	03 Sep 2012	<b>Certificate N°</b>	-	BK30485
<b>Next Inspection Date</b>	-	03 Sep 2013	<b>Sample N°</b>	-	37
<b>Survey Type</b>	-	Refurbishment & Demolition Survey	<b>Photograph N°</b>	-	4678
<b>Position</b>	-	Sample Taken	<b>Location ID</b>	-	Loc19978

<b>Product Type</b>	-	N/A	<b>Surface Treatment</b>	-	N/A
<b>Asbestos Type</b>	-	No Asbestos Detected	<b>Damage Extent</b>	-	N/A
<b>Material Risk Score</b>	-	<b>0</b>	<b>Material Risk Band</b>	-	N/A

<b>Comments:</b>	-	
<b>Recommendations:</b>	-	

Client:	Skanska	Project No.	SD724P/86213
Site Address	Old War Office, Horse Guards Avenue, London	Page No.:	Page 56 of 267

### Location Survey Data Sheet

<b>Site Code/UPRN</b>	SD724P/86213	<b>Building</b>	Main Building
<b>Address</b>	The Old War Office Horse Guards Avenue Whitehall London	<b>Floor</b>	Lower Ground (00)
	SW1A 2HB	<b>Room</b>	Room 022
		<b>Quantity</b>	N/A
<b>Description</b>	Plaster ceiling finish.	<b>Asbestos Suspected</b>	<b>No</b>



<b>Last Inspection Date</b>	-	03 Sep 2012	<b>Certificate N<sup>o</sup></b>	-	BK30485
<b>Next Inspection Date</b>	-	03 Sep 2013	<b>Sample N<sup>o</sup></b>	-	36
<b>Survey Type</b>	-	Refurbishment & Demolition Survey	<b>Photograph N<sup>o</sup></b>	-	4677
<b>Position</b>	-	Sample Taken	<b>Location ID</b>	-	Loc19977

<b>Product Type</b>	-	N/A	<b>Surface Treatment</b>	-	N/A
<b>Asbestos Type</b>	-	No Asbestos Detected	<b>Damage Extent</b>	-	N/A
<b>Material Risk Score</b>	-	<b>0</b>	<b>Material Risk Band</b>	-	N/A

<b>Comments:</b>	-	
<b>Recommendations:</b>	-	

Client:	Skanska	Project No.	SD724P/86213
Site Address	Old War Office, Horse Guards Avenue, London	Page No.:	Page 57 of 267

### Location Survey Data Sheet

<b>Site Code/UPRN</b>	SD724P/86213	<b>Building</b>	Main Building
<b>Address</b>	The Old War Office Horse Guards Avenue Whitehall London	<b>Floor</b>	Lower Ground (00)
	SW1A 2HB	<b>Room</b>	Room 022
<b>Description</b>	Mortar ceiling above plaster.	<b>Quantity</b>	N/A
		<b>Asbestos Suspected</b>	<b>No</b>



<b>Last Inspection Date</b>	-	03 Sep 2012	<b>Certificate N°</b>	-	BK30485
<b>Next Inspection Date</b>	-	03 Sep 2013	<b>Sample N°</b>	-	38
<b>Survey Type</b>	-	Refurbishment & Demolition Survey	<b>Photograph N°</b>	-	4679
<b>Position</b>	-	Sample Taken	<b>Location ID</b>	-	Loc19979

<b>Product Type</b>	-	N/A	<b>Surface Treatment</b>	-	N/A
<b>Asbestos Type</b>	-	No Asbestos Detected	<b>Damage Extent</b>	-	N/A
<b>Material Risk Score</b>	-	<b>0</b>	<b>Material Risk Band</b>	-	N/A

<b>Comments:</b>	-	
<b>Recommendations:</b>	-	

Client:	<b>Skanska</b>	Project No.	<b>SD724P/86213</b>
Site Address	<b>Old War Office, Horse Guards Avenue, London</b>	Page No.:	<b>Page 58 of 267</b>

### Location Survey Data Sheet

<b>Site Code/UPRN</b>	SD724P/86213	<b>Building</b>	Main Building
<b>Address</b>	The Old War Office Horse Guards Avenue Whitehall London	<b>Floor</b>	Lower Ground (00)
	SW1A 2HB	<b>Room</b>	Room 022
<b>Description</b>	Central Partition Wall- Plaster & render.	<b>Quantity</b>	N/A
		<b>Asbestos Suspected</b>	<b>No</b>



<b>Last Inspection Date</b>	-	03 Sep 2012	<b>Certificate N°</b>	-	BK30485
<b>Next Inspection Date</b>	-	03 Sep 2013	<b>Sample N°</b>	-	39
<b>Survey Type</b>	-	Refurbishment & Demolition Survey	<b>Photograph N°</b>	-	4675
<b>Position</b>	-	Sample Taken	<b>Location ID</b>	-	Loc19980

<b>Product Type</b>	-	N/A	<b>Surface Treatment</b>	-	N/A
<b>Asbestos Type</b>	-	No Asbestos Detected	<b>Damage Extent</b>	-	N/A
<b>Material Risk Score</b>	-	<b>0</b>	<b>Material Risk Band</b>	-	N/A

<b>Comments:</b>	-	
<b>Recommendations:</b>	-	

Client:	<b>Skanska</b>	Project No.	<b>SD724P/86213</b>
Site Address	<b>Old War Office, Horse Guards Avenue, London</b>	Page No.:	<b>Page 59 of 267</b>

### Location Survey Data Sheet

<b>Site Code/UPRN</b>	SD724P/86213	<b>Building</b>	Main Building
<b>Address</b>	The Old War Office Horse Guards Avenue Whitehall London	<b>Floor</b>	Lower Ground (00)
	SW1A 2HB	<b>Room</b>	Room 022
		<b>Quantity</b>	N/A
<b>Description</b>	Mortar walls. Left side of stack.	<b>Asbestos Suspected</b>	<b>No</b>



<b>Last Inspection Date</b>	-	03 Sep 2012	<b>Certificate N<sup>o</sup></b>	-	BK30485
<b>Next Inspection Date</b>	-	03 Sep 2013	<b>Sample N<sup>o</sup></b>	-	35
<b>Survey Type</b>	-	Refurbishment & Demolition Survey	<b>Photograph N<sup>o</sup></b>	-	4674
<b>Position</b>	-	Sample Taken	<b>Location ID</b>	-	Loc19976

<b>Product Type</b>	-	N/A	<b>Surface Treatment</b>	-	N/A
<b>Asbestos Type</b>	-	No Asbestos Detected	<b>Damage Extent</b>	-	N/A
<b>Material Risk Score</b>	-	<b>0</b>	<b>Material Risk Band</b>	-	N/A

<b>Comments:</b>	-	
<b>Recommendations:</b>	-	

Client:	Skanska	Project No.	SD724P/86213
Site Address	Old War Office, Horse Guards Avenue, London	Page No.:	Page 60 of 267

### Location Survey Data Sheet

<b>Site Code/UPRN</b>	SD724P/86213	<b>Building</b>	Main Building
<b>Address</b>	The Old War Office Horse Guards Avenue Whitehall London	<b>Floor</b>	Lower Ground (00)
	SW1A 2HB	<b>Room</b>	Room 026
<b>Description</b>	Mortar line wall (corridor)	<b>Quantity</b>	N/A
		<b>Asbestos Suspected</b>	<b>No</b>



<b>Last Inspection Date</b>	-	03 Sep 2012	<b>Certificate N<sup>o</sup></b>	-	BK30485
<b>Next Inspection Date</b>	-	03 Sep 2013	<b>Sample N<sup>o</sup></b>	-	46
<b>Survey Type</b>	-	Refurbishment & Demolition Survey	<b>Photograph N<sup>o</sup></b>	-	4685
<b>Position</b>	-	Sample Taken	<b>Location ID</b>	-	Loc19987

<b>Product Type</b>	-	N/A	<b>Surface Treatment</b>	-	N/A
<b>Asbestos Type</b>	-	No Asbestos Detected	<b>Damage Extent</b>	-	N/A
<b>Material Risk Score</b>	-	<b>0</b>	<b>Material Risk Band</b>	-	N/A

<b>Comments:</b>	-	
<b>Recommendations:</b>	-	

Client:	<b>Skanska</b>	Project No.	<b>SD724P/86213</b>
Site Address	<b>Old War Office, Horse Guards Avenue, London</b>	Page No.:	<b>Page 61 of 267</b>



### Location Survey Data Sheet

<b>Site Code/UPRN</b>	SD724P/86213	<b>Building</b>	Main Building
<b>Address</b>	The Old War Office Horse Guards Avenue Whitehall London	<b>Floor</b>	Lower Ground (00)
	SW1A 2HB	<b>Room</b>	Room 026
<b>Description</b>	Concrete over plaster ceiling.	<b>Quantity</b>	N/A
		<b>Asbestos Suspected</b>	<b>No</b>



<b>Last Inspection Date</b>	-	03 Sep 2012	<b>Certificate N<sup>o</sup></b>	-	BK30485
<b>Next Inspection Date</b>	-	03 Sep 2013	<b>Sample N<sup>o</sup></b>	-	42
<b>Survey Type</b>	-	Refurbishment & Demolition Survey	<b>Photograph N<sup>o</sup></b>	-	4681
<b>Position</b>	-	Sample Taken	<b>Location ID</b>	-	Loc19983

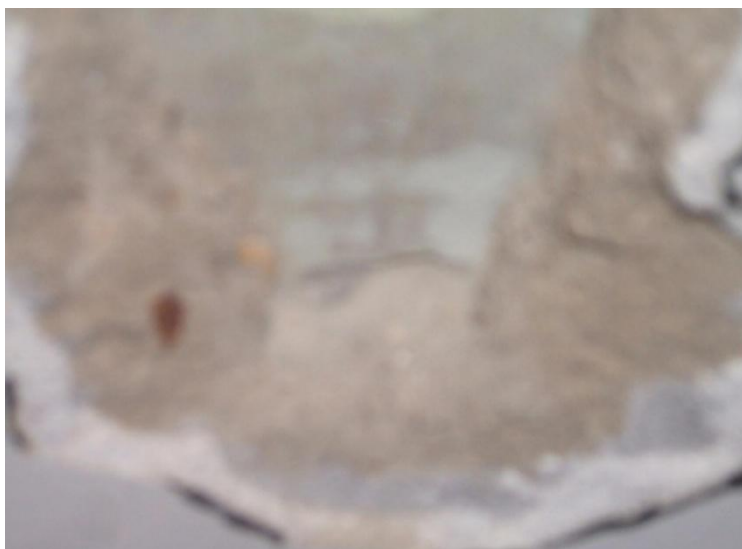
<b>Product Type</b>	-	N/A	<b>Surface Treatment</b>	-	N/A
<b>Asbestos Type</b>	-	No Asbestos Detected	<b>Damage Extent</b>	-	N/A
<b>Material Risk Score</b>	-	<b>0</b>	<b>Material Risk Band</b>	-	N/A

<b>Comments:</b>	-	
<b>Recommendations:</b>	-	

Client:	<b>Skanska</b>	Project No.	<b>SD724P/86213</b>
Site Address	<b>Old War Office, Horse Guards Avenue, London</b>	Page No.:	<b>Page 62 of 267</b>

### Location Survey Data Sheet

<b>Site Code/UPRN</b>	SD724P/86213	<b>Building</b>	Main Building
<b>Address</b>	The Old War Office Horse Guards Avenue Whitehall London	<b>Floor</b>	Lower Ground (00)
	SW1A 2HB	<b>Room</b>	Room 026
<b>Description</b>	Mortar lines to left side wall. Adjacent to wall socket.	<b>Quantity</b>	N/A
		<b>Asbestos Suspected</b>	<b>No</b>



<b>Last Inspection Date</b>	-	03 Sep 2012	<b>Certificate N<sup>o</sup></b>	-	BK30485
<b>Next Inspection Date</b>	-	03 Sep 2013	<b>Sample N<sup>o</sup></b>	-	44
<b>Survey Type</b>	-	Refurbishment & Demolition Survey	<b>Photograph N<sup>o</sup></b>	-	4683
<b>Position</b>	-	Sample Taken	<b>Location ID</b>	-	Loc19985

<b>Product Type</b>	-	N/A	<b>Surface Treatment</b>	-	N/A
<b>Asbestos Type</b>	-	No Asbestos Detected	<b>Damage Extent</b>	-	N/A
<b>Material Risk Score</b>	-	<b>0</b>	<b>Material Risk Band</b>	-	N/A

<b>Comments:</b>	-	
<b>Recommendations:</b>	-	

Client:	<b>Skanska</b>	Project No.	<b>SD724P/86213</b>
Site Address	<b>Old War Office, Horse Guards Avenue, London</b>	Page No.:	<b>Page 63 of 267</b>

### Location Survey Data Sheet

<b>Site Code/UPRN</b>	SD724P/86213	<b>Building</b>	Main Building
<b>Address</b>	The Old War Office Horse Guards Avenue Whitehall London	<b>Floor</b>	Lower Ground (00)
	SW1A 2HB	<b>Room</b>	Room 026
<b>Description</b>	Plaster & render to left side wall. Adjacent to wall socket.	<b>Quantity</b>	N/A
		<b>Asbestos Suspected</b>	<b>No</b>



<b>Last Inspection Date</b>	-	03 Sep 2012	<b>Certificate N°</b>	-	BK30485
<b>Next Inspection Date</b>	-	03 Sep 2013	<b>Sample N°</b>	-	43
<b>Survey Type</b>	-	Refurbishment & Demolition Survey	<b>Photograph N°</b>	-	4682
<b>Position</b>	-	Sample Taken	<b>Location ID</b>	-	Loc19984

<b>Product Type</b>	-	N/A	<b>Surface Treatment</b>	-	N/A
<b>Asbestos Type</b>	-	No Asbestos Detected	<b>Damage Extent</b>	-	N/A
<b>Material Risk Score</b>	-	<b>0</b>	<b>Material Risk Band</b>	-	N/A

<b>Comments:</b>	-	
<b>Recommendations:</b>	-	

Client:	<b>Skanska</b>	Project No.	<b>SD724P/86213</b>
Site Address	<b>Old War Office, Horse Guards Avenue, London</b>	Page No.:	<b>Page 64 of 267</b>

### Location Survey Data Sheet

<b>Site Code/UPRN</b>	SD724P/86213	<b>Building</b>	Main Building
<b>Address</b>	The Old War Office Horse Guards Avenue Whitehall London  SW1A 2HB	<b>Floor</b>	Lower Ground (00)
		<b>Room</b>	Room 026
		<b>Quantity</b>	N/A
<b>Description</b>	Plaster finish ceiling.	<b>Asbestos Suspected</b>	<b>No</b>



<b>Last Inspection Date</b>	-	03 Sep 2012	<b>Certificate N<sup>o</sup></b>	-	BK30485
<b>Next Inspection Date</b>	-	03 Sep 2013	<b>Sample N<sup>o</sup></b>	-	41
<b>Survey Type</b>	-	Refurbishment & Demolition Survey	<b>Photograph N<sup>o</sup></b>	-	4680
<b>Position</b>	-	Sample Taken	<b>Location ID</b>	-	Loc19982

<b>Product Type</b>	-	N/A	<b>Surface Treatment</b>	-	N/A
<b>Asbestos Type</b>	-	No Asbestos Detected	<b>Damage Extent</b>	-	N/A
<b>Material Risk Score</b>	-	<b>0</b>	<b>Material Risk Band</b>	-	N/A

<b>Comments:</b>	-	
<b>Recommendations:</b>	-	

Client:	<b>Skanska</b>	Project No.	<b>SD724P/86213</b>
Site Address	<b>Old War Office, Horse Guards Avenue, London</b>	Page No.:	<b>Page 65 of 267</b>

### Location Survey Data Sheet

<b>Site Code/UPRN</b>	SD724P/86213	<b>Building</b>	Main Building
<b>Address</b>	The Old War Office Horse Guards Avenue Whitehall London	<b>Floor</b>	Lower Ground (00)
	SW1A 2HB	<b>Room</b>	Room 026
<b>Description</b>	Plastered wall (corridor).	<b>Quantity</b>	N/A
		<b>Asbestos Suspected</b>	<b>No</b>



<b>Last Inspection Date</b>	-	03 Sep 2012	<b>Certificate N<sup>o</sup></b>	-	BK30485
<b>Next Inspection Date</b>	-	03 Sep 2013	<b>Sample N<sup>o</sup></b>	-	45
<b>Survey Type</b>	-	Refurbishment & Demolition Survey	<b>Photograph N<sup>o</sup></b>	-	4684
<b>Position</b>	-	Internal	<b>Location ID</b>	-	Loc19986

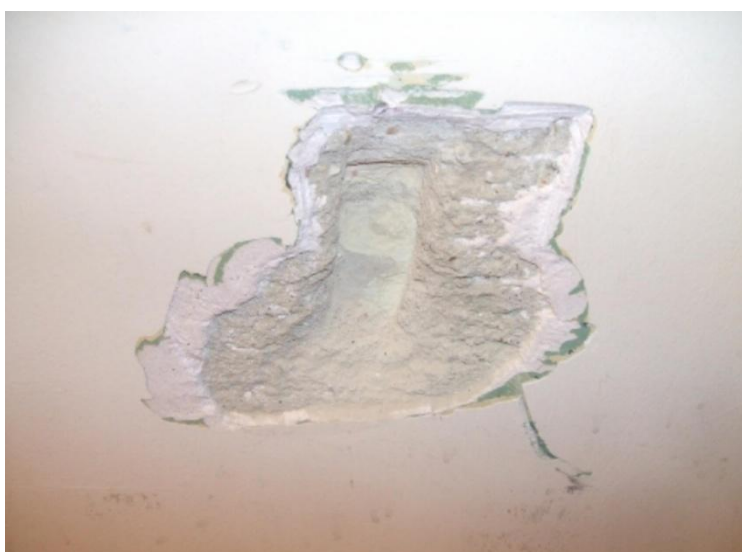
<b>Product Type</b>	-	N/A	<b>Surface Treatment</b>	-	N/A
<b>Asbestos Type</b>	-	No Asbestos Detected	<b>Damage Extent</b>	-	N/A
<b>Material Risk Score</b>	-	<b>0</b>	<b>Material Risk Band</b>	-	N/A

<b>Comments:</b>	-	
<b>Recommendations:</b>	-	

Client:	Skanska	Project No.	SD724P/86213
Site Address	Old War Office, Horse Guards Avenue, London	Page No.:	Page 66 of 267

### Location Survey Data Sheet

<b>Site Code/UPRN</b>	SD724P/86213	<b>Building</b>	Main Building
<b>Address</b>	The Old War Office Horse Guards Avenue Whitehall London	<b>Floor</b>	Lower Ground (00)
	SW1A 2HB	<b>Room</b>	Room 031A
<b>Description</b>	Plaster & render wall. Adjacent to socket.	<b>Quantity</b>	N/A
		<b>Asbestos Suspected</b>	<b>No</b>



<b>Last Inspection Date</b>	-	03 Sep 2012	<b>Certificate N<sup>o</sup></b>	-	BK30485
<b>Next Inspection Date</b>	-	03 Sep 2013	<b>Sample N<sup>o</sup></b>	-	51
<b>Survey Type</b>	-	Refurbishment & Demolition Survey	<b>Photograph N<sup>o</sup></b>	-	4690
<b>Position</b>	-	Sample Taken	<b>Location ID</b>	-	Loc19992

<b>Product Type</b>	-	N/A	<b>Surface Treatment</b>	-	N/A
<b>Asbestos Type</b>	-	No Asbestos Detected	<b>Damage Extent</b>	-	N/A
<b>Material Risk Score</b>	-	<b>0</b>	<b>Material Risk Band</b>	-	N/A

<b>Comments:</b>	-	
<b>Recommendations:</b>	-	

Client:	<b>Skanska</b>	Project No.	<b>SD724P/86213</b>
Site Address	<b>Old War Office, Horse Guards Avenue, London</b>	Page No.:	<b>Page 67 of 267</b>

### Location Survey Data Sheet

<b>Site Code/UPRN</b>	SD724P/86213	<b>Building</b>	Main Building
<b>Address</b>	The Old War Office Horse Guards Avenue Whitehall London  SW1A 2HB	<b>Floor</b>	Lower Ground (00)
		<b>Room</b>	Room 031A
		<b>Quantity</b>	N/A
<b>Description</b>	Mortar line walls. Adjacent to socket.	<b>Asbestos Suspected</b>	<b>No</b>



<b>Last Inspection Date</b>	-	03 Sep 2012	<b>Certificate N<sup>o</sup></b>	-	BK30485
<b>Next Inspection Date</b>	-	03 Sep 2013	<b>Sample N<sup>o</sup></b>	-	52
<b>Survey Type</b>	-	Refurbishment & Demolition Survey	<b>Photograph N<sup>o</sup></b>	-	4691
<b>Position</b>	-	Sample Taken	<b>Location ID</b>	-	Loc19993

<b>Product Type</b>	-	N/A	<b>Surface Treatment</b>	-	N/A
<b>Asbestos Type</b>	-	No Asbestos Detected	<b>Damage Extent</b>	-	N/A
<b>Material Risk Score</b>	-	<b>0</b>	<b>Material Risk Band</b>	-	N/A

<b>Comments:</b>	-	
<b>Recommendations:</b>	-	

Client:	<b>Skanska</b>	Project No.	<b>SD724P/86213</b>
Site Address	<b>Old War Office, Horse Guards Avenue, London</b>	Page No.:	<b>Page 68 of 267</b>

### Location Survey Data Sheet

<b>Site Code/UPRN</b>	SD724P/86213	<b>Building</b>	Main Building
<b>Address</b>	The Old War Office Horse Guards Avenue Whitehall London	<b>Floor</b>	Lower Ground (00)
	SW1A 2HB	<b>Room</b>	Room 031A
<b>Description</b>	Mortar line walls. (Left side)	<b>Quantity</b>	N/A
		<b>Asbestos Suspected</b>	<b>No</b>



<b>Last Inspection Date</b>	-	03 Sep 2012	<b>Certificate N°</b>	-	BK30485
<b>Next Inspection Date</b>	-	03 Sep 2013	<b>Sample N°</b>	-	50
<b>Survey Type</b>	-	Refurbishment & Demolition Survey	<b>Photograph N°</b>	-	4689
<b>Position</b>	-	Sample Taken	<b>Location ID</b>	-	Loc19991

<b>Product Type</b>	-	N/A	<b>Surface Treatment</b>	-	N/A
<b>Asbestos Type</b>	-	No Asbestos Detected	<b>Damage Extent</b>	-	N/A
<b>Material Risk Score</b>	-	<b>0</b>	<b>Material Risk Band</b>	-	N/A

<b>Comments:</b>	-	
<b>Recommendations:</b>	-	

Client:	Skanska	Project No.	SD724P/86213
Site Address	Old War Office, Horse Guards Avenue, London	Page No.:	Page 69 of 267



### Location Survey Data Sheet

<b>Site Code/UPRN</b>	SD724P/86213	<b>Building</b>	Main Building
<b>Address</b>	The Old War Office Horse Guards Avenue Whitehall London	<b>Floor</b>	Lower Ground (00)
	SW1A 2HB	<b>Room</b>	Room 031A
<b>Description</b>	Concrete ceiling (over plaster)	<b>Quantity</b>	N/A
		<b>Asbestos Suspected</b>	<b>No</b>



<b>Last Inspection Date</b>	-	03 Sep 2012	<b>Certificate N<sup>o</sup></b>	-	BK30485
<b>Next Inspection Date</b>	-	03 Sep 2013	<b>Sample N<sup>o</sup></b>	-	48
<b>Survey Type</b>	-	Refurbishment & Demolition Survey	<b>Photograph N<sup>o</sup></b>	-	4687
<b>Position</b>	-	Sample Taken	<b>Location ID</b>	-	Loc19989

<b>Product Type</b>	-	N/A	<b>Surface Treatment</b>	-	N/A
<b>Asbestos Type</b>	-	No Asbestos Detected	<b>Damage Extent</b>	-	N/A
<b>Material Risk Score</b>	-	<b>0</b>	<b>Material Risk Band</b>	-	N/A

<b>Comments:</b>	-	
<b>Recommendations:</b>	-	

Client:	<b>Skanska</b>	Project No.	<b>SD724P/86213</b>
Site Address	<b>Old War Office, Horse Guards Avenue, London</b>	Page No.:	<b>Page 70 of 267</b>

### Location Survey Data Sheet

<b>Site Code/UPRN</b>	SD724P/86213	<b>Building</b>	Main Building
<b>Address</b>	The Old War Office Horse Guards Avenue Whitehall London	<b>Floor</b>	Lower Ground (00)
	SW1A 2HB	<b>Room</b>	Room 031A
<b>Description</b>	Plaster & render walls. (Left side)	<b>Quantity</b>	N/A
		<b>Asbestos Suspected</b>	<b>No</b>



<b>Last Inspection Date</b>	-	03 Sep 2012	<b>Certificate N<sup>o</sup></b>	-	BK30485
<b>Next Inspection Date</b>	-	03 Sep 2013	<b>Sample N<sup>o</sup></b>	-	49
<b>Survey Type</b>	-	Refurbishment & Demolition Survey	<b>Photograph N<sup>o</sup></b>	-	4688
<b>Position</b>	-	Sample Taken	<b>Location ID</b>	-	Loc19990

<b>Product Type</b>	-	N/A	<b>Surface Treatment</b>	-	N/A
<b>Asbestos Type</b>	-	No Asbestos Detected	<b>Damage Extent</b>	-	N/A
<b>Material Risk Score</b>	-	<b>0</b>	<b>Material Risk Band</b>	-	N/A

<b>Comments:</b>	-	
<b>Recommendations:</b>	-	

Client:	Skanska	Project No.	SD724P/86213
Site Address	Old War Office, Horse Guards Avenue, London	Page No.:	Page 71 of 267

### Location Survey Data Sheet

<b>Site Code/UPRN</b>	SD724P/86213	<b>Building</b>	Main Building
<b>Address</b>	The Old War Office Horse Guards Avenue Whitehall London	<b>Floor</b>	Lower Ground (00)
	SW1A 2HB	<b>Room</b>	Room 031A
<b>Description</b>	Plaster ceiling.	<b>Quantity</b>	N/A
		<b>Asbestos Suspected</b>	<b>No</b>



<b>Last Inspection Date</b>	-	03 Sep 2012	<b>Certificate N<sup>o</sup></b>	-	BK30485
<b>Next Inspection Date</b>	-	03 Sep 2013	<b>Sample N<sup>o</sup></b>	-	47
<b>Survey Type</b>	-	Refurbishment & Demolition Survey	<b>Photograph N<sup>o</sup></b>	-	4686
<b>Position</b>	-	Sample Taken	<b>Location ID</b>	-	Loc19988

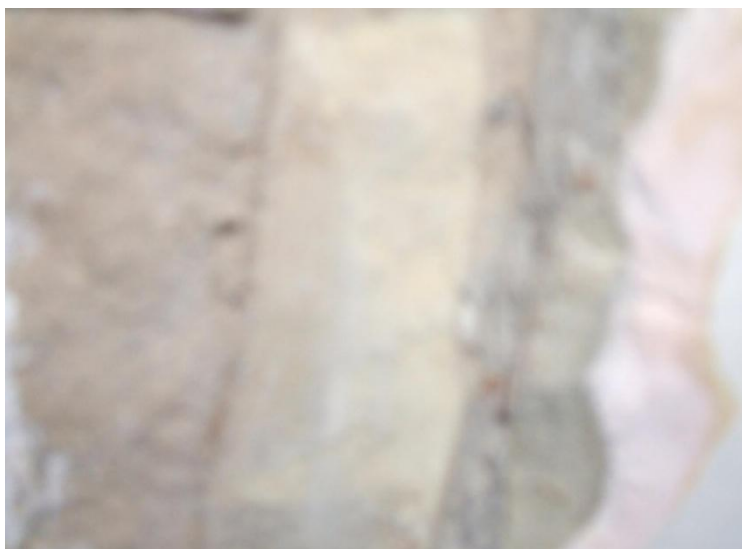
<b>Product Type</b>	-	N/A	<b>Surface Treatment</b>	-	N/A
<b>Asbestos Type</b>	-	No Asbestos Detected	<b>Damage Extent</b>	-	N/A
<b>Material Risk Score</b>	-	<b>0</b>	<b>Material Risk Band</b>	-	N/A

<b>Comments:</b>	-	
<b>Recommendations:</b>	-	

Client:	<b>Skanska</b>	Project No.	<b>SD724P/86213</b>
Site Address	<b>Old War Office, Horse Guards Avenue, London</b>	Page No.:	<b>Page 72 of 267</b>

### Location Survey Data Sheet

<b>Site Code/UPRN</b>	SD724P/86213	<b>Building</b>	Main Building
<b>Address</b>	The Old War Office Horse Guards Avenue Whitehall London	<b>Floor</b>	Lower Ground (00)
	SW1A 2HB	<b>Room</b>	Room 036
<b>Description</b>	Mortar line wall.	<b>Quantity</b>	N/A
		<b>Asbestos Suspected</b>	<b>No</b>



<b>Last Inspection Date</b>	-	03 Sep 2012	<b>Certificate N<sup>o</sup></b>	-	BK30485
<b>Next Inspection Date</b>	-	03 Sep 2013	<b>Sample N<sup>o</sup></b>	-	60
<b>Survey Type</b>	-	Refurbishment & Demolition Survey	<b>Photograph N<sup>o</sup></b>	-	4699
<b>Position</b>	-	Sample Taken	<b>Location ID</b>	-	Loc20001

<b>Product Type</b>	-	N/A	<b>Surface Treatment</b>	-	N/A
<b>Asbestos Type</b>	-	No Asbestos Detected	<b>Damage Extent</b>	-	N/A
<b>Material Risk Score</b>	-	<b>0</b>	<b>Material Risk Band</b>	-	N/A

<b>Comments:</b>	-	
<b>Recommendations:</b>	-	

Client:	<b>Skanska</b>	Project No.	<b>SD724P/86213</b>
Site Address	<b>Old War Office, Horse Guards Avenue, London</b>	Page No.:	<b>Page 73 of 267</b>

### Location Survey Data Sheet

<b>Site Code/UPRN</b>	SD724P/86213	<b>Building</b>	Main Building
<b>Address</b>	The Old War Office Horse Guards Avenue Whitehall London	<b>Floor</b>	Lower Ground (00)
	SW1A 2HB	<b>Room</b>	Room 036
<b>Description</b>	Plaster ceiling.	<b>Quantity</b>	N/A
		<b>Asbestos Suspected</b>	<b>No</b>



<b>Last Inspection Date</b>	-	03 Sep 2012	<b>Certificate N<sup>o</sup></b>	-	BK30485
<b>Next Inspection Date</b>	-	03 Sep 2013	<b>Sample N<sup>o</sup></b>	-	55
<b>Survey Type</b>	-	Refurbishment & Demolition Survey	<b>Photograph N<sup>o</sup></b>	-	4694
<b>Position</b>	-	Sample Taken	<b>Location ID</b>	-	Loc19996

<b>Product Type</b>	-	N/A	<b>Surface Treatment</b>	-	N/A
<b>Asbestos Type</b>	-	No Asbestos Detected	<b>Damage Extent</b>	-	N/A
<b>Material Risk Score</b>	-	<b>0</b>	<b>Material Risk Band</b>	-	N/A

<b>Comments:</b>	-	
<b>Recommendations:</b>	-	

Client:	<b>Skanska</b>	Project No.	<b>SD724P/86213</b>
Site Address	<b>Old War Office, Horse Guards Avenue, London</b>	Page No.:	<b>Page 74 of 267</b>

### Location Survey Data Sheet

<b>Site Code/UPRN</b>	SD724P/86213	<b>Building</b>	Main Building
<b>Address</b>	The Old War Office Horse Guards Avenue Whitehall London	<b>Floor</b>	Lower Ground (00)
	SW1A 2HB	<b>Room</b>	Room 036
		<b>Quantity</b>	N/A
<b>Description</b>	Plaster & render wall.	<b>Asbestos Suspected</b>	<b>No</b>



<b>Last Inspection Date</b>	-	03 Sep 2012	<b>Certificate N<sup>o</sup></b>	-	BK30485
<b>Next Inspection Date</b>	-	03 Sep 2013	<b>Sample N<sup>o</sup></b>	-	59
<b>Survey Type</b>	-	Refurbishment & Demolition Survey	<b>Photograph N<sup>o</sup></b>	-	4698
<b>Position</b>	-	Sample Taken	<b>Location ID</b>	-	Loc20000

<b>Product Type</b>	-	N/A	<b>Surface Treatment</b>	-	N/A
<b>Asbestos Type</b>	-	No Asbestos Detected	<b>Damage Extent</b>	-	N/A
<b>Material Risk Score</b>	-	<b>0</b>	<b>Material Risk Band</b>	-	N/A

<b>Comments:</b>	-	
<b>Recommendations:</b>	-	

Client:	Skanska	Project No.	SD724P/86213
Site Address	Old War Office, Horse Guards Avenue, London	Page No.:	Page 75 of 267

### Location Survey Data Sheet

<b>Site Code/UPRN</b>	SD724P/86213	<b>Building</b>	Main Building
<b>Address</b>	The Old War Office Horse Guards Avenue Whitehall London	<b>Floor</b>	Lower Ground (00)
	SW1A 2HB	<b>Room</b>	Room 036
<b>Description</b>	Plaster & render above socket over corridor wall.	<b>Quantity</b>	N/A
		<b>Asbestos Suspected</b>	<b>No</b>



<b>Last Inspection Date</b>	-	03 Sep 2012	<b>Certificate N<sup>o</sup></b>	-	BK30485
<b>Next Inspection Date</b>	-	03 Sep 2013	<b>Sample N<sup>o</sup></b>	-	57
<b>Survey Type</b>	-	Refurbishment & Demolition Survey	<b>Photograph N<sup>o</sup></b>	-	4696
<b>Position</b>	-	Sample Taken	<b>Location ID</b>	-	Loc19998

<b>Product Type</b>	-	N/A	<b>Surface Treatment</b>	-	N/A
<b>Asbestos Type</b>	-	No Asbestos Detected	<b>Damage Extent</b>	-	N/A
<b>Material Risk Score</b>	-	<b>0</b>	<b>Material Risk Band</b>	-	N/A

<b>Comments:</b>	-	
<b>Recommendations:</b>	-	

Client:	<b>Skanska</b>	Project No.	<b>SD724P/86213</b>
Site Address	<b>Old War Office, Horse Guards Avenue, London</b>	Page No.:	<b>Page 76 of 267</b>

### Location Survey Data Sheet

<b>Site Code/UPRN</b>	SD724P/86213	<b>Building</b>	Main Building
<b>Address</b>	The Old War Office Horse Guards Avenue Whitehall London	<b>Floor</b>	Lower Ground (00)
	SW1A 2HB	<b>Room</b>	Room 036
		<b>Quantity</b>	N/A
<b>Description</b>	Concrete plaster over ceiling.	<b>Asbestos Suspected</b>	<b>No</b>



<b>Last Inspection Date</b>	-	03 Sep 2012	<b>Certificate N<sup>o</sup></b>	-	BK30485
<b>Next Inspection Date</b>	-	03 Sep 2013	<b>Sample N<sup>o</sup></b>	-	56
<b>Survey Type</b>	-	Refurbishment & Demolition Survey	<b>Photograph N<sup>o</sup></b>	-	4695
<b>Position</b>	-	Sample Taken	<b>Location ID</b>	-	Loc19997

<b>Product Type</b>	-	N/A	<b>Surface Treatment</b>	-	N/A
<b>Asbestos Type</b>	-	No Asbestos Detected	<b>Damage Extent</b>	-	N/A
<b>Material Risk Score</b>	-	<b>0</b>	<b>Material Risk Band</b>	-	N/A

<b>Comments:</b>	-	
<b>Recommendations:</b>	-	

Client:	Skanska	Project No.	SD724P/86213
Site Address	Old War Office, Horse Guards Avenue, London	Page No.:	Page 77 of 267



### Location Survey Data Sheet

<b>Site Code/UPRN</b>	SD724P/86213	<b>Building</b>	Main Building
<b>Address</b>	The Old War Office Horse Guards Avenue Whitehall London	<b>Floor</b>	Lower Ground (00)
	SW1A 2HB	<b>Room</b>	Room 036
<b>Description</b>	Mortar line above socket over corridor wall.	<b>Quantity</b>	N/A
		<b>Asbestos Suspected</b>	<b>No</b>



<b>Last Inspection Date</b>	-	03 Sep 2012	<b>Certificate N°</b>	-	BK30485
<b>Next Inspection Date</b>	-	03 Sep 2013	<b>Sample N°</b>	-	58
<b>Survey Type</b>	-	Refurbishment & Demolition Survey	<b>Photograph N°</b>	-	4697
<b>Position</b>	-	Sample Taken	<b>Location ID</b>	-	Loc19999

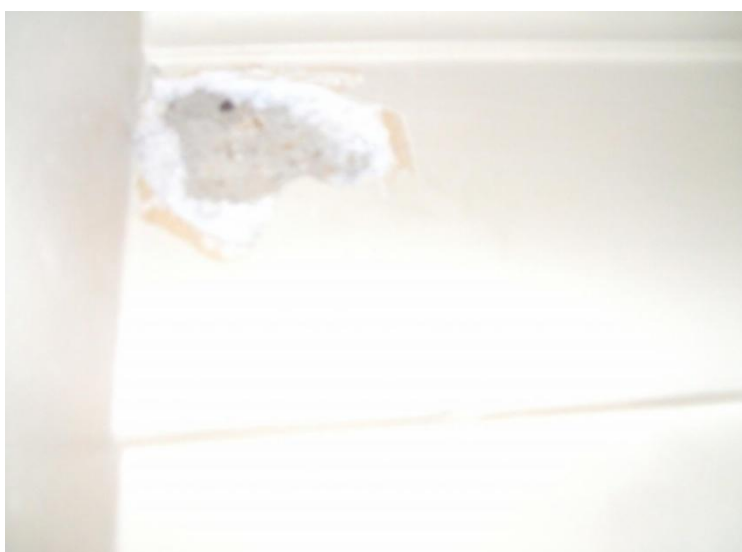
<b>Product Type</b>	-	N/A	<b>Surface Treatment</b>	-	N/A
<b>Asbestos Type</b>	-	No Asbestos Detected	<b>Damage Extent</b>	-	N/A
<b>Material Risk Score</b>	-	<b>0</b>	<b>Material Risk Band</b>	-	N/A

<b>Comments:</b>	-	
<b>Recommendations:</b>	-	

Client:	<b>Skanska</b>	Project No.	<b>SD724P/86213</b>
Site Address	<b>Old War Office, Horse Guards Avenue, London</b>	Page No.:	<b>Page 78 of 267</b>

### Location Survey Data Sheet

<b>Site Code/UPRN</b>	SD724P/86213	<b>Building</b>	Main Building
<b>Address</b>	The Old War Office Horse Guards Avenue Whitehall London	<b>Floor</b>	Lower Ground (00)
	SW1A 2HB	<b>Room</b>	Room- Stair 3
		<b>Quantity</b>	N/A
<b>Description</b>	Concrete ceiling beam.	<b>Asbestos Suspected</b>	<b>No</b>



<b>Last Inspection Date</b>	-	03 Sep 2012	<b>Certificate N°</b>	-	BK30485
<b>Next Inspection Date</b>	-	03 Sep 2013	<b>Sample N°</b>	-	54
<b>Survey Type</b>	-	Refurbishment & Demolition Survey	<b>Photograph N°</b>	-	4693
<b>Position</b>	-	Sample Taken	<b>Location ID</b>	-	Loc19995

<b>Product Type</b>	-	N/A	<b>Surface Treatment</b>	-	N/A
<b>Asbestos Type</b>	-	No Asbestos Detected	<b>Damage Extent</b>	-	N/A
<b>Material Risk Score</b>	-	<b>0</b>	<b>Material Risk Band</b>	-	N/A

<b>Comments:</b>	-	
<b>Recommendations:</b>	-	

Client:	<b>Skanska</b>	Project No.	<b>SD724P/86213</b>
Site Address	<b>Old War Office, Horse Guards Avenue, London</b>	Page No.:	<b>Page 79 of 267</b>

### Location Survey Data Sheet

<b>Site Code/UPRN</b>	SD724P/86213	<b>Building</b>	Main Building
<b>Address</b>	The Old War Office Horse Guards Avenue Whitehall London	<b>Floor</b>	Lower Ground (00)
	SW1A 2HB	<b>Room</b>	Room- Stair 3
		<b>Quantity</b>	N/A
<b>Description</b>	Plaster finish to beam.	<b>Asbestos Suspected</b>	<b>No</b>

**No  
Image  
Available**

<b>Last Inspection Date</b>	-	03 Sep 2012	<b>Certificate N<sup>o</sup></b>	-	BK30485
<b>Next Inspection Date</b>	-	03 Sep 2013	<b>Sample N<sup>o</sup></b>	-	53
<b>Survey Type</b>	-	Refurbishment & Demolition Survey	<b>Photograph N<sup>o</sup></b>	-	4692
<b>Position</b>	-	Sample Taken	<b>Location ID</b>	-	Loc19994

<b>Product Type</b>	-	N/A	<b>Surface Treatment</b>	-	N/A
<b>Asbestos Type</b>	-	No Asbestos Detected	<b>Damage Extent</b>	-	N/A
<b>Material Risk Score</b>	-	<b>0</b>	<b>Material Risk Band</b>	-	N/A

<b>Comments:</b>	-	
<b>Recommendations:</b>	-	

Client:	<b>Skanska</b>	Project No.	<b>SD724P/86213</b>
Site Address	<b>Old War Office, Horse Guards Avenue, London</b>	Page No.:	<b>Page 80 of 267</b>

### Location Survey Data Sheet

<b>Site Code/UPRN</b>	SD724P/86213	<b>Building</b>	Whitehall
<b>Address</b>	The Old War Office Horse Guards Avenue Whitehall London	<b>Floor</b>	First Floor
	SW1A 2HB	<b>Room</b>	Room 125 A
<b>Description</b>	Asphlat/ concrete ceiling.	<b>Quantity</b>	N/A
		<b>Asbestos Suspected</b>	<b>No</b>



<b>Last Inspection Date</b>	-	03 Sep 2012	<b>Certificate N<sup>o</sup></b>	-	BK30786
<b>Next Inspection Date</b>	-	03 Sep 2013	<b>Sample N<sup>o</sup></b>	-	182
<b>Survey Type</b>	-	Refurbishment & Demolition Survey	<b>Photograph N<sup>o</sup></b>	-	4903
<b>Position</b>	-	Sample Taken	<b>Location ID</b>	-	Loc20126

<b>Product Type</b>	-	N/A	<b>Surface Treatment</b>	-	N/A
<b>Asbestos Type</b>	-	No Asbestos Detected	<b>Damage Extent</b>	-	N/A
<b>Material Risk Score</b>	-	<b>0</b>	<b>Material Risk Band</b>	-	N/A

<b>Comments:</b>	-	
<b>Recommendations:</b>	-	

Client:	Skanska	Project No.	SD724P/86213
Site Address	Old War Office, Horse Guards Avenue, London	Page No.:	Page 81 of 267

### Location Survey Data Sheet

<b>Site Code/UPRN</b>	SD724P/86213	<b>Building</b>	Whitehall
<b>Address</b>	The Old War Office Horse Guards Avenue Whitehall London	<b>Floor</b>	First Floor
	SW1A 2HB	<b>Room</b>	Room 125 A
		<b>Quantity</b>	N/A
<b>Description</b>	Plaster & render walls.	<b>Asbestos Suspected</b>	<b>No</b>



<b>Last Inspection Date</b>	-	03 Sep 2012	<b>Certificate N°</b>	-	BK30786
<b>Next Inspection Date</b>	-	03 Sep 2013	<b>Sample N°</b>	-	185
<b>Survey Type</b>	-	Refurbishment & Demolition Survey	<b>Photograph N°</b>	-	4906
<b>Position</b>	-	Sample Taken	<b>Location ID</b>	-	Loc20129

<b>Product Type</b>	-	N/A	<b>Surface Treatment</b>	-	N/A
<b>Asbestos Type</b>	-	No Asbestos Detected	<b>Damage Extent</b>	-	N/A
<b>Material Risk Score</b>	-	<b>0</b>	<b>Material Risk Band</b>	-	N/A

<b>Comments:</b>	-	
<b>Recommendations:</b>	-	

Client:	Skanska	Project No.	SD724P/86213
Site Address	Old War Office, Horse Guards Avenue, London	Page No.:	Page 82 of 267

### Location Survey Data Sheet

<b>Site Code/UPRN</b>	SD724P/86213	<b>Building</b>	Whitehall
<b>Address</b>	The Old War Office Horse Guards Avenue Whitehall London	<b>Floor</b>	First Floor
	SW1A 2HB	<b>Room</b>	Room 125 A
<b>Description</b>	Plaster & render walls.	<b>Quantity</b>	N/A
		<b>Asbestos Suspected</b>	<b>No</b>



<b>Last Inspection Date</b>	-	03 Sep 2012	<b>Certificate N<sup>o</sup></b>	-	BK30786
<b>Next Inspection Date</b>	-	03 Sep 2013	<b>Sample N<sup>o</sup></b>	-	183
<b>Survey Type</b>	-	Refurbishment & Demolition Survey	<b>Photograph N<sup>o</sup></b>	-	4904
<b>Position</b>	-	Sample Taken	<b>Location ID</b>	-	Loc20127

<b>Product Type</b>	-	N/A	<b>Surface Treatment</b>	-	N/A
<b>Asbestos Type</b>	-	No Asbestos Detected	<b>Damage Extent</b>	-	N/A
<b>Material Risk Score</b>	-	<b>0</b>	<b>Material Risk Band</b>	-	N/A

<b>Comments:</b>	-	
<b>Recommendations:</b>	-	

Client:	<b>Skanska</b>	Project No.	<b>SD724P/86213</b>
Site Address	<b>Old War Office, Horse Guards Avenue, London</b>	Page No.:	<b>Page 83 of 267</b>

### Location Survey Data Sheet

<b>Site Code/UPRN</b>	SD724P/86213	<b>Building</b>	Whitehall
<b>Address</b>	The Old War Office Horse Guards Avenue Whitehall London	<b>Floor</b>	First Floor
	SW1A 2HB	<b>Room</b>	Room 125 A
		<b>Quantity</b>	N/A
<b>Description</b>	Mortar line walls.	<b>Asbestos Suspected</b>	<b>No</b>

**No  
Image  
Available**

<b>Last Inspection Date</b>	-	03 Sep 2012	<b>Certificate N<sup>o</sup></b>	-	BK30786
<b>Next Inspection Date</b>	-	03 Sep 2013	<b>Sample N<sup>o</sup></b>	-	188
<b>Survey Type</b>	-	Refurbishment & Demolition Survey	<b>Photograph N<sup>o</sup></b>	-	4909
<b>Position</b>	-	Sample Taken	<b>Location ID</b>	-	Loc20132

<b>Product Type</b>	-	N/A	<b>Surface Treatment</b>	-	N/A
<b>Asbestos Type</b>	-	No Asbestos Detected	<b>Damage Extent</b>	-	N/A
<b>Material Risk Score</b>	-	<b>0</b>	<b>Material Risk Band</b>	-	N/A

<b>Comments:</b>	-	
<b>Recommendations:</b>	-	

Client:	Skanska	Project No.	SD724P/86213
Site Address	Old War Office, Horse Guards Avenue, London	Page No.:	Page 84 of 267

### Location Survey Data Sheet

<b>Site Code/UPRN</b>	SD724P/86213	<b>Building</b>	Whitehall
<b>Address</b>	The Old War Office Horse Guards Avenue Whitehall London	<b>Floor</b>	First Floor
	SW1A 2HB	<b>Room</b>	Room 125 A
<b>Description</b>	Mortar line walls.	<b>Quantity</b>	N/A
		<b>Asbestos Suspected</b>	<b>No</b>



<b>Last Inspection Date</b>	-	03 Sep 2012	<b>Certificate N<sup>o</sup></b>	-	BK30786
<b>Next Inspection Date</b>	-	03 Sep 2013	<b>Sample N<sup>o</sup></b>	-	186
<b>Survey Type</b>	-	Refurbishment & Demolition Survey	<b>Photograph N<sup>o</sup></b>	-	4907
<b>Position</b>	-	Sample Taken	<b>Location ID</b>	-	Loc20130

<b>Product Type</b>	-	N/A	<b>Surface Treatment</b>	-	N/A
<b>Asbestos Type</b>	-	No Asbestos Detected	<b>Damage Extent</b>	-	N/A
<b>Material Risk Score</b>	-	<b>0</b>	<b>Material Risk Band</b>	-	N/A

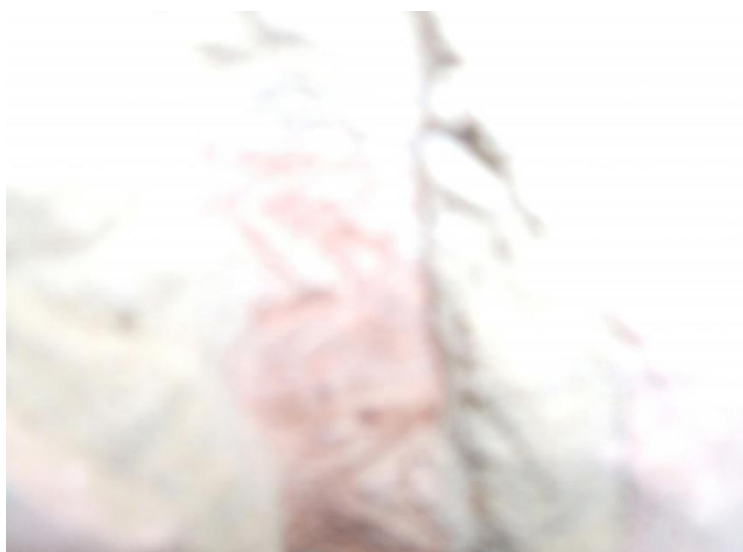
<b>Comments:</b>	-	
<b>Recommendations:</b>	-	

Client:	Skanska	Project No.	SD724P/86213
Site Address	Old War Office, Horse Guards Avenue, London	Page No.:	Page 85 of 267



### Location Survey Data Sheet

<b>Site Code/UPRN</b>	SD724P/86213	<b>Building</b>	Whitehall
<b>Address</b>	The Old War Office Horse Guards Avenue Whitehall London	<b>Floor</b>	First Floor
	SW1A 2HB	<b>Room</b>	Room 125 A
		<b>Quantity</b>	N/A
<b>Description</b>	Mortar line walls.	<b>Asbestos Suspected</b>	<b>No</b>



<b>Last Inspection Date</b>	-	03 Sep 2012	<b>Certificate N<sup>o</sup></b>	-	BK30786
<b>Next Inspection Date</b>	-	03 Sep 2013	<b>Sample N<sup>o</sup></b>	-	184
<b>Survey Type</b>	-	Refurbishment & Demolition Survey	<b>Photograph N<sup>o</sup></b>	-	4905
<b>Position</b>	-	Sample Taken	<b>Location ID</b>	-	Loc20128

<b>Product Type</b>	-	N/A	<b>Surface Treatment</b>	-	N/A
<b>Asbestos Type</b>	-	No Asbestos Detected	<b>Damage Extent</b>	-	N/A
<b>Material Risk Score</b>	-	<b>0</b>	<b>Material Risk Band</b>	-	N/A

<b>Comments:</b>	-	
<b>Recommendations:</b>	-	

Client:	<b>Skanska</b>	Project No.	<b>SD724P/86213</b>
Site Address	<b>Old War Office, Horse Guards Avenue, London</b>	Page No.:	<b>Page 86 of 267</b>

### Location Survey Data Sheet

<b>Site Code/UPRN</b>	SD724P/86213	<b>Building</b>	Whitehall
<b>Address</b>	The Old War Office Horse Guards Avenue Whitehall London	<b>Floor</b>	First Floor
	SW1A 2HB	<b>Room</b>	Room 125 A
<b>Description</b>	Plaster ceiling.	<b>Quantity</b>	N/A
		<b>Asbestos Suspected</b>	<b>No</b>



<b>Last Inspection Date</b>	-	03 Sep 2012	<b>Certificate N°</b>	-	BK30786
<b>Next Inspection Date</b>	-	03 Sep 2013	<b>Sample N°</b>	-	181
<b>Survey Type</b>	-	Refurbishment & Demolition Survey	<b>Photograph N°</b>	-	4902
<b>Position</b>	-	Sample Taken	<b>Location ID</b>	-	Loc20125

<b>Product Type</b>	-	N/A	<b>Surface Treatment</b>	-	N/A
<b>Asbestos Type</b>	-	No Asbestos Detected	<b>Damage Extent</b>	-	N/A
<b>Material Risk Score</b>	-	<b>0</b>	<b>Material Risk Band</b>	-	N/A

<b>Comments:</b>	-	
<b>Recommendations:</b>	-	

Client:	<b>Skanska</b>	Project No.	<b>SD724P/86213</b>
Site Address	<b>Old War Office, Horse Guards Avenue, London</b>	Page No.:	<b>Page 87 of 267</b>

### Location Survey Data Sheet

<b>Site Code/UPRN</b>	SD724P/86213	<b>Building</b>	Whitehall
<b>Address</b>	The Old War Office Horse Guards Avenue Whitehall London	<b>Floor</b>	First Floor
	SW1A 2HB	<b>Room</b>	Room 125 A
<b>Description</b>	Plaster/ render walls.	<b>Quantity</b>	N/A
		<b>Asbestos Suspected</b>	<b>No</b>



<b>Last Inspection Date</b>	-	03 Sep 2012	<b>Certificate N<sup>o</sup></b>	-	BK30786
<b>Next Inspection Date</b>	-	03 Sep 2013	<b>Sample N<sup>o</sup></b>	-	187
<b>Survey Type</b>	-	Refurbishment & Demolition Survey	<b>Photograph N<sup>o</sup></b>	-	4908
<b>Position</b>	-	Sample Taken	<b>Location ID</b>	-	Loc20131

<b>Product Type</b>	-	N/A	<b>Surface Treatment</b>	-	N/A
<b>Asbestos Type</b>	-	No Asbestos Detected	<b>Damage Extent</b>	-	N/A
<b>Material Risk Score</b>	-	<b>0</b>	<b>Material Risk Band</b>	-	N/A

<b>Comments:</b>	-	
<b>Recommendations:</b>	-	

Client:	Skanska	Project No.	SD724P/86213
Site Address	Old War Office, Horse Guards Avenue, London	Page No.:	Page 88 of 267

### Location Survey Data Sheet

<b>Site Code/UPRN</b>	SD724P/86213	<b>Building</b>	Whitehall
<b>Address</b>	The Old War Office Horse Guards Avenue Whitehall London	<b>Floor</b>	First Floor
	SW1A 2HB	<b>Room</b>	Room 127
<b>Description</b>	Plaster & render wall. Adjacent wall- window recess.	<b>Quantity</b>	N/A
		<b>Asbestos Suspected</b>	<b>No</b>



<b>Last Inspection Date</b>	-	03 Sep 2012	<b>Certificate N°</b>	-	BK30786
<b>Next Inspection Date</b>	-	03 Sep 2013	<b>Sample N°</b>	-	179
<b>Survey Type</b>	-	Refurbishment & Demolition Survey	<b>Photograph N°</b>	-	4897
<b>Position</b>	-	Sample Taken	<b>Location ID</b>	-	Loc20123

<b>Product Type</b>	-	N/A	<b>Surface Treatment</b>	-	N/A
<b>Asbestos Type</b>	-	No Asbestos Detected	<b>Damage Extent</b>	-	N/A
<b>Material Risk Score</b>	-	<b>0</b>	<b>Material Risk Band</b>	-	N/A

<b>Comments:</b>	-	
<b>Recommendations:</b>	-	

Client:	<b>Skanska</b>	Project No.	<b>SD724P/86213</b>
Site Address	<b>Old War Office, Horse Guards Avenue, London</b>	Page No.:	<b>Page 89 of 267</b>

### Location Survey Data Sheet

<b>Site Code/UPRN</b>	SD724P/86213	<b>Building</b>	Whitehall
<b>Address</b>	The Old War Office Horse Guards Avenue Whitehall London	<b>Floor</b>	First Floor
	SW1A 2HB	<b>Room</b>	Room 127
<b>Description</b>	Plaster finish ceiling.	<b>Quantity</b>	N/A
		<b>Asbestos Suspected</b>	<b>No</b>



<b>Last Inspection Date</b>	-	03 Sep 2012	<b>Certificate N<sup>o</sup></b>	-	BK30786
<b>Next Inspection Date</b>	-	03 Sep 2013	<b>Sample N<sup>o</sup></b>	-	173
<b>Survey Type</b>	-	Refurbishment & Demolition Survey	<b>Photograph N<sup>o</sup></b>	-	4891
<b>Position</b>	-	Sample Taken	<b>Location ID</b>	-	Loc20117

<b>Product Type</b>	-	N/A	<b>Surface Treatment</b>	-	N/A
<b>Asbestos Type</b>	-	No Asbestos Detected	<b>Damage Extent</b>	-	N/A
<b>Material Risk Score</b>	-	<b>0</b>	<b>Material Risk Band</b>	-	N/A

<b>Comments:</b>	-	
<b>Recommendations:</b>	-	

Client:	Skanska	Project No.	SD724P/86213
Site Address	Old War Office, Horse Guards Avenue, London	Page No.:	Page 90 of 267

### Location Survey Data Sheet

<b>Site Code/UPRN</b>	SD724P/86213	<b>Building</b>	Whitehall
<b>Address</b>	The Old War Office Horse Guards Avenue Whitehall London	<b>Floor</b>	First Floor
	SW1A 2HB	<b>Room</b>	Room 127
<b>Description</b>	Plaster & render wall. Adjacent to light switch.	<b>Quantity</b>	N/A
		<b>Asbestos Suspected</b>	<b>No</b>



<b>Last Inspection Date</b>	-	03 Sep 2012	<b>Certificate N<sup>o</sup></b>	-	BK30786
<b>Next Inspection Date</b>	-	03 Sep 2013	<b>Sample N<sup>o</sup></b>	-	175
<b>Survey Type</b>	-	Refurbishment & Demolition Survey	<b>Photograph N<sup>o</sup></b>	-	4893
<b>Position</b>	-	Sample Taken	<b>Location ID</b>	-	Loc20119

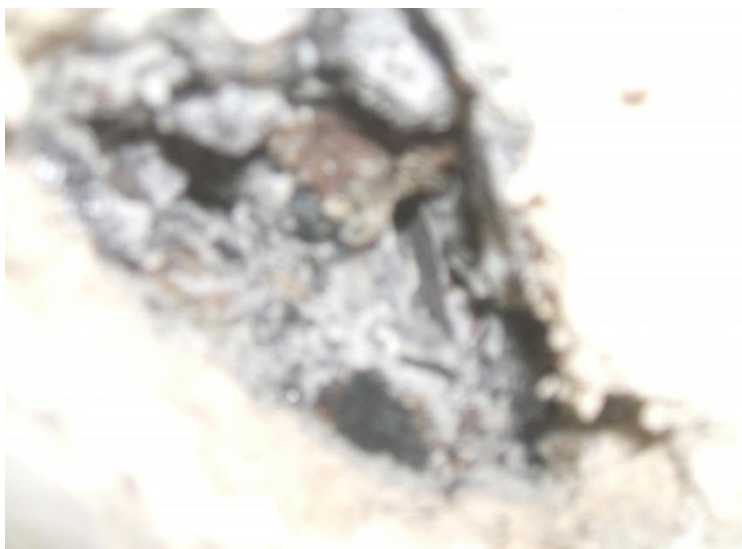
<b>Product Type</b>	-	N/A	<b>Surface Treatment</b>	-	N/A
<b>Asbestos Type</b>	-	No Asbestos Detected	<b>Damage Extent</b>	-	N/A
<b>Material Risk Score</b>	-	<b>0</b>	<b>Material Risk Band</b>	-	N/A

<b>Comments:</b>	-	
<b>Recommendations:</b>	-	

Client:	<b>Skanska</b>	Project No.	<b>SD724P/86213</b>
Site Address	<b>Old War Office, Horse Guards Avenue, London</b>	Page No.:	<b>Page 91 of 267</b>

### Location Survey Data Sheet

<b>Site Code/UPRN</b>	SD724P/86213	<b>Building</b>	Whitehall
<b>Address</b>	The Old War Office Horse Guards Avenue Whitehall London	<b>Floor</b>	First Floor
	SW1A 2HB	<b>Room</b>	Room 127
		<b>Quantity</b>	N/A
<b>Description</b>	Asphalt/ mortar ceiling.	<b>Asbestos Suspected</b>	<b>No</b>



<b>Last Inspection Date</b>	-	03 Sep 2012	<b>Certificate N°</b>	-	BK30786
<b>Next Inspection Date</b>	-	03 Sep 2013	<b>Sample N°</b>	-	174
<b>Survey Type</b>	-	Refurbishment & Demolition Survey	<b>Photograph N°</b>	-	4892
<b>Position</b>	-	Sample Taken	<b>Location ID</b>	-	Loc20118

<b>Product Type</b>	-	N/A	<b>Surface Treatment</b>	-	N/A
<b>Asbestos Type</b>	-	No Asbestos Detected	<b>Damage Extent</b>	-	N/A
<b>Material Risk Score</b>	-	<b>0</b>	<b>Material Risk Band</b>	-	N/A

<b>Comments:</b>	-	
<b>Recommendations:</b>	-	

Client:	Skanska	Project No.	SD724P/86213
Site Address	Old War Office, Horse Guards Avenue, London	Page No.:	Page 92 of 267

### Location Survey Data Sheet

<b>Site Code/UPRN</b>	SD724P/86213	<b>Building</b>	Whitehall
<b>Address</b>	The Old War Office Horse Guards Avenue Whitehall London	<b>Floor</b>	First Floor
	SW1A 2HB	<b>Room</b>	Room 127
<b>Description</b>	Mortar Line wall. Adjacent light switch.	<b>Quantity</b>	N/A
		<b>Asbestos Suspected</b>	<b>No</b>



<b>Last Inspection Date</b>	-	03 Sep 2012	<b>Certificate N°</b>	-	BK30786
<b>Next Inspection Date</b>	-	03 Sep 2013	<b>Sample N°</b>	-	176
<b>Survey Type</b>	-	Refurbishment & Demolition Survey	<b>Photograph N°</b>	-	4894
<b>Position</b>	-	Sample Taken	<b>Location ID</b>	-	Loc20120

<b>Product Type</b>	-	N/A	<b>Surface Treatment</b>	-	N/A
<b>Asbestos Type</b>	-	No Asbestos Detected	<b>Damage Extent</b>	-	N/A
<b>Material Risk Score</b>	-	<b>0</b>	<b>Material Risk Band</b>	-	N/A

<b>Comments:</b>	-	
<b>Recommendations:</b>	-	

Client:	<b>Skanska</b>	Project No.	<b>SD724P/86213</b>
Site Address	<b>Old War Office, Horse Guards Avenue, London</b>	Page No.:	<b>Page 93 of 267</b>



### Location Survey Data Sheet

<b>Site Code/UPRN</b>	SD724P/86213	<b>Building</b>	Whitehall
<b>Address</b>	The Old War Office Horse Guards Avenue Whitehall London	<b>Floor</b>	First Floor
	SW1A 2HB	<b>Room</b>	Room 127
<b>Description</b>	Mortar line wall. Adjacent to socket.	<b>Quantity</b>	N/A
		<b>Asbestos Suspected</b>	<b>No</b>



<b>Last Inspection Date</b>	-	03 Sep 2012	<b>Certificate N<sup>o</sup></b>	-	BK30786
<b>Next Inspection Date</b>	-	03 Sep 2013	<b>Sample N<sup>o</sup></b>	-	178
<b>Survey Type</b>	-	Refurbishment & Demolition Survey	<b>Photograph N<sup>o</sup></b>	-	4896
<b>Position</b>	-	Sample Taken	<b>Location ID</b>	-	Loc20122

<b>Product Type</b>	-	N/A	<b>Surface Treatment</b>	-	N/A
<b>Asbestos Type</b>	-	No Asbestos Detected	<b>Damage Extent</b>	-	N/A
<b>Material Risk Score</b>	-	<b>0</b>	<b>Material Risk Band</b>	-	N/A

<b>Comments:</b>	-	
<b>Recommendations:</b>	-	

Client:	<b>Skanska</b>	Project No.	<b>SD724P/86213</b>
Site Address	<b>Old War Office, Horse Guards Avenue, London</b>	Page No.:	<b>Page 94 of 267</b>

### Location Survey Data Sheet

<b>Site Code/UPRN</b>	SD724P/86213	<b>Building</b>	Whitehall
<b>Address</b>	The Old War Office Horse Guards Avenue Whitehall London	<b>Floor</b>	First Floor
	SW1A 2HB	<b>Room</b>	Room 127
<b>Description</b>	Plaster & render wall. Adjacent to socket.	<b>Quantity</b>	N/A
		<b>Asbestos Suspected</b>	<b>No</b>



<b>Last Inspection Date</b>	-	03 Sep 2012	<b>Certificate N<sup>o</sup></b>	-	BK30786
<b>Next Inspection Date</b>	-	03 Sep 2013	<b>Sample N<sup>o</sup></b>	-	177
<b>Survey Type</b>	-	Refurbishment & Demolition Survey	<b>Photograph N<sup>o</sup></b>	-	4895
<b>Position</b>	-	Sample Taken	<b>Location ID</b>	-	Loc20121

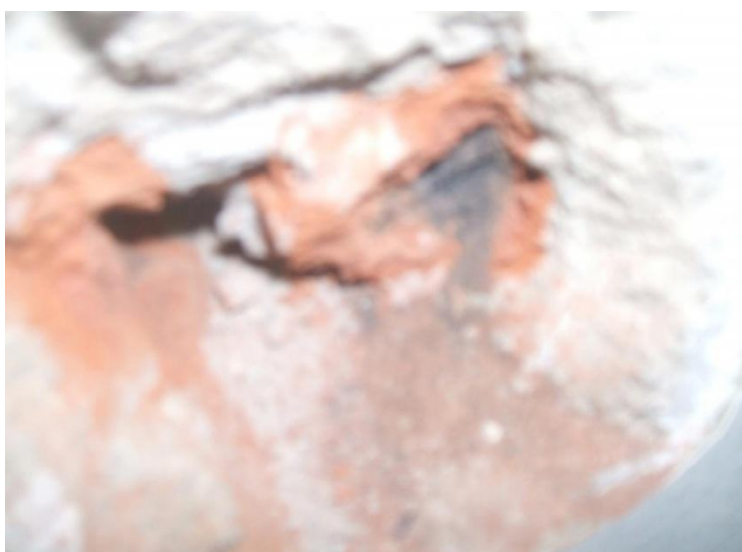
<b>Product Type</b>	-	N/A	<b>Surface Treatment</b>	-	N/A
<b>Asbestos Type</b>	-	No Asbestos Detected	<b>Damage Extent</b>	-	N/A
<b>Material Risk Score</b>	-	<b>0</b>	<b>Material Risk Band</b>	-	N/A

<b>Comments:</b>	-	
<b>Recommendations:</b>	-	

Client:	Skanska	Project No.	SD724P/86213
Site Address	Old War Office, Horse Guards Avenue, London	Page No.:	Page 95 of 267

### Location Survey Data Sheet

<b>Site Code/UPRN</b>	SD724P/86213	<b>Building</b>	Whitehall
<b>Address</b>	The Old War Office Horse Guards Avenue Whitehall London	<b>Floor</b>	First Floor
	SW1A 2HB	<b>Room</b>	Room 127
<b>Description</b>	Mortar Line wall- Window recess.	<b>Quantity</b>	N/A
		<b>Asbestos Suspected</b>	<b>No</b>



<b>Last Inspection Date</b>	-	03 Sep 2012	<b>Certificate N<sup>o</sup></b>	-	BK30786
<b>Next Inspection Date</b>	-	03 Sep 2013	<b>Sample N<sup>o</sup></b>	-	180
<b>Survey Type</b>	-	Refurbishment & Demolition Survey	<b>Photograph N<sup>o</sup></b>	-	4898
<b>Position</b>	-	Sample Taken	<b>Location ID</b>	-	Loc20124

<b>Product Type</b>	-	N/A	<b>Surface Treatment</b>	-	N/A
<b>Asbestos Type</b>	-	No Asbestos Detected	<b>Damage Extent</b>	-	N/A
<b>Material Risk Score</b>	-	<b>0</b>	<b>Material Risk Band</b>	-	N/A

<b>Comments:</b>	-	
<b>Recommendations:</b>	-	

Client:	<b>Skanska</b>	Project No.	<b>SD724P/86213</b>
Site Address	<b>Old War Office, Horse Guards Avenue, London</b>	Page No.:	<b>Page 96 of 267</b>

### Location Survey Data Sheet

<b>Site Code/UPRN</b>	SD724P/86213	<b>Building</b>	Whitehall
<b>Address</b>	The Old War Office Horse Guards Avenue Whitehall London	<b>Floor</b>	First Floor
	SW1A 2HB	<b>Room</b>	Room 128
<b>Description</b>	Socket.	<b>Quantity</b>	N/A
		<b>Asbestos Suspected</b>	<b>No</b>



<b>Last Inspection Date</b>	-	03 Sep 2012	<b>Certificate N<sup>o</sup></b>	-	BK30786
<b>Next Inspection Date</b>	-	03 Sep 2013	<b>Sample N<sup>o</sup></b>	-	170
<b>Survey Type</b>	-	Refurbishment & Demolition Survey	<b>Photograph N<sup>o</sup></b>	-	4886
<b>Position</b>	-	Sample Taken	<b>Location ID</b>	-	Loc20114

<b>Product Type</b>	-	N/A	<b>Surface Treatment</b>	-	N/A
<b>Asbestos Type</b>	-	No Asbestos Detected	<b>Damage Extent</b>	-	N/A
<b>Material Risk Score</b>	-	<b>0</b>	<b>Material Risk Band</b>	-	N/A

<b>Comments:</b>	-	
<b>Recommendations:</b>	-	

Client:	Skanska	Project No.	SD724P/86213
Site Address	Old War Office, Horse Guards Avenue, London	Page No.:	Page 97 of 267

### Location Survey Data Sheet

<b>Site Code/UPRN</b>	SD724P/86213	<b>Building</b>	Whitehall
<b>Address</b>	The Old War Office Horse Guards Avenue Whitehall London	<b>Floor</b>	First Floor
	SW1A 2HB	<b>Room</b>	Room 128
<b>Description</b>	Wall.	<b>Quantity</b>	N/A
		<b>Asbestos Suspected</b>	<b>No</b>



<b>Last Inspection Date</b>	-	03 Sep 2012	<b>Certificate N°</b>	-	BK30786
<b>Next Inspection Date</b>	-	03 Sep 2013	<b>Sample N°</b>	-	172
<b>Survey Type</b>	-	Refurbishment & Demolition Survey	<b>Photograph N°</b>	-	4888
<b>Position</b>	-	Sample Taken	<b>Location ID</b>	-	Loc20116

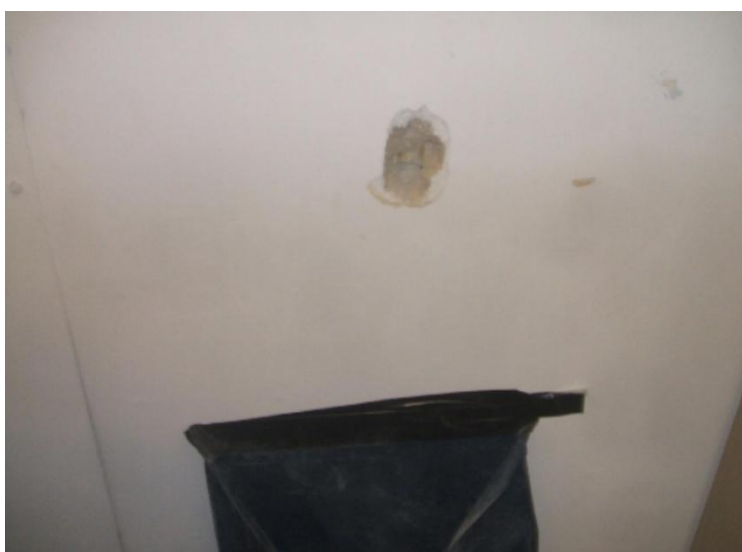
<b>Product Type</b>	-	N/A	<b>Surface Treatment</b>	-	N/A
<b>Asbestos Type</b>	-	No Asbestos Detected	<b>Damage Extent</b>	-	N/A
<b>Material Risk Score</b>	-	<b>0</b>	<b>Material Risk Band</b>	-	N/A

<b>Comments:</b>	-	
<b>Recommendations:</b>	-	

Client:	Skanska	Project No.	SD724P/86213
Site Address	Old War Office, Horse Guards Avenue, London	Page No.:	Page 98 of 267

### Location Survey Data Sheet

<b>Site Code/UPRN</b>	SD724P/86213	<b>Building</b>	Whitehall
<b>Address</b>	The Old War Office Horse Guards Avenue Whitehall London	<b>Floor</b>	First Floor
	SW1A 2HB	<b>Room</b>	Room 128
<b>Description</b>	Wall.	<b>Quantity</b>	N/A
		<b>Asbestos Suspected</b>	<b>No</b>



<b>Last Inspection Date</b>	-	03 Sep 2012	<b>Certificate N°</b>	-	BK30786
<b>Next Inspection Date</b>	-	03 Sep 2013	<b>Sample N°</b>	-	171
<b>Survey Type</b>	-	Refurbishment & Demolition Survey	<b>Photograph N°</b>	-	4887
<b>Position</b>	-	Sample Taken	<b>Location ID</b>	-	Loc20115

<b>Product Type</b>	-	N/A	<b>Surface Treatment</b>	-	N/A
<b>Asbestos Type</b>	-	No Asbestos Detected	<b>Damage Extent</b>	-	N/A
<b>Material Risk Score</b>	-	<b>0</b>	<b>Material Risk Band</b>	-	N/A

<b>Comments:</b>	-	
<b>Recommendations:</b>	-	

Client:	Skanska	Project No.	SD724P/86213
Site Address	Old War Office, Horse Guards Avenue, London	Page No.:	Page 99 of 267

### Location Survey Data Sheet

<b>Site Code/UPRN</b>	SD724P/86213	<b>Building</b>	Whitehall
<b>Address</b>	The Old War Office Horse Guards Avenue Whitehall London	<b>Floor</b>	First Floor
	SW1A 2HB	<b>Room</b>	Room 128
<b>Description</b>	Plaster/ render walls.	<b>Quantity</b>	N/A
		<b>Asbestos Suspected</b>	<b>No</b>



<b>Last Inspection Date</b>	-	03 Sep 2012	<b>Certificate N<sup>o</sup></b>	-	BK30786
<b>Next Inspection Date</b>	-	03 Sep 2013	<b>Sample N<sup>o</sup></b>	-	163
<b>Survey Type</b>	-	Refurbishment & Demolition Survey	<b>Photograph N<sup>o</sup></b>	-	4881
<b>Position</b>	-	Sample Taken	<b>Location ID</b>	-	Loc20107

<b>Product Type</b>	-	N/A	<b>Surface Treatment</b>	-	N/A
<b>Asbestos Type</b>	-	No Asbestos Detected	<b>Damage Extent</b>	-	N/A
<b>Material Risk Score</b>	-	<b>0</b>	<b>Material Risk Band</b>	-	N/A

<b>Comments:</b>	-	
<b>Recommendations:</b>	-	

Client:	Skanska	Project No.	SD724P/86213
Site Address	Old War Office, Horse Guards Avenue, London	Page No.:	Page 100 of 267

### Location Survey Data Sheet

<b>Site Code/UPRN</b>	SD724P/86213	<b>Building</b>	Whitehall
<b>Address</b>	The Old War Office Horse Guards Avenue Whitehall London	<b>Floor</b>	First Floor
	SW1A 2HB	<b>Room</b>	Room 128
<b>Description</b>	Mortar line walls.	<b>Quantity</b>	N/A
		<b>Asbestos Suspected</b>	<b>No</b>



<b>Last Inspection Date</b>	-	03 Sep 2012	<b>Certificate N<sup>o</sup></b>	-	BK30786
<b>Next Inspection Date</b>	-	03 Sep 2013	<b>Sample N<sup>o</sup></b>	-	168
<b>Survey Type</b>	-	Refurbishment & Demolition Survey	<b>Photograph N<sup>o</sup></b>	-	4884
<b>Position</b>	-	Sample Taken	<b>Location ID</b>	-	Loc20112

<b>Product Type</b>	-	N/A	<b>Surface Treatment</b>	-	N/A
<b>Asbestos Type</b>	-	No Asbestos Detected	<b>Damage Extent</b>	-	N/A
<b>Material Risk Score</b>	-	<b>0</b>	<b>Material Risk Band</b>	-	N/A

<b>Comments:</b>	-	
<b>Recommendations:</b>	-	

Client:	Skanska	Project No.	SD724P/86213
Site Address	Old War Office, Horse Guards Avenue, London	Page No.:	Page 101 of 267



### Location Survey Data Sheet

<b>Site Code/UPRN</b>	SD724P/86213	<b>Building</b>	Whitehall
<b>Address</b>	The Old War Office Horse Guards Avenue Whitehall London	<b>Floor</b>	First Floor
	SW1A 2HB	<b>Room</b>	Room 128
<b>Description</b>	Plaster/ render walls.	<b>Quantity</b>	N/A
		<b>Asbestos Suspected</b>	<b>No</b>



<b>Last Inspection Date</b>	-	03 Sep 2012	<b>Certificate N<sup>o</sup></b>	-	BK30786
<b>Next Inspection Date</b>	-	03 Sep 2013	<b>Sample N<sup>o</sup></b>	-	169
<b>Survey Type</b>	-	Refurbishment & Demolition Survey	<b>Photograph N<sup>o</sup></b>	-	4885
<b>Position</b>	-	Sample Taken	<b>Location ID</b>	-	Loc20113

<b>Product Type</b>	-	N/A	<b>Surface Treatment</b>	-	N/A
<b>Asbestos Type</b>	-	No Asbestos Detected	<b>Damage Extent</b>	-	N/A
<b>Material Risk Score</b>	-	<b>0</b>	<b>Material Risk Band</b>	-	N/A

<b>Comments:</b>	-	
<b>Recommendations:</b>	-	

Client:	<b>Skanska</b>	Project No.	<b>SD724P/86213</b>
Site Address	<b>Old War Office, Horse Guards Avenue, London</b>	Page No.:	<b>Page 102 of 267</b>

### Location Survey Data Sheet

<b>Site Code/UPRN</b>	SD724P/86213	<b>Building</b>	Whitehall
<b>Address</b>	The Old War Office Horse Guards Avenue Whitehall London	<b>Floor</b>	First Floor
	SW1A 2HB	<b>Room</b>	Room 128
<b>Description</b>	Plaster/ render walls.	<b>Quantity</b>	N/A
		<b>Asbestos Suspected</b>	<b>No</b>



<b>Last Inspection Date</b>	-	03 Sep 2012	<b>Certificate N<sup>o</sup></b>	-	BK30786
<b>Next Inspection Date</b>	-	03 Sep 2013	<b>Sample N<sup>o</sup></b>	-	167
<b>Survey Type</b>	-	Refurbishment & Demolition Survey	<b>Photograph N<sup>o</sup></b>	-	4885
<b>Position</b>	-	Sample Taken	<b>Location ID</b>	-	Loc20111

<b>Product Type</b>	-	N/A	<b>Surface Treatment</b>	-	N/A
<b>Asbestos Type</b>	-	No Asbestos Detected	<b>Damage Extent</b>	-	N/A
<b>Material Risk Score</b>	-	<b>0</b>	<b>Material Risk Band</b>	-	N/A

<b>Comments:</b>	-	
<b>Recommendations:</b>	-	

Client:	<b>Skanska</b>	Project No.	<b>SD724P/86213</b>
Site Address	<b>Old War Office, Horse Guards Avenue, London</b>	Page No.:	<b>Page 103 of 267</b>

### Location Survey Data Sheet

<b>Site Code/UPRN</b>	SD724P/86213	<b>Building</b>	Whitehall
<b>Address</b>	The Old War Office Horse Guards Avenue Whitehall London	<b>Floor</b>	First Floor
	SW1A 2HB	<b>Room</b>	Room 128
<b>Description</b>	Plaster/ render walls.	<b>Quantity</b>	N/A
		<b>Asbestos Suspected</b>	<b>No</b>



<b>Last Inspection Date</b>	-	03 Sep 2012	<b>Certificate N°</b>	-	BK30786
<b>Next Inspection Date</b>	-	03 Sep 2013	<b>Sample N°</b>	-	165
<b>Survey Type</b>	-	Refurbishment & Demolition Survey	<b>Photograph N°</b>	-	4883
<b>Position</b>	-	Sample Taken	<b>Location ID</b>	-	Loc20109

<b>Product Type</b>	-	N/A	<b>Surface Treatment</b>	-	N/A
<b>Asbestos Type</b>	-	No Asbestos Detected	<b>Damage Extent</b>	-	N/A
<b>Material Risk Score</b>	-	<b>0</b>	<b>Material Risk Band</b>	-	N/A

<b>Comments:</b>	-	
<b>Recommendations:</b>	-	

Client:	<b>Skanska</b>	Project No.	<b>SD724P/86213</b>
Site Address	<b>Old War Office, Horse Guards Avenue, London</b>	Page No.:	<b>Page 104 of 267</b>

### Location Survey Data Sheet

<b>Site Code/UPRN</b>	SD724P/86213	<b>Building</b>	Whitehall
<b>Address</b>	The Old War Office Horse Guards Avenue Whitehall London	<b>Floor</b>	First Floor
	SW1A 2HB	<b>Room</b>	Room 128
<b>Description</b>	Mortar line walls.	<b>Quantity</b>	N/A
		<b>Asbestos Suspected</b>	<b>No</b>



<b>Last Inspection Date</b>	-	03 Sep 2012	<b>Certificate N°</b>	-	BK30786
<b>Next Inspection Date</b>	-	03 Sep 2013	<b>Sample N°</b>	-	164
<b>Survey Type</b>	-	Refurbishment & Demolition Survey	<b>Photograph N°</b>	-	4882
<b>Position</b>	-	Sample Taken	<b>Location ID</b>	-	Loc20108

<b>Product Type</b>	-	N/A	<b>Surface Treatment</b>	-	N/A
<b>Asbestos Type</b>	-	No Asbestos Detected	<b>Damage Extent</b>	-	N/A
<b>Material Risk Score</b>	-	<b>0</b>	<b>Material Risk Band</b>	-	N/A

<b>Comments:</b>	-	
<b>Recommendations:</b>	-	

Client:	Skanska	Project No.	SD724P/86213
Site Address	Old War Office, Horse Guards Avenue, London	Page No.:	Page 105 of 267

### Location Survey Data Sheet

<b>Site Code/UPRN</b>	SD724P/86213	<b>Building</b>	Whitehall
<b>Address</b>	The Old War Office Horse Guards Avenue Whitehall London	<b>Floor</b>	First Floor
	SW1A 2HB	<b>Room</b>	Room 128
<b>Description</b>	Asphalt/ concrete ceiling.	<b>Quantity</b>	N/A
		<b>Asbestos Suspected</b>	<b>No</b>



<b>Last Inspection Date</b>	-	03 Sep 2012	<b>Certificate N<sup>o</sup></b>	-	BK30786
<b>Next Inspection Date</b>	-	03 Sep 2013	<b>Sample N<sup>o</sup></b>	-	162
<b>Survey Type</b>	-	Refurbishment & Demolition Survey	<b>Photograph N<sup>o</sup></b>	-	4879
<b>Position</b>	-	Sample Taken	<b>Location ID</b>	-	Loc20106

<b>Product Type</b>	-	N/A	<b>Surface Treatment</b>	-	N/A
<b>Asbestos Type</b>	-	No Asbestos Detected	<b>Damage Extent</b>	-	N/A
<b>Material Risk Score</b>	-	<b>0</b>	<b>Material Risk Band</b>	-	N/A

<b>Comments:</b>	-	
<b>Recommendations:</b>	-	

Client:	<b>Skanska</b>	Project No.	<b>SD724P/86213</b>
Site Address	<b>Old War Office, Horse Guards Avenue, London</b>	Page No.:	<b>Page 106 of 267</b>

### Location Survey Data Sheet

<b>Site Code/UPRN</b>	SD724P/86213	<b>Building</b>	Whitehall
<b>Address</b>	The Old War Office Horse Guards Avenue Whitehall London	<b>Floor</b>	First Floor
	SW1A 2HB	<b>Room</b>	Room 128
<b>Description</b>	Mortar line walls.	<b>Quantity</b>	N/A
		<b>Asbestos Suspected</b>	<b>No</b>



<b>Last Inspection Date</b>	-	03 Sep 2012	<b>Certificate N<sup>o</sup></b>	-	BK30786
<b>Next Inspection Date</b>	-	03 Sep 2013	<b>Sample N<sup>o</sup></b>	-	166
<b>Survey Type</b>	-	Refurbishment & Demolition Survey	<b>Photograph N<sup>o</sup></b>	-	4884
<b>Position</b>	-	Sample Taken	<b>Location ID</b>	-	Loc20110

<b>Product Type</b>	-	N/A	<b>Surface Treatment</b>	-	N/A
<b>Asbestos Type</b>	-	No Asbestos Detected	<b>Damage Extent</b>	-	N/A
<b>Material Risk Score</b>	-	<b>0</b>	<b>Material Risk Band</b>	-	N/A

<b>Comments:</b>	-	
<b>Recommendations:</b>	-	

Client:	Skanska	Project No.	SD724P/86213
Site Address	Old War Office, Horse Guards Avenue, London	Page No.:	Page 107 of 267

### Location Survey Data Sheet

<b>Site Code/UPRN</b>	SD724P/86213	<b>Building</b>	Whitehall
<b>Address</b>	The Old War Office Horse Guards Avenue Whitehall London	<b>Floor</b>	First Floor
	SW1A 2HB	<b>Room</b>	Room 128
<b>Description</b>	Plaster finish ceiling.	<b>Quantity</b>	N/A
		<b>Asbestos Suspected</b>	<b>No</b>



<b>Last Inspection Date</b>	-	03 Sep 2012	<b>Certificate N<sup>o</sup></b>	-	BK30786
<b>Next Inspection Date</b>	-	03 Sep 2013	<b>Sample N<sup>o</sup></b>	-	161
<b>Survey Type</b>	-	Refurbishment & Demolition Survey	<b>Photograph N<sup>o</sup></b>	-	4880
<b>Position</b>	-	Sample Taken	<b>Location ID</b>	-	Loc20105

<b>Product Type</b>	-	N/A	<b>Surface Treatment</b>	-	N/A
<b>Asbestos Type</b>	-	No Asbestos Detected	<b>Damage Extent</b>	-	N/A
<b>Material Risk Score</b>	-	<b>0</b>	<b>Material Risk Band</b>	-	N/A

<b>Comments:</b>	-	
<b>Recommendations:</b>	-	

Client:	<b>Skanska</b>	Project No.	<b>SD724P/86213</b>
Site Address	<b>Old War Office, Horse Guards Avenue, London</b>	Page No.:	<b>Page 108 of 267</b>

### Location Survey Data Sheet

<b>Site Code/UPRN</b>	SD724P/86213	<b>Building</b>	Whitehall
<b>Address</b>	The Old War Office Horse Guards Avenue Whitehall London	<b>Floor</b>	First Floor
	SW1A 2HB	<b>Room</b>	Room 144 A
<b>Description</b>	Mortar line walls.	<b>Quantity</b>	N/A
		<b>Asbestos Suspected</b>	<b>No</b>



<b>Last Inspection Date</b>	-	03 Sep 2012	<b>Certificate N<sup>o</sup></b>	-	BK30786
<b>Next Inspection Date</b>	-	03 Sep 2013	<b>Sample N<sup>o</sup></b>	-	196
<b>Survey Type</b>	-	Refurbishment & Demolition Survey	<b>Photograph N<sup>o</sup></b>	-	4913
<b>Position</b>	-	Sample Taken	<b>Location ID</b>	-	Loc20140

<b>Product Type</b>	-	N/A	<b>Surface Treatment</b>	-	N/A
<b>Asbestos Type</b>	-	No Asbestos Detected	<b>Damage Extent</b>	-	N/A
<b>Material Risk Score</b>	-	<b>0</b>	<b>Material Risk Band</b>	-	N/A

<b>Comments:</b>	-	
<b>Recommendations:</b>	-	

Client:	Skanska	Project No.	SD724P/86213
Site Address	Old War Office, Horse Guards Avenue, London	Page No.:	Page 109 of 267



### Location Survey Data Sheet

<b>Site Code/UPRN</b>	SD724P/86213	<b>Building</b>	Whitehall
<b>Address</b>	The Old War Office Horse Guards Avenue Whitehall London	<b>Floor</b>	First Floor
	SW1A 2HB	<b>Room</b>	Room 144 A
<b>Description</b>	Plaster/ render walls.	<b>Quantity</b>	N/A
		<b>Asbestos Suspected</b>	<b>No</b>



<b>Last Inspection Date</b>	-	03 Sep 2012	<b>Certificate N°</b>	-	BK30786
<b>Next Inspection Date</b>	-	03 Sep 2013	<b>Sample N°</b>	-	193
<b>Survey Type</b>	-	Refurbishment & Demolition Survey	<b>Photograph N°</b>	-	4914
<b>Position</b>	-	Sample Taken	<b>Location ID</b>	-	Loc20141

<b>Product Type</b>	-	N/A	<b>Surface Treatment</b>	-	N/A
<b>Asbestos Type</b>	-	No Asbestos Detected	<b>Damage Extent</b>	-	N/A
<b>Material Risk Score</b>	-	<b>0</b>	<b>Material Risk Band</b>	-	N/A

<b>Comments:</b>	-	
<b>Recommendations:</b>	-	

Client:	Skanska	Project No.	SD724P/86213
Site Address	Old War Office, Horse Guards Avenue, London	Page No.:	Page 110 of 267

### Location Survey Data Sheet

<b>Site Code/UPRN</b>	SD724P/86213	<b>Building</b>	Whitehall
<b>Address</b>	The Old War Office Horse Guards Avenue Whitehall London	<b>Floor</b>	First Floor
	SW1A 2HB	<b>Room</b>	Room 144 A
<b>Description</b>	Plaster & render walls.	<b>Quantity</b>	N/A
		<b>Asbestos Suspected</b>	<b>No</b>



<b>Last Inspection Date</b>	-	03 Sep 2012	<b>Certificate N<sup>o</sup></b>	-	BK30786
<b>Next Inspection Date</b>	-	03 Sep 2013	<b>Sample N<sup>o</sup></b>	-	193
<b>Survey Type</b>	-	Refurbishment & Demolition Survey	<b>Photograph N<sup>o</sup></b>	-	4914
<b>Position</b>	-	Sample Taken	<b>Location ID</b>	-	Loc20137

<b>Product Type</b>	-	N/A	<b>Surface Treatment</b>	-	N/A
<b>Asbestos Type</b>	-	No Asbestos Detected	<b>Damage Extent</b>	-	N/A
<b>Material Risk Score</b>	-	<b>0</b>	<b>Material Risk Band</b>	-	N/A

<b>Comments:</b>	-	
<b>Recommendations:</b>	-	

Client:	Skanska	Project No.	SD724P/86213
Site Address	Old War Office, Horse Guards Avenue, London	Page No.:	Page 111 of 267

### Location Survey Data Sheet

<b>Site Code/UPRN</b>	SD724P/86213	<b>Building</b>	Whitehall
<b>Address</b>	The Old War Office Horse Guards Avenue Whitehall London	<b>Floor</b>	First Floor
	SW1A 2HB	<b>Room</b>	Room 144 A
<b>Description</b>	Plaster/ render to walls.	<b>Quantity</b>	N/A
		<b>Asbestos Suspected</b>	<b>No</b>



<b>Last Inspection Date</b>	-	03 Sep 2012	<b>Certificate N<sup>o</sup></b>	-	BK30786
<b>Next Inspection Date</b>	-	03 Sep 2013	<b>Sample N<sup>o</sup></b>	-	195
<b>Survey Type</b>	-	Refurbishment & Demolition Survey	<b>Photograph N<sup>o</sup></b>	-	4916
<b>Position</b>	-	Sample Taken	<b>Location ID</b>	-	Loc20143

<b>Product Type</b>	-	N/A	<b>Surface Treatment</b>	-	N/A
<b>Asbestos Type</b>	-	No Asbestos Detected	<b>Damage Extent</b>	-	N/A
<b>Material Risk Score</b>	-	<b>0</b>	<b>Material Risk Band</b>	-	N/A

<b>Comments:</b>	-	
<b>Recommendations:</b>	-	

Client:	Skanska	Project No.	SD724P/86213
Site Address	Old War Office, Horse Guards Avenue, London	Page No.:	Page 112 of 267

### Location Survey Data Sheet

<b>Site Code/UPRN</b>	SD724P/86213	<b>Building</b>	Whitehall
<b>Address</b>	The Old War Office Horse Guards Avenue Whitehall London	<b>Floor</b>	First Floor
	SW1A 2HB	<b>Room</b>	Room 144 A
		<b>Quantity</b>	N/A
<b>Description</b>	Asphalt/ concrete ceiling.	<b>Asbestos Suspected</b>	<b>No</b>



<b>Last Inspection Date</b>	-	03 Sep 2012	<b>Certificate N<sup>o</sup></b>	-	BK30786
<b>Next Inspection Date</b>	-	03 Sep 2013	<b>Sample N<sup>o</sup></b>	-	190
<b>Survey Type</b>	-	Refurbishment & Demolition Survey	<b>Photograph N<sup>o</sup></b>	-	4911
<b>Position</b>	-	Sample Taken	<b>Location ID</b>	-	Loc20134

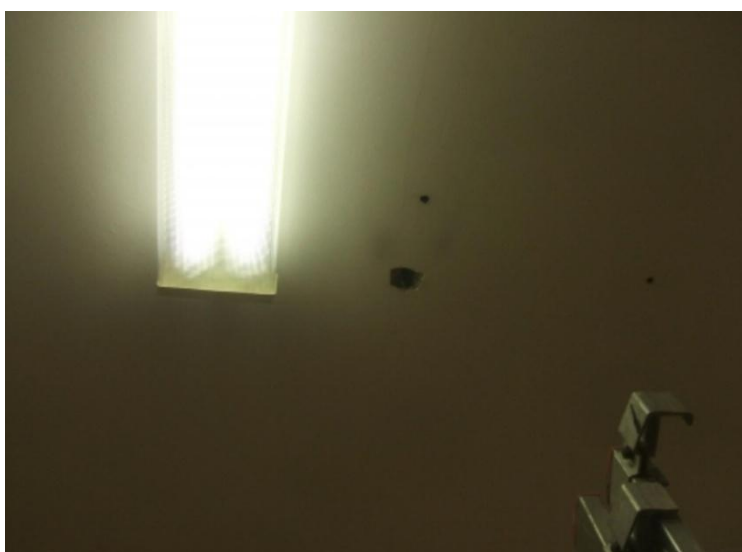
<b>Product Type</b>	-	N/A	<b>Surface Treatment</b>	-	N/A
<b>Asbestos Type</b>	-	No Asbestos Detected	<b>Damage Extent</b>	-	N/A
<b>Material Risk Score</b>	-	<b>0</b>	<b>Material Risk Band</b>	-	N/A

<b>Comments:</b>	-	
<b>Recommendations:</b>	-	

Client:	Skanska	Project No.	SD724P/86213
Site Address	Old War Office, Horse Guards Avenue, London	Page No.:	Page 113 of 267

### Location Survey Data Sheet

<b>Site Code/UPRN</b>	SD724P/86213	<b>Building</b>	Whitehall
<b>Address</b>	The Old War Office Horse Guards Avenue Whitehall London	<b>Floor</b>	First Floor
	SW1A 2HB	<b>Room</b>	Room 144 A
<b>Description</b>	Ceiling plaster.	<b>Quantity</b>	N/A
		<b>Asbestos Suspected</b>	<b>No</b>



<b>Last Inspection Date</b>	-	03 Sep 2012	<b>Certificate N°</b>	-	BK30786
<b>Next Inspection Date</b>	-	03 Sep 2013	<b>Sample N°</b>	-	189
<b>Survey Type</b>	-	Refurbishment & Demolition Survey	<b>Photograph N°</b>	-	4910
<b>Position</b>	-	Sample Taken	<b>Location ID</b>	-	Loc20133

<b>Product Type</b>	-	N/A	<b>Surface Treatment</b>	-	N/A
<b>Asbestos Type</b>	-	No Asbestos Detected	<b>Damage Extent</b>	-	N/A
<b>Material Risk Score</b>	-	<b>0</b>	<b>Material Risk Band</b>	-	N/A

<b>Comments:</b>	-	
<b>Recommendations:</b>	-	

Client:	<b>Skanska</b>	Project No.	<b>SD724P/86213</b>
Site Address	<b>Old War Office, Horse Guards Avenue, London</b>	Page No.:	<b>Page 114 of 267</b>

### Location Survey Data Sheet

<b>Site Code/UPRN</b>	SD724P/86213	<b>Building</b>	Whitehall
<b>Address</b>	The Old War Office Horse Guards Avenue Whitehall London	<b>Floor</b>	First Floor
	SW1A 2HB	<b>Room</b>	Room 144 A
<b>Description</b>	Mortar line to walls.	<b>Quantity</b>	N/A
		<b>Asbestos Suspected</b>	<b>No</b>



<b>Last Inspection Date</b>	-	03 Sep 2012	<b>Certificate N°</b>	-	BK30786
<b>Next Inspection Date</b>	-	03 Sep 2013	<b>Sample N°</b>	-	194
<b>Survey Type</b>	-	Refurbishment & Demolition Survey	<b>Photograph N°</b>	-	4915
<b>Position</b>	-	Sample Taken	<b>Location ID</b>	-	Loc20142

<b>Product Type</b>	-	N/A	<b>Surface Treatment</b>	-	N/A
<b>Asbestos Type</b>	-	No Asbestos Detected	<b>Damage Extent</b>	-	N/A
<b>Material Risk Score</b>	-	<b>0</b>	<b>Material Risk Band</b>	-	N/A

<b>Comments:</b>	-	
<b>Recommendations:</b>	-	

Client:	Skanska	Project No.	SD724P/86213
Site Address	Old War Office, Horse Guards Avenue, London	Page No.:	Page 115 of 267

### Location Survey Data Sheet

<b>Site Code/UPRN</b>	SD724P/86213	<b>Building</b>	Whitehall
<b>Address</b>	The Old War Office Horse Guards Avenue Whitehall London	<b>Floor</b>	First Floor
	SW1A 2HB	<b>Room</b>	Room 144 A
<b>Description</b>	Mortar line walls.	<b>Quantity</b>	N/A
		<b>Asbestos Suspected</b>	<b>No</b>



<b>Last Inspection Date</b>	-	03 Sep 2012	<b>Certificate N<sup>o</sup></b>	-	BK30786
<b>Next Inspection Date</b>	-	03 Sep 2013	<b>Sample N<sup>o</sup></b>	-	194
<b>Survey Type</b>	-	Refurbishment & Demolition Survey	<b>Photograph N<sup>o</sup></b>	-	4915
<b>Position</b>	-	Sample Taken	<b>Location ID</b>	-	Loc20138

<b>Product Type</b>	-	N/A	<b>Surface Treatment</b>	-	N/A
<b>Asbestos Type</b>	-	No Asbestos Detected	<b>Damage Extent</b>	-	N/A
<b>Material Risk Score</b>	-	<b>0</b>	<b>Material Risk Band</b>	-	N/A

<b>Comments:</b>	-	
<b>Recommendations:</b>	-	

Client:	Skanska	Project No.	SD724P/86213
Site Address	Old War Office, Horse Guards Avenue, London	Page No.:	Page 116 of 267

### Location Survey Data Sheet

<b>Site Code/UPRN</b>	SD724P/86213	<b>Building</b>	Whitehall
<b>Address</b>	The Old War Office Horse Guards Avenue Whitehall London	<b>Floor</b>	First Floor
	SW1A 2HB	<b>Room</b>	Room 144 A
<b>Description</b>	Plaster/ render wall.	<b>Quantity</b>	N/A
		<b>Asbestos Suspected</b>	<b>No</b>



<b>Last Inspection Date</b>	-	03 Sep 2012	<b>Certificate N<sup>o</sup></b>	-	BK30786
<b>Next Inspection Date</b>	-	03 Sep 2013	<b>Sample N<sup>o</sup></b>	-	195
<b>Survey Type</b>	-	Refurbishment & Demolition Survey	<b>Photograph N<sup>o</sup></b>	-	4916
<b>Position</b>	-	Sample Taken	<b>Location ID</b>	-	Loc20139

<b>Product Type</b>	-	N/A	<b>Surface Treatment</b>	-	N/A
<b>Asbestos Type</b>	-	No Asbestos Detected	<b>Damage Extent</b>	-	N/A
<b>Material Risk Score</b>	-	<b>0</b>	<b>Material Risk Band</b>	-	N/A

<b>Comments:</b>	-	
<b>Recommendations:</b>	-	

Client:	Skanska	Project No.	SD724P/86213
Site Address	Old War Office, Horse Guards Avenue, London	Page No.:	Page 117 of 267



### Location Survey Data Sheet

<b>Site Code/UPRN</b>	SD724P/86213	<b>Building</b>	Whitehall
<b>Address</b>	The Old War Office Horse Guards Avenue Whitehall London	<b>Floor</b>	First Floor
	SW1A 2HB	<b>Room</b>	Room 144 A
<b>Description</b>	Mortar line walls.	<b>Quantity</b>	N/A
		<b>Asbestos Suspected</b>	<b>No</b>



<b>Last Inspection Date</b>	-	03 Sep 2012	<b>Certificate N<sup>o</sup></b>	-	BK30786
<b>Next Inspection Date</b>	-	03 Sep 2013	<b>Sample N<sup>o</sup></b>	-	196
<b>Survey Type</b>	-	Refurbishment & Demolition Survey	<b>Photograph N<sup>o</sup></b>	-	4917
<b>Position</b>	-	Sample Taken	<b>Location ID</b>	-	Loc20144

<b>Product Type</b>	-	N/A	<b>Surface Treatment</b>	-	N/A
<b>Asbestos Type</b>	-	No Asbestos Detected	<b>Damage Extent</b>	-	N/A
<b>Material Risk Score</b>	-	<b>0</b>	<b>Material Risk Band</b>	-	N/A

<b>Comments:</b>	-	
<b>Recommendations:</b>	-	

Client:	Skanska	Project No.	SD724P/86213
Site Address	Old War Office, Horse Guards Avenue, London	Page No.:	Page 118 of 267

### Location Survey Data Sheet

<b>Site Code/UPRN</b>	SD724P/86213	<b>Building</b>	Whitehall
<b>Address</b>	The Old War Office Horse Guards Avenue Whitehall London	<b>Floor</b>	First Floor
	SW1A 2HB	<b>Room</b>	Room 144 A
<b>Description</b>	Mortar line walls.	<b>Quantity</b>	N/A
		<b>Asbestos Suspected</b>	<b>No</b>



<b>Last Inspection Date</b>	-	03 Sep 2012	<b>Certificate N°</b>	-	BK30786
<b>Next Inspection Date</b>	-	03 Sep 2013	<b>Sample N°</b>	-	192
<b>Survey Type</b>	-	Refurbishment & Demolition Survey	<b>Photograph N°</b>	-	4913
<b>Position</b>	-	Sample Taken	<b>Location ID</b>	-	Loc20136

<b>Product Type</b>	-	N/A	<b>Surface Treatment</b>	-	N/A
<b>Asbestos Type</b>	-	No Asbestos Detected	<b>Damage Extent</b>	-	N/A
<b>Material Risk Score</b>	-	<b>0</b>	<b>Material Risk Band</b>	-	N/A

<b>Comments:</b>	-	
<b>Recommendations:</b>	-	

Client:	Skanska	Project No.	SD724P/86213
Site Address	Old War Office, Horse Guards Avenue, London	Page No.:	Page 119 of 267

### Location Survey Data Sheet

<b>Site Code/UPRN</b>	SD724P/86213	<b>Building</b>	Whitehall
<b>Address</b>	The Old War Office Horse Guards Avenue Whitehall London	<b>Floor</b>	First Floor
	SW1A 2HB	<b>Room</b>	Room 144 A
<b>Description</b>	Plaster & render walls.	<b>Quantity</b>	N/A
		<b>Asbestos Suspected</b>	<b>No</b>



<b>Last Inspection Date</b>	-	03 Sep 2012	<b>Certificate N<sup>o</sup></b>	-	BK30786
<b>Next Inspection Date</b>	-	03 Sep 2013	<b>Sample N<sup>o</sup></b>	-	191
<b>Survey Type</b>	-	Refurbishment & Demolition Survey	<b>Photograph N<sup>o</sup></b>	-	4912
<b>Position</b>	-	Sample Taken	<b>Location ID</b>	-	Loc20135

<b>Product Type</b>	-	N/A	<b>Surface Treatment</b>	-	N/A
<b>Asbestos Type</b>	-	No Asbestos Detected	<b>Damage Extent</b>	-	N/A
<b>Material Risk Score</b>	-	<b>0</b>	<b>Material Risk Band</b>	-	N/A

<b>Comments:</b>	-	
<b>Recommendations:</b>	-	

Client:	<b>Skanska</b>	Project No.	<b>SD724P/86213</b>
Site Address	<b>Old War Office, Horse Guards Avenue, London</b>	Page No.:	<b>Page 120 of 267</b>

### Location Survey Data Sheet

<b>Site Code/UPRN</b>	SD724P/86213	<b>Building</b>	Whitehall
<b>Address</b>	The Old War Office Horse Guards Avenue Whitehall London	<b>Floor</b>	First Floor
	SW1A 2HB	<b>Room</b>	Stair (1) Lobby
<b>Description</b>	Plaster/ render to beam.	<b>Quantity</b>	N/A
		<b>Asbestos Suspected</b>	<b>No</b>



<b>Last Inspection Date</b>	-	03 Sep 2012	<b>Certificate N<sup>o</sup></b>	-	BK30786
<b>Next Inspection Date</b>	-	03 Sep 2013	<b>Sample N<sup>o</sup></b>	-	199
<b>Survey Type</b>	-	Refurbishment & Demolition Survey	<b>Photograph N<sup>o</sup></b>	-	4920
<b>Position</b>	-	Sample Taken	<b>Location ID</b>	-	Loc20147

<b>Product Type</b>	-	N/A	<b>Surface Treatment</b>	-	N/A
<b>Asbestos Type</b>	-	No Asbestos Detected	<b>Damage Extent</b>	-	N/A
<b>Material Risk Score</b>	-	<b>0</b>	<b>Material Risk Band</b>	-	N/A

<b>Comments:</b>	-	
<b>Recommendations:</b>	-	

Client:	<b>Skanska</b>	Project No.	<b>SD724P/86213</b>
Site Address	<b>Old War Office, Horse Guards Avenue, London</b>	Page No.:	<b>Page 121 of 267</b>

### Location Survey Data Sheet

<b>Site Code/UPRN</b>	SD724P/86213	<b>Building</b>	Whitehall
<b>Address</b>	The Old War Office Horse Guards Avenue Whitehall London	<b>Floor</b>	First Floor
	SW1A 2HB	<b>Room</b>	Stair (1) Lobby
<b>Description</b>	Concrete beam.	<b>Quantity</b>	N/A
		<b>Asbestos Suspected</b>	<b>No</b>



<b>Last Inspection Date</b>	-	03 Sep 2012	<b>Certificate N°</b>	-	BK30786
<b>Next Inspection Date</b>	-	03 Sep 2013	<b>Sample N°</b>	-	200
<b>Survey Type</b>	-	Refurbishment & Demolition Survey	<b>Photograph N°</b>	-	4921
<b>Position</b>	-	Sample Taken	<b>Location ID</b>	-	Loc20148

<b>Product Type</b>	-	N/A	<b>Surface Treatment</b>	-	N/A
<b>Asbestos Type</b>	-	No Asbestos Detected	<b>Damage Extent</b>	-	N/A
<b>Material Risk Score</b>	-	<b>0</b>	<b>Material Risk Band</b>	-	N/A

<b>Comments:</b>	-	
<b>Recommendations:</b>	-	

Client:	<b>Skanska</b>	Project No.	<b>SD724P/86213</b>
Site Address	<b>Old War Office, Horse Guards Avenue, London</b>	Page No.:	<b>Page 122 of 267</b>

### Location Survey Data Sheet

<b>Site Code/UPRN</b>	SD724P/86213	<b>Building</b>	Whitehall
<b>Address</b>	The Old War Office Horse Guards Avenue Whitehall London	<b>Floor</b>	First Floor
	SW1A 2HB	<b>Room</b>	Stair (2) Lobby
<b>Description</b>	Concrete beam.	<b>Quantity</b>	N/A
		<b>Asbestos Suspected</b>	<b>No</b>



<b>Last Inspection Date</b>	-	03 Sep 2012	<b>Certificate N<sup>o</sup></b>	-	BK30786
<b>Next Inspection Date</b>	-	03 Sep 2013	<b>Sample N<sup>o</sup></b>	-	198
<b>Survey Type</b>	-	Refurbishment & Demolition Survey	<b>Photograph N<sup>o</sup></b>	-	4919
<b>Position</b>	-	Sample Taken	<b>Location ID</b>	-	Loc20146

<b>Product Type</b>	-	N/A	<b>Surface Treatment</b>	-	N/A
<b>Asbestos Type</b>	-	No Asbestos Detected	<b>Damage Extent</b>	-	N/A
<b>Material Risk Score</b>	-	<b>0</b>	<b>Material Risk Band</b>	-	N/A

<b>Comments:</b>	-	
<b>Recommendations:</b>	-	

Client:	Skanska	Project No.	SD724P/86213
Site Address	Old War Office, Horse Guards Avenue, London	Page No.:	Page 123 of 267

### Location Survey Data Sheet

<b>Site Code/UPRN</b>	SD724P/86213	<b>Building</b>	Whitehall
<b>Address</b>	The Old War Office Horse Guards Avenue Whitehall London	<b>Floor</b>	First Floor
	SW1A 2HB	<b>Room</b>	Stair (2) Lobby
<b>Description</b>	Plaster/ render to beam.	<b>Quantity</b>	N/A
		<b>Asbestos Suspected</b>	<b>No</b>



<b>Last Inspection Date</b>	-	03 Sep 2012	<b>Certificate N<sup>o</sup></b>	-	BK30786
<b>Next Inspection Date</b>	-	03 Sep 2013	<b>Sample N<sup>o</sup></b>	-	197
<b>Survey Type</b>	-	Refurbishment & Demolition Survey	<b>Photograph N<sup>o</sup></b>	-	4918
<b>Position</b>	-	Sample Taken	<b>Location ID</b>	-	Loc20145

<b>Product Type</b>	-	N/A	<b>Surface Treatment</b>	-	N/A
<b>Asbestos Type</b>	-	No Asbestos Detected	<b>Damage Extent</b>	-	N/A
<b>Material Risk Score</b>	-	<b>0</b>	<b>Material Risk Band</b>	-	N/A

<b>Comments:</b>	-	
<b>Recommendations:</b>	-	

Client:	Skanska	Project No.	SD724P/86213
Site Address	Old War Office, Horse Guards Avenue, London	Page No.:	Page 124 of 267

### Location Survey Data Sheet

<b>Site Code/UPRN</b>	SD724P/86213	<b>Building</b>	Whitehall
<b>Address</b>	The Old War Office Horse Guards Avenue Whitehall London	<b>Floor</b>	Fourth Floor
	SW1A 2HB	<b>Room</b>	Room 417
<b>Description</b>	Mortar line to brickwork walls.	<b>Quantity</b>	N/A
		<b>Asbestos Suspected</b>	<b>No</b>



<b>Last Inspection Date</b>	-	03 Sep 2012	<b>Certificate N<sup>o</sup></b>	-	BK30669
<b>Next Inspection Date</b>	-	03 Sep 2013	<b>Sample N<sup>o</sup></b>	-	76
<b>Survey Type</b>	-	Refurbishment & Demolition Survey	<b>Photograph N<sup>o</sup></b>	-	4796
<b>Position</b>	-	Sample Taken	<b>Location ID</b>	-	Loc20017

<b>Product Type</b>	-	N/A	<b>Surface Treatment</b>	-	N/A
<b>Asbestos Type</b>	-	No Asbestos Detected	<b>Damage Extent</b>	-	N/A
<b>Material Risk Score</b>	-	<b>0</b>	<b>Material Risk Band</b>	-	N/A

<b>Comments:</b>	-	
<b>Recommendations:</b>	-	

Client:	Skanska	Project No.	SD724P/86213
Site Address	Old War Office, Horse Guards Avenue, London	Page No.:	Page 125 of 267



### Location Survey Data Sheet

<b>Site Code/UPRN</b>	SD724P/86213	<b>Building</b>	Whitehall
<b>Address</b>	The Old War Office Horse Guards Avenue Whitehall London	<b>Floor</b>	Fourth Floor
	SW1A 2HB	<b>Room</b>	Room 417
<b>Description</b>	Mortar line to brickwork to left side of power socket.	<b>Quantity</b>	N/A
		<b>Asbestos Suspected</b>	<b>No</b>



<b>Last Inspection Date</b>	-	03 Sep 2012	<b>Certificate N<sup>o</sup></b>	-	BK30669
<b>Next Inspection Date</b>	-	03 Sep 2013	<b>Sample N<sup>o</sup></b>	-	74
<b>Survey Type</b>	-	Refurbishment & Demolition Survey	<b>Photograph N<sup>o</sup></b>	-	4794
<b>Position</b>	-	Sample Taken	<b>Location ID</b>	-	Loc20015

<b>Product Type</b>	-	N/A	<b>Surface Treatment</b>	-	N/A
<b>Asbestos Type</b>	-	No Asbestos Detected	<b>Damage Extent</b>	-	N/A
<b>Material Risk Score</b>	-	<b>0</b>	<b>Material Risk Band</b>	-	N/A

<b>Comments:</b>	-	
<b>Recommendations:</b>	-	

Client:	Skanska	Project No.	SD724P/86213
Site Address	Old War Office, Horse Guards Avenue, London	Page No.:	Page 126 of 267

### Location Survey Data Sheet

<b>Site Code/UPRN</b>	SD724P/86213	<b>Building</b>	Whitehall
<b>Address</b>	The Old War Office Horse Guards Avenue Whitehall London	<b>Floor</b>	Fourth Floor
	SW1A 2HB	<b>Room</b>	Room 417
<b>Description</b>	Plaster finish to board.	<b>Quantity</b>	N/A
		<b>Asbestos Suspected</b>	<b>No</b>



<b>Last Inspection Date</b>	-	03 Sep 2012	<b>Certificate N<sup>o</sup></b>	-	BK30669
<b>Next Inspection Date</b>	-	03 Sep 2013	<b>Sample N<sup>o</sup></b>	-	77
<b>Survey Type</b>	-	Refurbishment & Demolition Survey	<b>Photograph N<sup>o</sup></b>	-	4791
<b>Position</b>	-	Sample Taken	<b>Location ID</b>	-	Loc20018

<b>Product Type</b>	-	N/A	<b>Surface Treatment</b>	-	N/A
<b>Asbestos Type</b>	-	No Asbestos Detected	<b>Damage Extent</b>	-	N/A
<b>Material Risk Score</b>	-	<b>0</b>	<b>Material Risk Band</b>	-	N/A

<b>Comments:</b>	-	
<b>Recommendations:</b>	-	

Client:	Skanska	Project No.	SD724P/86213
Site Address	Old War Office, Horse Guards Avenue, London	Page No.:	Page 127 of 267

### Location Survey Data Sheet

<b>Site Code/UPRN</b>	SD724P/86213	<b>Building</b>	Whitehall
<b>Address</b>	The Old War Office Horse Guards Avenue Whitehall London	<b>Floor</b>	Fourth Floor
	SW1A 2HB	<b>Room</b>	Room 417
<b>Description</b>	Plaster & render finish to left side of power socket.	<b>Quantity</b>	N/A
		<b>Asbestos Suspected</b>	<b>No</b>



<b>Last Inspection Date</b>	-	03 Sep 2012	<b>Certificate N<sup>o</sup></b>	-	BK30669
<b>Next Inspection Date</b>	-	03 Sep 2013	<b>Sample N<sup>o</sup></b>	-	73
<b>Survey Type</b>	-	Refurbishment & Demolition Survey	<b>Photograph N<sup>o</sup></b>	-	4793
<b>Position</b>	-	Sample Taken	<b>Location ID</b>	-	Loc20014

<b>Product Type</b>	-	N/A	<b>Surface Treatment</b>	-	N/A
<b>Asbestos Type</b>	-	No Asbestos Detected	<b>Damage Extent</b>	-	N/A
<b>Material Risk Score</b>	-	<b>0</b>	<b>Material Risk Band</b>	-	N/A

<b>Comments:</b>	-	
<b>Recommendations:</b>	-	

Client:	<b>Skanska</b>	Project No.	<b>SD724P/86213</b>
Site Address	<b>Old War Office, Horse Guards Avenue, London</b>	Page No.:	<b>Page 128 of 267</b>

### Location Survey Data Sheet

<b>Site Code/UPRN</b>	SD724P/86213	<b>Building</b>	Whitehall
<b>Address</b>	The Old War Office Horse Guards Avenue Whitehall London	<b>Floor</b>	Fourth Floor
	SW1A 2HB	<b>Room</b>	Room 417
<b>Description</b>	Plaster & render finish.	<b>Quantity</b>	N/A
		<b>Asbestos Suspected</b>	<b>No</b>



<b>Last Inspection Date</b>	-	03 Sep 2012	<b>Certificate N°</b>	-	BK30669
<b>Next Inspection Date</b>	-	03 Sep 2013	<b>Sample N°</b>	-	71
<b>Survey Type</b>	-	Refurbishment & Demolition Survey	<b>Photograph N°</b>	-	4789
<b>Position</b>	-	Sample Taken	<b>Location ID</b>	-	Loc20012

<b>Product Type</b>	-	N/A	<b>Surface Treatment</b>	-	N/A
<b>Asbestos Type</b>	-	No Asbestos Detected	<b>Damage Extent</b>	-	N/A
<b>Material Risk Score</b>	-	<b>0</b>	<b>Material Risk Band</b>	-	N/A

<b>Comments:</b>	-	
<b>Recommendations:</b>	-	

Client:	<b>Skanska</b>	Project No.	<b>SD724P/86213</b>
Site Address	<b>Old War Office, Horse Guards Avenue, London</b>	Page No.:	<b>Page 129 of 267</b>

### Location Survey Data Sheet

<b>Site Code/UPRN</b>	SD724P/86213	<b>Building</b>	Whitehall
<b>Address</b>	The Old War Office Horse Guards Avenue Whitehall London	<b>Floor</b>	Fourth Floor
	SW1A 2HB	<b>Room</b>	Room 417
<b>Description</b>	Plaster & render finish to walls.	<b>Quantity</b>	N/A
		<b>Asbestos Suspected</b>	<b>No</b>



<b>Last Inspection Date</b>	-	03 Sep 2012	<b>Certificate N<sup>o</sup></b>	-	BK30669
<b>Next Inspection Date</b>	-	03 Sep 2013	<b>Sample N<sup>o</sup></b>	-	75
<b>Survey Type</b>	-	Refurbishment & Demolition Survey	<b>Photograph N<sup>o</sup></b>	-	4795
<b>Position</b>	-	Sample Taken	<b>Location ID</b>	-	Loc20016

<b>Product Type</b>	-	N/A	<b>Surface Treatment</b>	-	N/A
<b>Asbestos Type</b>	-	No Asbestos Detected	<b>Damage Extent</b>	-	N/A
<b>Material Risk Score</b>	-	<b>0</b>	<b>Material Risk Band</b>	-	N/A

<b>Comments:</b>	-	
<b>Recommendations:</b>	-	

Client:	<b>Skanska</b>	Project No.	<b>SD724P/86213</b>
Site Address	<b>Old War Office, Horse Guards Avenue, London</b>	Page No.:	<b>Page 130 of 267</b>

### Location Survey Data Sheet

<b>Site Code/UPRN</b>	SD724P/86213	<b>Building</b>	Whitehall
<b>Address</b>	The Old War Office Horse Guards Avenue Whitehall London	<b>Floor</b>	Fourth Floor
	SW1A 2HB	<b>Room</b>	Room 417
<b>Description</b>	Asphalt over plaster.	<b>Quantity</b>	N/A
		<b>Asbestos Suspected</b>	<b>No</b>



<b>Last Inspection Date</b>	-	03 Sep 2012	<b>Certificate N<sup>o</sup></b>	-	BK30669
<b>Next Inspection Date</b>	-	03 Sep 2013	<b>Sample N<sup>o</sup></b>	-	72
<b>Survey Type</b>	-	Refurbishment & Demolition Survey	<b>Photograph N<sup>o</sup></b>	-	4790
<b>Position</b>	-	Sample Taken	<b>Location ID</b>	-	Loc20013

<b>Product Type</b>	-	N/A	<b>Surface Treatment</b>	-	N/A
<b>Asbestos Type</b>	-	No Asbestos Detected	<b>Damage Extent</b>	-	N/A
<b>Material Risk Score</b>	-	<b>0</b>	<b>Material Risk Band</b>	-	N/A

<b>Comments:</b>	-	
<b>Recommendations:</b>	-	

Client:	Skanska	Project No.	SD724P/86213
Site Address	Old War Office, Horse Guards Avenue, London	Page No.:	Page 131 of 267

### Location Survey Data Sheet

<b>Site Code/UPRN</b>	SD724P/86213	<b>Building</b>	Whitehall
<b>Address</b>	The Old War Office Horse Guards Avenue Whitehall London	<b>Floor</b>	Fourth Floor
	SW1A 2HB	<b>Room</b>	Room 417
<b>Description</b>	Board (party wall)	<b>Quantity</b>	N/A
		<b>Asbestos Suspected</b>	<b>No</b>



<b>Last Inspection Date</b>	-	03 Sep 2012	<b>Certificate N°</b>	-	BK30669
<b>Next Inspection Date</b>	-	03 Sep 2013	<b>Sample N°</b>	-	78
<b>Survey Type</b>	-	Refurbishment & Demolition Survey	<b>Photograph N°</b>	-	4792
<b>Position</b>	-	Sample Taken	<b>Location ID</b>	-	Loc20019

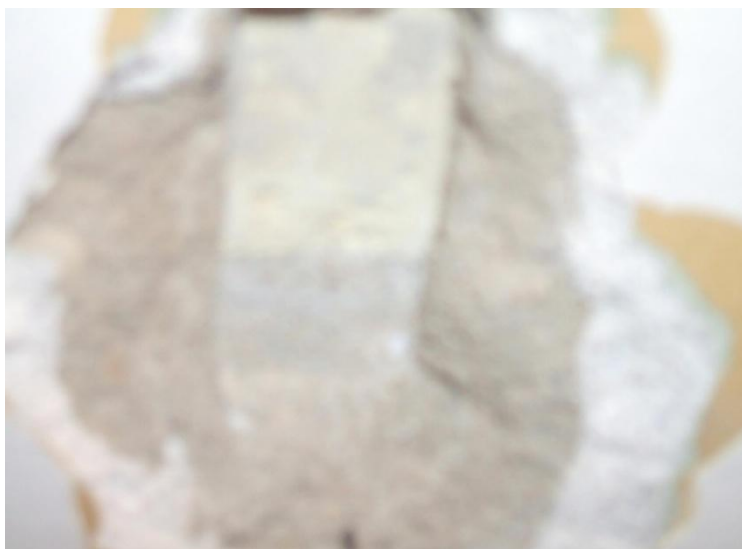
<b>Product Type</b>	-	N/A	<b>Surface Treatment</b>	-	N/A
<b>Asbestos Type</b>	-	No Asbestos Detected	<b>Damage Extent</b>	-	N/A
<b>Material Risk Score</b>	-	<b>0</b>	<b>Material Risk Band</b>	-	N/A

<b>Comments:</b>	-	
<b>Recommendations:</b>	-	

Client:	<b>Skanska</b>	Project No.	<b>SD724P/86213</b>
Site Address	<b>Old War Office, Horse Guards Avenue, London</b>	Page No.:	<b>Page 132 of 267</b>

### Location Survey Data Sheet

<b>Site Code/UPRN</b>	SD724P/86213	<b>Building</b>	Whitehall
<b>Address</b>	The Old War Office Horse Guards Avenue Whitehall London	<b>Floor</b>	Fourth Floor
	SW1A 2HB	<b>Room</b>	Room 423
<b>Description</b>	Mortar line walls.	<b>Quantity</b>	N/A
		<b>Asbestos Suspected</b>	<b>No</b>



<b>Last Inspection Date</b>	-	03 Sep 2012	<b>Certificate N<sup>o</sup></b>	-	BK30669
<b>Next Inspection Date</b>	-	03 Sep 2013	<b>Sample N<sup>o</sup></b>	-	84
<b>Survey Type</b>	-	Refurbishment & Demolition Survey	<b>Photograph N<sup>o</sup></b>	-	4802
<b>Position</b>	-	Sample Taken	<b>Location ID</b>	-	Loc20025

<b>Product Type</b>	-	N/A	<b>Surface Treatment</b>	-	N/A
<b>Asbestos Type</b>	-	No Asbestos Detected	<b>Damage Extent</b>	-	N/A
<b>Material Risk Score</b>	-	<b>0</b>	<b>Material Risk Band</b>	-	N/A

<b>Comments:</b>	-	
<b>Recommendations:</b>	-	

Client:	<b>Skanska</b>	Project No.	<b>SD724P/86213</b>
Site Address	<b>Old War Office, Horse Guards Avenue, London</b>	Page No.:	<b>Page 133 of 267</b>



### Location Survey Data Sheet

<b>Site Code/UPRN</b>	SD724P/86213	<b>Building</b>	Whitehall
<b>Address</b>	The Old War Office Horse Guards Avenue Whitehall London	<b>Floor</b>	Fourth Floor
	SW1A 2HB	<b>Room</b>	Room 423
<b>Description</b>	Mortar line to brickwork.	<b>Quantity</b>	N/A
		<b>Asbestos Suspected</b>	<b>No</b>



<b>Last Inspection Date</b>	-	03 Sep 2012	<b>Certificate N°</b>	-	BK30669
<b>Next Inspection Date</b>	-	03 Sep 2013	<b>Sample N°</b>	-	82
<b>Survey Type</b>	-	Refurbishment & Demolition Survey	<b>Photograph N°</b>	-	4800
<b>Position</b>	-	Sample Taken	<b>Location ID</b>	-	Loc20023

<b>Product Type</b>	-	N/A	<b>Surface Treatment</b>	-	N/A
<b>Asbestos Type</b>	-	No Asbestos Detected	<b>Damage Extent</b>	-	N/A
<b>Material Risk Score</b>	-	<b>0</b>	<b>Material Risk Band</b>	-	N/A

<b>Comments:</b>	-	
<b>Recommendations:</b>	-	

Client:	Skanska	Project No.	SD724P/86213
Site Address	Old War Office, Horse Guards Avenue, London	Page No.:	Page 134 of 267

### Location Survey Data Sheet

<b>Site Code/UPRN</b>	SD724P/86213	<b>Building</b>	Whitehall
<b>Address</b>	The Old War Office Horse Guards Avenue Whitehall London	<b>Floor</b>	Fourth Floor
	SW1A 2HB	<b>Room</b>	Room 423
<b>Description</b>	Asphalt ceiling.	<b>Quantity</b>	N/A
		<b>Asbestos Suspected</b>	<b>No</b>



<b>Last Inspection Date</b>	-	03 Sep 2012	<b>Certificate N°</b>	-	BK30669
<b>Next Inspection Date</b>	-	03 Sep 2013	<b>Sample N°</b>	-	80
<b>Survey Type</b>	-	Refurbishment & Demolition Survey	<b>Photograph N°</b>	-	4798
<b>Position</b>	-	Sample Taken	<b>Location ID</b>	-	Loc20021

<b>Product Type</b>	-	N/A	<b>Surface Treatment</b>	-	N/A
<b>Asbestos Type</b>	-	No Asbestos Detected	<b>Damage Extent</b>	-	N/A
<b>Material Risk Score</b>	-	<b>0</b>	<b>Material Risk Band</b>	-	N/A

<b>Comments:</b>	-	
<b>Recommendations:</b>	-	

Client:	Skanska	Project No.	SD724P/86213
Site Address	Old War Office, Horse Guards Avenue, London	Page No.:	Page 135 of 267

### Location Survey Data Sheet

<b>Site Code/UPRN</b>	SD724P/86213	<b>Building</b>	Whitehall
<b>Address</b>	The Old War Office Horse Guards Avenue Whitehall London	<b>Floor</b>	Fourth Floor
	SW1A 2HB	<b>Room</b>	Room 423
<b>Description</b>	Plaster & render finish to wall.	<b>Quantity</b>	N/A
		<b>Asbestos Suspected</b>	<b>No</b>



<b>Last Inspection Date</b>	-	03 Sep 2012	<b>Certificate N°</b>	-	BK30669
<b>Next Inspection Date</b>	-	03 Sep 2013	<b>Sample N°</b>	-	81
<b>Survey Type</b>	-	Refurbishment & Demolition Survey	<b>Photograph N°</b>	-	4799
<b>Position</b>	-	N/A	<b>Location ID</b>	-	Loc20022

<b>Product Type</b>	-	N/A	<b>Surface Treatment</b>	-	N/A
<b>Asbestos Type</b>	-	N/A	<b>Damage Extent</b>	-	N/A
<b>Material Risk Score</b>	-	<b>0</b>	<b>Material Risk Band</b>	-	N/A

<b>Comments:</b>	-	
<b>Recommendations:</b>	-	

Client:	Skanska	Project No.	SD724P/86213
Site Address	Old War Office, Horse Guards Avenue, London	Page No.:	Page 136 of 267

### Location Survey Data Sheet

<b>Site Code/UPRN</b>	SD724P/86213	<b>Building</b>	Whitehall
<b>Address</b>	The Old War Office Horse Guards Avenue Whitehall London	<b>Floor</b>	Fourth Floor
	SW1A 2HB	<b>Room</b>	Room 423
<b>Description</b>	Plaster & render ceiling.	<b>Quantity</b>	N/A
		<b>Asbestos Suspected</b>	<b>No</b>



<b>Last Inspection Date</b>	-	03 Sep 2012	<b>Certificate N<sup>o</sup></b>	-	BK30669
<b>Next Inspection Date</b>	-	03 Sep 2013	<b>Sample N<sup>o</sup></b>	-	79
<b>Survey Type</b>	-	Refurbishment & Demolition Survey	<b>Photograph N<sup>o</sup></b>	-	4797
<b>Position</b>	-	Sample Taken	<b>Location ID</b>	-	Loc20020

<b>Product Type</b>	-	N/A	<b>Surface Treatment</b>	-	N/A
<b>Asbestos Type</b>	-	No Asbestos Detected	<b>Damage Extent</b>	-	N/A
<b>Material Risk Score</b>	-	<b>0</b>	<b>Material Risk Band</b>	-	N/A

<b>Comments:</b>	-	
<b>Recommendations:</b>	-	

Client:	<b>Skanska</b>	Project No.	<b>SD724P/86213</b>
Site Address	<b>Old War Office, Horse Guards Avenue, London</b>	Page No.:	<b>Page 137 of 267</b>

### Location Survey Data Sheet

<b>Site Code/UPRN</b>	SD724P/86213	<b>Building</b>	Whitehall
<b>Address</b>	The Old War Office Horse Guards Avenue Whitehall London	<b>Floor</b>	Fourth Floor
	SW1A 2HB	<b>Room</b>	Room 423
<b>Description</b>	Plaster & render walls.	<b>Quantity</b>	N/A
		<b>Asbestos Suspected</b>	<b>No</b>



<b>Last Inspection Date</b>	-	03 Sep 2012	<b>Certificate N<sup>o</sup></b>	-	BK30669
<b>Next Inspection Date</b>	-	03 Sep 2013	<b>Sample N<sup>o</sup></b>	-	83
<b>Survey Type</b>	-	Refurbishment & Demolition Survey	<b>Photograph N<sup>o</sup></b>	-	4801
<b>Position</b>	-	Sample Taken	<b>Location ID</b>	-	Loc20024

<b>Product Type</b>	-	N/A	<b>Surface Treatment</b>	-	N/A
<b>Asbestos Type</b>	-	No Asbestos Detected	<b>Damage Extent</b>	-	N/A
<b>Material Risk Score</b>	-	<b>0</b>	<b>Material Risk Band</b>	-	N/A

<b>Comments:</b>	-	
<b>Recommendations:</b>	-	

Client:	Skanska	Project No.	SD724P/86213
Site Address	Old War Office, Horse Guards Avenue, London	Page No.:	Page 138 of 267

### Location Survey Data Sheet

<b>Site Code/UPRN</b>	SD724P/86213	<b>Building</b>	Whitehall
<b>Address</b>	The Old War Office Horse Guards Avenue Whitehall London	<b>Floor</b>	Fourth Floor
	SW1A 2HB	<b>Room</b>	Room 428
<b>Description</b>	Asphalt ceiling.	<b>Quantity</b>	N/A
		<b>Asbestos Suspected</b>	<b>No</b>



<b>Last Inspection Date</b>	-	03 Sep 2012	<b>Certificate N<sup>o</sup></b>	-	BK30669
<b>Next Inspection Date</b>	-	03 Sep 2013	<b>Sample N<sup>o</sup></b>	-	90
<b>Survey Type</b>	-	Refurbishment & Demolition Survey	<b>Photograph N<sup>o</sup></b>	-	4808
<b>Position</b>	-	Sample Taken	<b>Location ID</b>	-	Loc20031

<b>Product Type</b>	-	N/A	<b>Surface Treatment</b>	-	N/A
<b>Asbestos Type</b>	-	No Asbestos Detected	<b>Damage Extent</b>	-	N/A
<b>Material Risk Score</b>	-	<b>0</b>	<b>Material Risk Band</b>	-	N/A

<b>Comments:</b>	-	
<b>Recommendations:</b>	-	

Client:	<b>Skanska</b>	Project No.	<b>SD724P/86213</b>
Site Address	<b>Old War Office, Horse Guards Avenue, London</b>	Page No.:	<b>Page 139 of 267</b>

### Location Survey Data Sheet

<b>Site Code/UPRN</b>	SD724P/86213	<b>Building</b>	Whitehall
<b>Address</b>	The Old War Office Horse Guards Avenue Whitehall London	<b>Floor</b>	Fourth Floor
	SW1A 2HB	<b>Room</b>	Room 428
<b>Description</b>	Mortar line to walls.	<b>Quantity</b>	N/A
		<b>Asbestos Suspected</b>	<b>No</b>



<b>Last Inspection Date</b>	-	03 Sep 2012	<b>Certificate N°</b>	-	BK30669
<b>Next Inspection Date</b>	-	03 Sep 2013	<b>Sample N°</b>	-	86
<b>Survey Type</b>	-	Refurbishment & Demolition Survey	<b>Photograph N°</b>	-	4804
<b>Position</b>	-	Sample Taken	<b>Location ID</b>	-	Loc20027

<b>Product Type</b>	-	N/A	<b>Surface Treatment</b>	-	N/A
<b>Asbestos Type</b>	-	No Asbestos Detected	<b>Damage Extent</b>	-	N/A
<b>Material Risk Score</b>	-	<b>0</b>	<b>Material Risk Band</b>	-	N/A

<b>Comments:</b>	-	
<b>Recommendations:</b>	-	

Client:	Skanska	Project No.	SD724P/86213
Site Address	Old War Office, Horse Guards Avenue, London	Page No.:	Page 140 of 267

### Location Survey Data Sheet

<b>Site Code/UPRN</b>	SD724P/86213	<b>Building</b>	Whitehall
<b>Address</b>	The Old War Office Horse Guards Avenue Whitehall London	<b>Floor</b>	Fourth Floor
	SW1A 2HB	<b>Room</b>	Room 428
<b>Description</b>	Mortar line to walls.	<b>Quantity</b>	N/A
		<b>Asbestos Suspected</b>	<b>No</b>



<b>Last Inspection Date</b>	-	03 Sep 2012	<b>Certificate N°</b>	-	BK30669
<b>Next Inspection Date</b>	-	03 Sep 2013	<b>Sample N°</b>	-	88
<b>Survey Type</b>	-	Refurbishment & Demolition Survey	<b>Photograph N°</b>	-	4806
<b>Position</b>	-	Sample Taken	<b>Location ID</b>	-	Loc20029

<b>Product Type</b>	-	N/A	<b>Surface Treatment</b>	-	N/A
<b>Asbestos Type</b>	-	No Asbestos Detected	<b>Damage Extent</b>	-	N/A
<b>Material Risk Score</b>	-	<b>0</b>	<b>Material Risk Band</b>	-	N/A

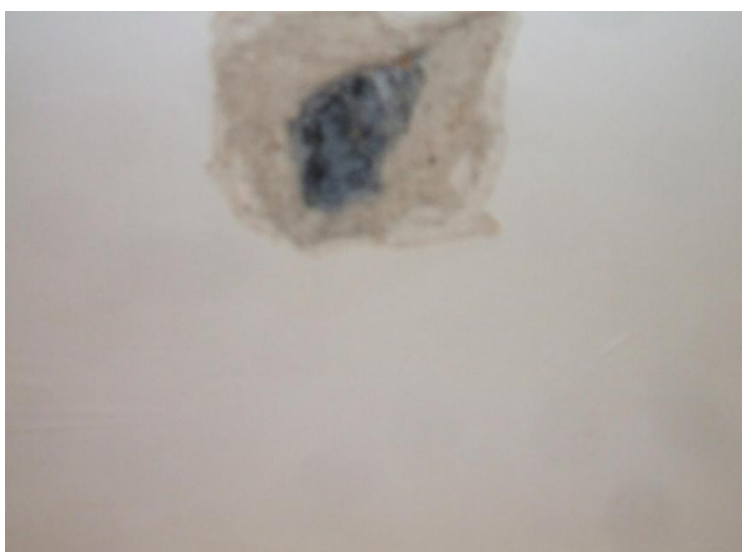
<b>Comments:</b>	-	
<b>Recommendations:</b>	-	

Client:	<b>Skanska</b>	Project No.	<b>SD724P/86213</b>
Site Address	<b>Old War Office, Horse Guards Avenue, London</b>	Page No.:	<b>Page 141 of 267</b>



### Location Survey Data Sheet

<b>Site Code/UPRN</b>	SD724P/86213	<b>Building</b>	Whitehall
<b>Address</b>	The Old War Office Horse Guards Avenue Whitehall London	<b>Floor</b>	Fourth Floor
	SW1A 2HB	<b>Room</b>	Room 428
<b>Description</b>	Plaster & render to walls.	<b>Quantity</b>	N/A
		<b>Asbestos Suspected</b>	<b>No</b>



<b>Last Inspection Date</b>	-	03 Sep 2012	<b>Certificate N<sup>o</sup></b>	-	BK30669
<b>Next Inspection Date</b>	-	03 Sep 2013	<b>Sample N<sup>o</sup></b>	-	89
<b>Survey Type</b>	-	Refurbishment & Demolition Survey	<b>Photograph N<sup>o</sup></b>	-	4807
<b>Position</b>	-	Sample Taken	<b>Location ID</b>	-	Loc20030

<b>Product Type</b>	-	N/A	<b>Surface Treatment</b>	-	N/A
<b>Asbestos Type</b>	-	No Asbestos Detected	<b>Damage Extent</b>	-	N/A
<b>Material Risk Score</b>	-	<b>0</b>	<b>Material Risk Band</b>	-	N/A

<b>Comments:</b>	-	
<b>Recommendations:</b>	-	

Client:	<b>Skanska</b>	Project No.	<b>SD724P/86213</b>
Site Address	<b>Old War Office, Horse Guards Avenue, London</b>	Page No.:	<b>Page 142 of 267</b>

### Location Survey Data Sheet

<b>Site Code/UPRN</b>	SD724P/86213	<b>Building</b>	Whitehall
<b>Address</b>	The Old War Office Horse Guards Avenue Whitehall London	<b>Floor</b>	Fourth Floor
	SW1A 2HB	<b>Room</b>	Room 428
<b>Description</b>	Plaster & render to walls.	<b>Quantity</b>	N/A
		<b>Asbestos Suspected</b>	<b>No</b>



<b>Last Inspection Date</b>	-	03 Sep 2012	<b>Certificate N<sup>o</sup></b>	-	BK30669
<b>Next Inspection Date</b>	-	03 Sep 2013	<b>Sample N<sup>o</sup></b>	-	87
<b>Survey Type</b>	-	Refurbishment & Demolition Survey	<b>Photograph N<sup>o</sup></b>	-	4805
<b>Position</b>	-	Sample Taken	<b>Location ID</b>	-	Loc20028

<b>Product Type</b>	-	N/A	<b>Surface Treatment</b>	-	N/A
<b>Asbestos Type</b>	-	No Asbestos Detected	<b>Damage Extent</b>	-	N/A
<b>Material Risk Score</b>	-	<b>0</b>	<b>Material Risk Band</b>	-	N/A

<b>Comments:</b>	-	
<b>Recommendations:</b>	-	

Client:	<b>Skanska</b>	Project No.	<b>SD724P/86213</b>
Site Address	<b>Old War Office, Horse Guards Avenue, London</b>	Page No.:	<b>Page 143 of 267</b>

### Location Survey Data Sheet

<b>Site Code/UPRN</b>	SD724P/86213	<b>Building</b>	Whitehall
<b>Address</b>	The Old War Office Horse Guards Avenue Whitehall London	<b>Floor</b>	Fourth Floor
	SW1A 2HB	<b>Room</b>	Room 428
<b>Description</b>	Plaster & render walls.	<b>Quantity</b>	N/A
		<b>Asbestos Suspected</b>	<b>No</b>



<b>Last Inspection Date</b>	-	03 Sep 2012	<b>Certificate N<sup>o</sup></b>	-	BK30669
<b>Next Inspection Date</b>	-	03 Sep 2013	<b>Sample N<sup>o</sup></b>	-	85
<b>Survey Type</b>	-	Refurbishment & Demolition Survey	<b>Photograph N<sup>o</sup></b>	-	4803
<b>Position</b>	-	Sample Taken	<b>Location ID</b>	-	Loc20026

<b>Product Type</b>	-	N/A	<b>Surface Treatment</b>	-	N/A
<b>Asbestos Type</b>	-	No Asbestos Detected	<b>Damage Extent</b>	-	N/A
<b>Material Risk Score</b>	-	<b>0</b>	<b>Material Risk Band</b>	-	N/A

<b>Comments:</b>	-	
<b>Recommendations:</b>	-	

Client:	Skanska	Project No.	SD724P/86213
Site Address	Old War Office, Horse Guards Avenue, London	Page No.:	Page 144 of 267

### Location Survey Data Sheet

<b>Site Code/UPRN</b>	SD724P/86213	<b>Building</b>	Whitehall
<b>Address</b>	The Old War Office Horse Guards Avenue Whitehall London	<b>Floor</b>	Fourth Floor
	SW1A 2HB	<b>Room</b>	Room 466
<b>Description</b>	Mortar line to walls adjacent to light socket.	<b>Quantity</b>	N/A
		<b>Asbestos Suspected</b>	<b>No</b>



<b>Last Inspection Date</b>	-	03 Sep 2012	<b>Certificate N<sup>o</sup></b>	-	BK30669
<b>Next Inspection Date</b>	-	03 Sep 2013	<b>Sample N<sup>o</sup></b>	-	92
<b>Survey Type</b>	-	Refurbishment & Demolition Survey	<b>Photograph N<sup>o</sup></b>	-	4810
<b>Position</b>	-	Sample Taken	<b>Location ID</b>	-	Loc20033

<b>Product Type</b>	-	N/A	<b>Surface Treatment</b>	-	N/A
<b>Asbestos Type</b>	-	No Asbestos Detected	<b>Damage Extent</b>	-	N/A
<b>Material Risk Score</b>	-	<b>0</b>	<b>Material Risk Band</b>	-	N/A

<b>Comments:</b>	-	
<b>Recommendations:</b>	-	

Client:	<b>Skanska</b>	Project No.	<b>SD724P/86213</b>
Site Address	<b>Old War Office, Horse Guards Avenue, London</b>	Page No.:	<b>Page 145 of 267</b>

### Location Survey Data Sheet

<b>Site Code/UPRN</b>	SD724P/86213	<b>Building</b>	Whitehall
<b>Address</b>	The Old War Office Horse Guards Avenue Whitehall London	<b>Floor</b>	Fourth Floor
	SW1A 2HB	<b>Room</b>	Room 466
<b>Description</b>	mortar line to walls adjacent to plug socket.	<b>Quantity</b>	N/A
		<b>Asbestos Suspected</b>	<b>No</b>



<b>Last Inspection Date</b>	-	03 Sep 2012	<b>Certificate N<sup>o</sup></b>	-	BK30669
<b>Next Inspection Date</b>	-	03 Sep 2013	<b>Sample N<sup>o</sup></b>	-	94
<b>Survey Type</b>	-	Refurbishment & Demolition Survey	<b>Photograph N<sup>o</sup></b>	-	4812
<b>Position</b>	-	Sample Taken	<b>Location ID</b>	-	Loc20035

<b>Product Type</b>	-	N/A	<b>Surface Treatment</b>	-	N/A
<b>Asbestos Type</b>	-	No Asbestos Detected	<b>Damage Extent</b>	-	N/A
<b>Material Risk Score</b>	-	<b>0</b>	<b>Material Risk Band</b>	-	N/A

<b>Comments:</b>	-	
<b>Recommendations:</b>	-	

Client:	<b>Skanska</b>	Project No.	<b>SD724P/86213</b>
Site Address	<b>Old War Office, Horse Guards Avenue, London</b>	Page No.:	<b>Page 146 of 267</b>

### Location Survey Data Sheet

<b>Site Code/UPRN</b>	SD724P/86213	<b>Building</b>	Whitehall
<b>Address</b>	The Old War Office Horse Guards Avenue Whitehall London	<b>Floor</b>	Fourth Floor
	SW1A 2HB	<b>Room</b>	Room 466
		<b>Quantity</b>	N/A
<b>Description</b>	Mortar line to walls.	<b>Asbestos Suspected</b>	<b>No</b>



<b>Last Inspection Date</b>	-	03 Sep 2012	<b>Certificate N<sup>o</sup></b>	-	BK30669
<b>Next Inspection Date</b>	-	03 Sep 2013	<b>Sample N<sup>o</sup></b>	-	98
<b>Survey Type</b>	-	Refurbishment & Demolition Survey	<b>Photograph N<sup>o</sup></b>	-	4816
<b>Position</b>	-	Sample Taken	<b>Location ID</b>	-	Loc20039

<b>Product Type</b>	-	N/A	<b>Surface Treatment</b>	-	N/A
<b>Asbestos Type</b>	-	No Asbestos Detected	<b>Damage Extent</b>	-	N/A
<b>Material Risk Score</b>	-	<b>0</b>	<b>Material Risk Band</b>	-	N/A

<b>Comments:</b>	-	
<b>Recommendations:</b>	-	

Client:	<b>Skanska</b>	Project No.	<b>SD724P/86213</b>
Site Address	<b>Old War Office, Horse Guards Avenue, London</b>	Page No.:	<b>Page 147 of 267</b>

### Location Survey Data Sheet

<b>Site Code/UPRN</b>	SD724P/86213	<b>Building</b>	Whitehall
<b>Address</b>	The Old War Office Horse Guards Avenue Whitehall London	<b>Floor</b>	Fourth Floor
	SW1A 2HB	<b>Room</b>	Room 466
<b>Description</b>	mortar line to walls adjacent to BT switch & wall socket.	<b>Quantity</b>	N/A
		<b>Asbestos Suspected</b>	<b>No</b>



<b>Last Inspection Date</b>	-	03 Sep 2012	<b>Certificate N°</b>	-	BK30669
<b>Next Inspection Date</b>	-	03 Sep 2013	<b>Sample N°</b>	-	96
<b>Survey Type</b>	-	Refurbishment & Demolition Survey	<b>Photograph N°</b>	-	4814
<b>Position</b>	-	Sample Taken	<b>Location ID</b>	-	Loc20037

<b>Product Type</b>	-	N/A	<b>Surface Treatment</b>	-	N/A
<b>Asbestos Type</b>	-	No Asbestos Detected	<b>Damage Extent</b>	-	N/A
<b>Material Risk Score</b>	-	<b>0</b>	<b>Material Risk Band</b>	-	N/A

<b>Comments:</b>	-	
<b>Recommendations:</b>	-	

Client:	<b>Skanska</b>	Project No.	<b>SD724P/86213</b>
Site Address	<b>Old War Office, Horse Guards Avenue, London</b>	Page No.:	<b>Page 148 of 267</b>

### Location Survey Data Sheet

<b>Site Code/UPRN</b>	SD724P/86213	<b>Building</b>	Whitehall
<b>Address</b>	The Old War Office Horse Guards Avenue Whitehall London	<b>Floor</b>	Fourth Floor
	SW1A 2HB	<b>Room</b>	Room 466
<b>Description</b>	Plaster & render to walls.	<b>Quantity</b>	N/A
		<b>Asbestos Suspected</b>	<b>No</b>



<b>Last Inspection Date</b>	-	03 Sep 2012	<b>Certificate N°</b>	-	BK30669
<b>Next Inspection Date</b>	-	03 Sep 2013	<b>Sample N°</b>	-	97
<b>Survey Type</b>	-	Refurbishment & Demolition Survey	<b>Photograph N°</b>	-	4815
<b>Position</b>	-	Sample Taken	<b>Location ID</b>	-	Loc20038

<b>Product Type</b>	-	N/A	<b>Surface Treatment</b>	-	N/A
<b>Asbestos Type</b>	-	No Asbestos Detected	<b>Damage Extent</b>	-	N/A
<b>Material Risk Score</b>	-	<b>0</b>	<b>Material Risk Band</b>	-	N/A

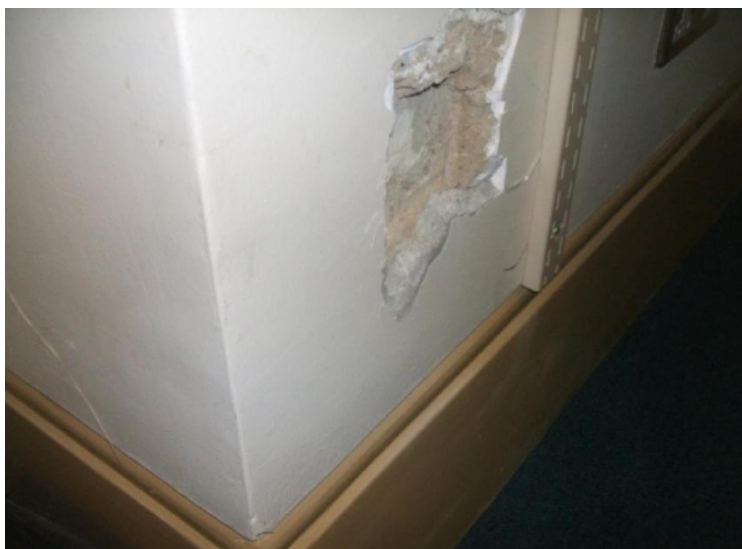
<b>Comments:</b>	-	
<b>Recommendations:</b>	-	

Client:	Skanska	Project No.	SD724P/86213
Site Address	Old War Office, Horse Guards Avenue, London	Page No.:	Page 149 of 267



### Location Survey Data Sheet

<b>Site Code/UPRN</b>	SD724P/86213	<b>Building</b>	Whitehall
<b>Address</b>	The Old War Office Horse Guards Avenue Whitehall London	<b>Floor</b>	Fourth Floor
	SW1A 2HB	<b>Room</b>	Room 466
<b>Description</b>	Plaster & render to walls adjacent to plug socket.	<b>Quantity</b>	N/A
		<b>Asbestos Suspected</b>	<b>No</b>



<b>Last Inspection Date</b>	-	03 Sep 2012	<b>Certificate N<sup>o</sup></b>	-	BK30669
<b>Next Inspection Date</b>	-	03 Sep 2013	<b>Sample N<sup>o</sup></b>	-	93
<b>Survey Type</b>	-	Refurbishment & Demolition Survey	<b>Photograph N<sup>o</sup></b>	-	4811
<b>Position</b>	-	Sample Taken	<b>Location ID</b>	-	Loc20034

<b>Product Type</b>	-	N/A	<b>Surface Treatment</b>	-	N/A
<b>Asbestos Type</b>	-	No Asbestos Detected	<b>Damage Extent</b>	-	N/A
<b>Material Risk Score</b>	-	<b>0</b>	<b>Material Risk Band</b>	-	N/A

<b>Comments:</b>	-	
<b>Recommendations:</b>	-	

Client:	<b>Skanska</b>	Project No.	<b>SD724P/86213</b>
Site Address	<b>Old War Office, Horse Guards Avenue, London</b>	Page No.:	<b>Page 150 of 267</b>

### Location Survey Data Sheet

<b>Site Code/UPRN</b>	SD724P/86213	<b>Building</b>	Whitehall
<b>Address</b>	The Old War Office Horse Guards Avenue Whitehall London	<b>Floor</b>	Fourth Floor
	SW1A 2HB	<b>Room</b>	Room 466
<b>Description</b>	Plaster & render to walls adjacent to light socket.	<b>Quantity</b>	N/A
		<b>Asbestos Suspected</b>	<b>No</b>



<b>Last Inspection Date</b>	-	03 Sep 2012	<b>Certificate N°</b>	-	BK30669
<b>Next Inspection Date</b>	-	03 Sep 2013	<b>Sample N°</b>	-	91
<b>Survey Type</b>	-	Refurbishment & Demolition Survey	<b>Photograph N°</b>	-	4809
<b>Position</b>	-	Sample Taken	<b>Location ID</b>	-	Loc20032

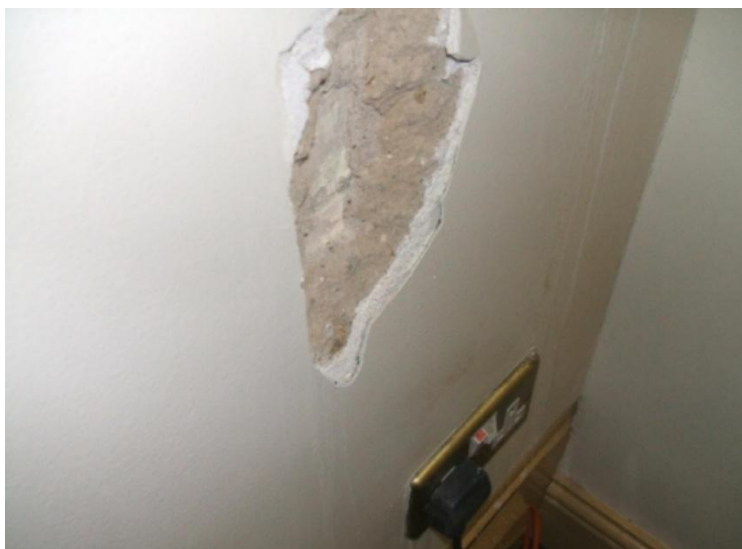
<b>Product Type</b>	-	N/A	<b>Surface Treatment</b>	-	N/A
<b>Asbestos Type</b>	-	No Asbestos Detected	<b>Damage Extent</b>	-	N/A
<b>Material Risk Score</b>	-	<b>0</b>	<b>Material Risk Band</b>	-	N/A

<b>Comments:</b>	-	
<b>Recommendations:</b>	-	

Client:	<b>Skanska</b>	Project No.	<b>SD724P/86213</b>
Site Address	<b>Old War Office, Horse Guards Avenue, London</b>	Page No.:	<b>Page 151 of 267</b>

### Location Survey Data Sheet

<b>Site Code/UPRN</b>	SD724P/86213	<b>Building</b>	Whitehall
<b>Address</b>	The Old War Office Horse Guards Avenue Whitehall London	<b>Floor</b>	Fourth Floor
	SW1A 2HB	<b>Room</b>	Room 466
<b>Description</b>	Plaster & render adjacent to BT switch & wall socket.	<b>Quantity</b>	N/A
		<b>Asbestos Suspected</b>	<b>No</b>



<b>Last Inspection Date</b>	-	03 Sep 2012	<b>Certificate N<sup>o</sup></b>	-	BK30669
<b>Next Inspection Date</b>	-	03 Sep 2013	<b>Sample N<sup>o</sup></b>	-	95
<b>Survey Type</b>	-	Refurbishment & Demolition Survey	<b>Photograph N<sup>o</sup></b>	-	4813
<b>Position</b>	-	Sample Taken	<b>Location ID</b>	-	Loc20036

<b>Product Type</b>	-	N/A	<b>Surface Treatment</b>	-	N/A
<b>Asbestos Type</b>	-	No Asbestos Detected	<b>Damage Extent</b>	-	N/A
<b>Material Risk Score</b>	-	<b>0</b>	<b>Material Risk Band</b>	-	N/A

<b>Comments:</b>	-	
<b>Recommendations:</b>	-	

Client:	<b>Skanska</b>	Project No.	<b>SD724P/86213</b>
Site Address	<b>Old War Office, Horse Guards Avenue, London</b>	Page No.:	<b>Page 152 of 267</b>

### Location Survey Data Sheet

<b>Site Code/UPRN</b>	SD724P/86213	<b>Building</b>	Whitehall
<b>Address</b>	The Old War Office Horse Guards Avenue Whitehall London	<b>Floor</b>	Fourth Floor
	SW1A 2HB	<b>Room</b>	Room 466
<b>Description</b>	Mortar line below ceiling over top course of brickwork.	<b>Quantity</b>	N/A
		<b>Asbestos Suspected</b>	<b>No</b>



<b>Last Inspection Date</b>	-	03 Sep 2012	<b>Certificate N°</b>	-	BK30669
<b>Next Inspection Date</b>	-	03 Sep 2013	<b>Sample N°</b>	-	100
<b>Survey Type</b>	-	Refurbishment & Demolition Survey	<b>Photograph N°</b>	-	4818
<b>Position</b>	-	Sample Taken	<b>Location ID</b>	-	Loc20041

<b>Product Type</b>	-	N/A	<b>Surface Treatment</b>	-	N/A
<b>Asbestos Type</b>	-	No Asbestos Detected	<b>Damage Extent</b>	-	N/A
<b>Material Risk Score</b>	-	<b>0</b>	<b>Material Risk Band</b>	-	N/A

<b>Comments:</b>	-	
<b>Recommendations:</b>	-	

Client:	<b>Skanska</b>	Project No.	<b>SD724P/86213</b>
Site Address	<b>Old War Office, Horse Guards Avenue, London</b>	Page No.:	<b>Page 153 of 267</b>

### Location Survey Data Sheet

<b>Site Code/UPRN</b>	SD724P/86213	<b>Building</b>	Whitehall
<b>Address</b>	The Old War Office Horse Guards Avenue Whitehall London	<b>Floor</b>	Fourth Floor
	SW1A 2HB	<b>Room</b>	Room 466
		<b>Quantity</b>	N/A
<b>Description</b>	Concrete slab ceiling.	<b>Asbestos Suspected</b>	<b>No</b>



<b>Last Inspection Date</b>	-	03 Sep 2012	<b>Certificate N<sup>o</sup></b>	-	BK30669
<b>Next Inspection Date</b>	-	03 Sep 2013	<b>Sample N<sup>o</sup></b>	-	99
<b>Survey Type</b>	-	Refurbishment & Demolition Survey	<b>Photograph N<sup>o</sup></b>	-	4817
<b>Position</b>	-	Sample Taken	<b>Location ID</b>	-	Loc20040

<b>Product Type</b>	-	N/A	<b>Surface Treatment</b>	-	N/A
<b>Asbestos Type</b>	-	No Asbestos Detected	<b>Damage Extent</b>	-	N/A
<b>Material Risk Score</b>	-	<b>0</b>	<b>Material Risk Band</b>	-	N/A

<b>Comments:</b>	-	
<b>Recommendations:</b>	-	

Client:	Skanska	Project No.	SD724P/86213
Site Address	Old War Office, Horse Guards Avenue, London	Page No.:	Page 154 of 267

### Location Survey Data Sheet

<b>Site Code/UPRN</b>	SD724P/86213	<b>Building</b>	Whitehall
<b>Address</b>	The Old War Office Horse Guards Avenue Whitehall London	<b>Floor</b>	Fourth Floor
	SW1A 2HB	<b>Room</b>	Stairwell (1)
<b>Description</b>	Render behind plaster finish.	<b>Quantity</b>	N/A
		<b>Asbestos Suspected</b>	<b>No</b>



<b>Last Inspection Date</b>	-	03 Sep 2012	<b>Certificate N°</b>	-	BK30669
<b>Next Inspection Date</b>	-	03 Sep 2013	<b>Sample N°</b>	-	68
<b>Survey Type</b>	-	Refurbishment & Demolition Survey	<b>Photograph N°</b>	-	4786
<b>Position</b>	-	Sample Taken	<b>Location ID</b>	-	Loc20009

<b>Product Type</b>	-	N/A	<b>Surface Treatment</b>	-	N/A
<b>Asbestos Type</b>	-	No Asbestos Detected	<b>Damage Extent</b>	-	N/A
<b>Material Risk Score</b>	-	<b>0</b>	<b>Material Risk Band</b>	-	N/A

<b>Comments:</b>	-	
<b>Recommendations:</b>	-	

Client:	Skanska	Project No.	SD724P/86213
Site Address	Old War Office, Horse Guards Avenue, London	Page No.:	Page 155 of 267

### Location Survey Data Sheet

<b>Site Code/UPRN</b>	SD724P/86213	<b>Building</b>	Whitehall
<b>Address</b>	The Old War Office Horse Guards Avenue Whitehall London	<b>Floor</b>	Fourth Floor
	SW1A 2HB	<b>Room</b>	Stairwell (1)
<b>Description</b>	Plaster finish to be an access stairwell.	<b>Quantity</b>	N/A
		<b>Asbestos Suspected</b>	<b>No</b>



<b>Last Inspection Date</b>	-	03 Sep 2012	<b>Certificate N°</b>	-	BK30669
<b>Next Inspection Date</b>	-	03 Sep 2013	<b>Sample N°</b>	-	67
<b>Survey Type</b>	-	Refurbishment & Demolition Survey	<b>Photograph N°</b>	-	4785
<b>Position</b>	-	Sample Taken	<b>Location ID</b>	-	Loc20008

<b>Product Type</b>	-	N/A	<b>Surface Treatment</b>	-	N/A
<b>Asbestos Type</b>	-	No Asbestos Detected	<b>Damage Extent</b>	-	N/A
<b>Material Risk Score</b>	-	<b>0</b>	<b>Material Risk Band</b>	-	N/A

<b>Comments:</b>	-	
<b>Recommendations:</b>	-	

Client:	<b>Skanska</b>	Project No.	<b>SD724P/86213</b>
Site Address	<b>Old War Office, Horse Guards Avenue, London</b>	Page No.:	<b>Page 156 of 267</b>

### Location Survey Data Sheet

<b>Site Code/UPRN</b>	SD724P/86213	<b>Building</b>	Whitehall
<b>Address</b>	The Old War Office Horse Guards Avenue Whitehall London	<b>Floor</b>	Fourth Floor
	SW1A 2HB	<b>Room</b>	WES 371 Lifts
<b>Description</b>	Plaster finish to beam adjacent to lifts.	<b>Quantity</b>	N/A
		<b>Asbestos Suspected</b>	<b>No</b>



<b>Last Inspection Date</b>	-	03 Sep 2012	<b>Certificate N<sup>o</sup></b>	-	BK30669
<b>Next Inspection Date</b>	-	03 Sep 2013	<b>Sample N<sup>o</sup></b>	-	69
<b>Survey Type</b>	-	Refurbishment & Demolition Survey	<b>Photograph N<sup>o</sup></b>	-	4787
<b>Position</b>	-	Sample Taken	<b>Location ID</b>	-	Loc20010

<b>Product Type</b>	-	N/A	<b>Surface Treatment</b>	-	N/A
<b>Asbestos Type</b>	-	No Asbestos Detected	<b>Damage Extent</b>	-	N/A
<b>Material Risk Score</b>	-	<b>0</b>	<b>Material Risk Band</b>	-	N/A

<b>Comments:</b>	-	
<b>Recommendations:</b>	-	

Client:	<b>Skanska</b>	Project No.	<b>SD724P/86213</b>
Site Address	<b>Old War Office, Horse Guards Avenue, London</b>	Page No.:	<b>Page 157 of 267</b>



### Location Survey Data Sheet

<b>Site Code/UPRN</b>	SD724P/86213	<b>Building</b>	Whitehall
<b>Address</b>	The Old War Office Horse Guards Avenue Whitehall London	<b>Floor</b>	Fourth Floor
	SW1A 2HB	<b>Room</b>	WES 371 Lifts
<b>Description</b>	Render to beam adjacent to lifts.	<b>Quantity</b>	N/A
		<b>Asbestos Suspected</b>	<b>No</b>



<b>Last Inspection Date</b>	-	03 Sep 2012	<b>Certificate N<sup>o</sup></b>	-	BK30669
<b>Next Inspection Date</b>	-	03 Sep 2013	<b>Sample N<sup>o</sup></b>	-	70
<b>Survey Type</b>	-	Refurbishment & Demolition Survey	<b>Photograph N<sup>o</sup></b>	-	4788
<b>Position</b>	-	Sample Taken	<b>Location ID</b>	-	Loc20011

<b>Product Type</b>	-	N/A	<b>Surface Treatment</b>	-	N/A
<b>Asbestos Type</b>	-	No Asbestos Detected	<b>Damage Extent</b>	-	N/A
<b>Material Risk Score</b>	-	<b>0</b>	<b>Material Risk Band</b>	-	N/A

<b>Comments:</b>	-	
<b>Recommendations:</b>	-	

Client:	Skanska	Project No.	SD724P/86213
Site Address	Old War Office, Horse Guards Avenue, London	Page No.:	Page 158 of 267

### Location Survey Data Sheet

<b>Site Code/UPRN</b>	SD724P/86213	<b>Building</b>	Whitehall
<b>Address</b>	The Old War Office Horse Guards Avenue Whitehall London	<b>Floor</b>	Ground (0)
	SW1A 2HB	<b>Room</b>	Main Entrance Area
		<b>Quantity</b>	N/A
<b>Description</b>	Brick mortar.	<b>Asbestos Suspected</b>	<b>No</b>

**No  
Image  
Available**

<b>Last Inspection Date</b>	-	03 Sep 2012	<b>Certificate N<sup>o</sup></b>	-	BK30786
<b>Next Inspection Date</b>	-	03 Sep 2013	<b>Sample N<sup>o</sup></b>	-	242
<b>Survey Type</b>	-	Refurbishment & Demolition Survey	<b>Photograph N<sup>o</sup></b>	-	4963
<b>Position</b>	-	Sample Taken	<b>Location ID</b>	-	Loc20191

<b>Product Type</b>	-	N/A	<b>Surface Treatment</b>	-	N/A
<b>Asbestos Type</b>	-	No Asbestos Detected	<b>Damage Extent</b>	-	N/A
<b>Material Risk Score</b>	-	<b>0</b>	<b>Material Risk Band</b>	-	N/A

<b>Comments:</b>	-	
<b>Recommendations:</b>	-	

Client:	<b>Skanska</b>	Project No.	<b>SD724P/86213</b>
Site Address	<b>Old War Office, Horse Guards Avenue, London</b>	Page No.:	<b>Page 159 of 267</b>

### Location Survey Data Sheet

<b>Site Code/UPRN</b>	SD724P/86213	<b>Building</b>	Whitehall
<b>Address</b>	The Old War Office Horse Guards Avenue Whitehall London	<b>Floor</b>	Ground (0)
	SW1A 2HB	<b>Room</b>	Main Entrance Area
<b>Description</b>	Firebrick & mortar.	<b>Quantity</b>	N/A
		<b>Asbestos Suspected</b>	<b>No</b>



<b>Last Inspection Date</b>	-	03 Sep 2012	<b>Certificate N<sup>o</sup></b>	-	BK30786
<b>Next Inspection Date</b>	-	03 Sep 2013	<b>Sample N<sup>o</sup></b>	-	243
<b>Survey Type</b>	-	Refurbishment & Demolition Survey	<b>Photograph N<sup>o</sup></b>	-	4964
<b>Position</b>	-	Sample Taken	<b>Location ID</b>	-	Loc20192

<b>Product Type</b>	-	N/A	<b>Surface Treatment</b>	-	N/A
<b>Asbestos Type</b>	-	No Asbestos Detected	<b>Damage Extent</b>	-	N/A
<b>Material Risk Score</b>	-	<b>0</b>	<b>Material Risk Band</b>	-	N/A

<b>Comments:</b>	-	
<b>Recommendations:</b>	-	

Client:	Skanska	Project No.	SD724P/86213
Site Address	Old War Office, Horse Guards Avenue, London	Page No.:	Page 160 of 267

### Location Survey Data Sheet

<b>Site Code/UPRN</b>	SD724P/86213	<b>Building</b>	Whitehall
<b>Address</b>	The Old War Office Horse Guards Avenue Whitehall London	<b>Floor</b>	Ground (0)
	SW1A 2HB	<b>Room</b>	Main Entrance Area
<b>Description</b>	Fireplace (01)- Firebrick.	<b>Quantity</b>	N/A
		<b>Asbestos Suspected</b>	<b>No</b>



<b>Last Inspection Date</b>	-	03 Sep 2012	<b>Certificate N<sup>o</sup></b>	-	BK30786
<b>Next Inspection Date</b>	-	03 Sep 2013	<b>Sample N<sup>o</sup></b>	-	241
<b>Survey Type</b>	-	Refurbishment & Demolition Survey	<b>Photograph N<sup>o</sup></b>	-	4963
<b>Position</b>	-	Sample Taken	<b>Location ID</b>	-	Loc20190

<b>Product Type</b>	-	N/A	<b>Surface Treatment</b>	-	N/A
<b>Asbestos Type</b>	-	No Asbestos Detected	<b>Damage Extent</b>	-	N/A
<b>Material Risk Score</b>	-	<b>0</b>	<b>Material Risk Band</b>	-	N/A

<b>Comments:</b>	-	
<b>Recommendations:</b>	-	

Client:	Skanska	Project No.	SD724P/86213
Site Address	Old War Office, Horse Guards Avenue, London	Page No.:	Page 161 of 267

### Location Survey Data Sheet

<b>Site Code/UPRN</b>	SD724P/86213	<b>Building</b>	Whitehall
<b>Address</b>	The Old War Office Horse Guards Avenue Whitehall London	<b>Floor</b>	Ground (0)
	SW1A 2HB	<b>Room</b>	Main Entrance Area
<b>Description</b>	Mortar.	<b>Quantity</b>	N/A
		<b>Asbestos Suspected</b>	<b>No</b>



<b>Last Inspection Date</b>	-	03 Sep 2012	<b>Certificate N<sup>o</sup></b>	-	BK30786
<b>Next Inspection Date</b>	-	03 Sep 2013	<b>Sample N<sup>o</sup></b>	-	244
<b>Survey Type</b>	-	Refurbishment & Demolition Survey	<b>Photograph N<sup>o</sup></b>	-	4964
<b>Position</b>	-	Sample Taken	<b>Location ID</b>	-	Loc20193

<b>Product Type</b>	-	N/A	<b>Surface Treatment</b>	-	N/A
<b>Asbestos Type</b>	-	No Asbestos Detected	<b>Damage Extent</b>	-	N/A
<b>Material Risk Score</b>	-	<b>0</b>	<b>Material Risk Band</b>	-	N/A

<b>Comments:</b>	-	
<b>Recommendations:</b>	-	

Client:	Skanska	Project No.	SD724P/86213
Site Address	Old War Office, Horse Guards Avenue, London	Page No.:	Page 162 of 267

### Location Survey Data Sheet

<b>Site Code/UPRN</b>	SD724P/86213	<b>Building</b>	Whitehall
<b>Address</b>	The Old War Office Horse Guards Avenue Whitehall London	<b>Floor</b>	Ground (0)
	SW1A 2HB	<b>Room</b>	Room 019
<b>Description</b>	Mortar line to walls adjacent to socket.	<b>Quantity</b>	N/A
		<b>Asbestos Suspected</b>	<b>No</b>



<b>Last Inspection Date</b>	-	03 Sep 2012	<b>Certificate N°</b>	-	BK30786
<b>Next Inspection Date</b>	-	03 Sep 2013	<b>Sample N°</b>	-	206
<b>Survey Type</b>	-	Refurbishment & Demolition Survey	<b>Photograph N°</b>	-	4928
<b>Position</b>	-	Sample Taken	<b>Location ID</b>	-	Loc20154

<b>Product Type</b>	-	N/A	<b>Surface Treatment</b>	-	N/A
<b>Asbestos Type</b>	-	No Asbestos Detected	<b>Damage Extent</b>	-	N/A
<b>Material Risk Score</b>	-	<b>0</b>	<b>Material Risk Band</b>	-	N/A

<b>Comments:</b>	-	
<b>Recommendations:</b>	-	

Client:	Skanska	Project No.	SD724P/86213
Site Address	Old War Office, Horse Guards Avenue, London	Page No.:	Page 163 of 267

### Location Survey Data Sheet

<b>Site Code/UPRN</b>	SD724P/86213	<b>Building</b>	Whitehall
<b>Address</b>	The Old War Office Horse Guards Avenue Whitehall London	<b>Floor</b>	Ground (0)
	SW1A 2HB	<b>Room</b>	Room 019
<b>Description</b>	Plaster & render to walls adjacent to socket.	<b>Quantity</b>	N/A
		<b>Asbestos Suspected</b>	<b>No</b>



<b>Last Inspection Date</b>	-	03 Sep 2012	<b>Certificate N°</b>	-	BK30786
<b>Next Inspection Date</b>	-	03 Sep 2013	<b>Sample N°</b>	-	209
<b>Survey Type</b>	-	Refurbishment & Demolition Survey	<b>Photograph N°</b>	-	4931
<b>Position</b>	-	Sample Taken	<b>Location ID</b>	-	Loc20157

<b>Product Type</b>	-	N/A	<b>Surface Treatment</b>	-	N/A
<b>Asbestos Type</b>	-	No Asbestos Detected	<b>Damage Extent</b>	-	N/A
<b>Material Risk Score</b>	-	<b>0</b>	<b>Material Risk Band</b>	-	N/A

<b>Comments:</b>	-	
<b>Recommendations:</b>	-	

Client:	<b>Skanska</b>	Project No.	<b>SD724P/86213</b>
Site Address	<b>Old War Office, Horse Guards Avenue, London</b>	Page No.:	<b>Page 164 of 267</b>

### Location Survey Data Sheet

<b>Site Code/UPRN</b>	SD724P/86213	<b>Building</b>	Whitehall
<b>Address</b>	The Old War Office Horse Guards Avenue Whitehall London	<b>Floor</b>	Ground (0)
	SW1A 2HB	<b>Room</b>	Room 019
<b>Description</b>	Plaster & render to walls.	<b>Quantity</b>	N/A
		<b>Asbestos Suspected</b>	<b>No</b>



<b>Last Inspection Date</b>	-	03 Sep 2012	<b>Certificate N°</b>	-	BK30786
<b>Next Inspection Date</b>	-	03 Sep 2013	<b>Sample N°</b>	-	203
<b>Survey Type</b>	-	Refurbishment & Demolition Survey	<b>Photograph N°</b>	-	4925
<b>Position</b>	-	Sample Taken	<b>Location ID</b>	-	Loc20151

<b>Product Type</b>	-	N/A	<b>Surface Treatment</b>	-	N/A
<b>Asbestos Type</b>	-	No Asbestos Detected	<b>Damage Extent</b>	-	N/A
<b>Material Risk Score</b>	-	<b>0</b>	<b>Material Risk Band</b>	-	N/A

<b>Comments:</b>	-	
<b>Recommendations:</b>	-	

Client:	Skanska	Project No.	SD724P/86213
Site Address	Old War Office, Horse Guards Avenue, London	Page No.:	Page 165 of 267



### Location Survey Data Sheet

<b>Site Code/UPRN</b>	SD724P/86213	<b>Building</b>	Whitehall
<b>Address</b>	The Old War Office Horse Guards Avenue Whitehall London	<b>Floor</b>	Ground (0)
	SW1A 2HB	<b>Room</b>	Room 019
<b>Description</b>	Plaster & render to walls adjacent to socket.	<b>Quantity</b>	N/A
		<b>Asbestos Suspected</b>	<b>No</b>



<b>Last Inspection Date</b>	-	03 Sep 2012	<b>Certificate N<sup>o</sup></b>	-	BK30786
<b>Next Inspection Date</b>	-	03 Sep 2013	<b>Sample N<sup>o</sup></b>	-	205
<b>Survey Type</b>	-	Refurbishment & Demolition Survey	<b>Photograph N<sup>o</sup></b>	-	4927
<b>Position</b>	-	Sample Taken	<b>Location ID</b>	-	Loc20153

<b>Product Type</b>	-	N/A	<b>Surface Treatment</b>	-	N/A
<b>Asbestos Type</b>	-	No Asbestos Detected	<b>Damage Extent</b>	-	N/A
<b>Material Risk Score</b>	-	<b>0</b>	<b>Material Risk Band</b>	-	N/A

<b>Comments:</b>	-	
<b>Recommendations:</b>	-	

Client:	Skanska	Project No.	SD724P/86213
Site Address	Old War Office, Horse Guards Avenue, London	Page No.:	Page 166 of 267

### Location Survey Data Sheet

<b>Site Code/UPRN</b>	SD724P/86213	<b>Building</b>	Whitehall
<b>Address</b>	The Old War Office Horse Guards Avenue Whitehall London	<b>Floor</b>	Ground (0)
	SW1A 2HB	<b>Room</b>	Room 019
<b>Description</b>	Mortar line to walls.	<b>Quantity</b>	N/A
		<b>Asbestos Suspected</b>	<b>No</b>



<b>Last Inspection Date</b>	-	03 Sep 2012	<b>Certificate N<sup>o</sup></b>	-	BK30786
<b>Next Inspection Date</b>	-	03 Sep 2013	<b>Sample N<sup>o</sup></b>	-	204
<b>Survey Type</b>	-	Refurbishment & Demolition Survey	<b>Photograph N<sup>o</sup></b>	-	4926
<b>Position</b>	-	Sample Taken	<b>Location ID</b>	-	Loc20152

<b>Product Type</b>	-	N/A	<b>Surface Treatment</b>	-	N/A
<b>Asbestos Type</b>	-	No Asbestos Detected	<b>Damage Extent</b>	-	N/A
<b>Material Risk Score</b>	-	<b>0</b>	<b>Material Risk Band</b>	-	N/A

<b>Comments:</b>	-	
<b>Recommendations:</b>	-	

Client:	<b>Skanska</b>	Project No.	<b>SD724P/86213</b>
Site Address	<b>Old War Office, Horse Guards Avenue, London</b>	Page No.:	<b>Page 167 of 267</b>

### Location Survey Data Sheet

<b>Site Code/UPRN</b>	SD724P/86213	<b>Building</b>	Whitehall
<b>Address</b>	The Old War Office Horse Guards Avenue Whitehall London	<b>Floor</b>	Ground (0)
	SW1A 2HB	<b>Room</b>	Room 019
<b>Description</b>	Mortar line to walls adjacent to socket.	<b>Quantity</b>	N/A
		<b>Asbestos Suspected</b>	<b>No</b>



<b>Last Inspection Date</b>	-	03 Sep 2012	<b>Certificate N°</b>	-	BK30786
<b>Next Inspection Date</b>	-	03 Sep 2013	<b>Sample N°</b>	-	208
<b>Survey Type</b>	-	Refurbishment & Demolition Survey	<b>Photograph N°</b>	-	4930
<b>Position</b>	-	Sample Taken	<b>Location ID</b>	-	Loc20156

<b>Product Type</b>	-	N/A	<b>Surface Treatment</b>	-	N/A
<b>Asbestos Type</b>	-	No Asbestos Detected	<b>Damage Extent</b>	-	N/A
<b>Material Risk Score</b>	-	<b>0</b>	<b>Material Risk Band</b>	-	N/A

<b>Comments:</b>	-	
<b>Recommendations:</b>	-	

Client:	Skanska	Project No.	SD724P/86213
Site Address	Old War Office, Horse Guards Avenue, London	Page No.:	Page 168 of 267

### Location Survey Data Sheet

<b>Site Code/UPRN</b>	SD724P/86213	<b>Building</b>	Whitehall
<b>Address</b>	The Old War Office Horse Guards Avenue Whitehall London	<b>Floor</b>	Ground (0)
	SW1A 2HB	<b>Room</b>	Room 019
<b>Description</b>	Ceiling plaster & finish.	<b>Quantity</b>	N/A
		<b>Asbestos Suspected</b>	<b>No</b>



<b>Last Inspection Date</b>	-	03 Sep 2012	<b>Certificate N°</b>	-	BK30786
<b>Next Inspection Date</b>	-	03 Sep 2013	<b>Sample N°</b>	-	201
<b>Survey Type</b>	-	Refurbishment & Demolition Survey	<b>Photograph N°</b>	-	4923
<b>Position</b>	-	Sample Taken	<b>Location ID</b>	-	Loc20149

<b>Product Type</b>	-	N/A	<b>Surface Treatment</b>	-	N/A
<b>Asbestos Type</b>	-	No Asbestos Detected	<b>Damage Extent</b>	-	N/A
<b>Material Risk Score</b>	-	<b>0</b>	<b>Material Risk Band</b>	-	N/A

<b>Comments:</b>	-	
<b>Recommendations:</b>	-	

Client:	Skanska	Project No.	SD724P/86213
Site Address	Old War Office, Horse Guards Avenue, London	Page No.:	Page 169 of 267

### Location Survey Data Sheet

<b>Site Code/UPRN</b>	SD724P/86213	<b>Building</b>	Whitehall
<b>Address</b>	The Old War Office Horse Guards Avenue Whitehall London	<b>Floor</b>	Ground (0)
	SW1A 2HB	<b>Room</b>	Room 019
<b>Description</b>	Asphalt/ concrete overfil to ceiling.	<b>Quantity</b>	N/A
		<b>Asbestos Suspected</b>	<b>No</b>



<b>Last Inspection Date</b>	-	03 Sep 2012	<b>Certificate N<sup>o</sup></b>	-	BK30786
<b>Next Inspection Date</b>	-	03 Sep 2013	<b>Sample N<sup>o</sup></b>	-	202
<b>Survey Type</b>	-	Refurbishment & Demolition Survey	<b>Photograph N<sup>o</sup></b>	-	4924
<b>Position</b>	-	Sample Taken	<b>Location ID</b>	-	Loc20150

<b>Product Type</b>	-	N/A	<b>Surface Treatment</b>	-	N/A
<b>Asbestos Type</b>	-	No Asbestos Detected	<b>Damage Extent</b>	-	N/A
<b>Material Risk Score</b>	-	<b>0</b>	<b>Material Risk Band</b>	-	N/A

<b>Comments:</b>	-	
<b>Recommendations:</b>	-	

Client:	<b>Skanska</b>	Project No.	<b>SD724P/86213</b>
Site Address	<b>Old War Office, Horse Guards Avenue, London</b>	Page No.:	<b>Page 170 of 267</b>

### Location Survey Data Sheet

<b>Site Code/UPRN</b>	SD724P/86213	<b>Building</b>	Whitehall
<b>Address</b>	The Old War Office Horse Guards Avenue Whitehall London	<b>Floor</b>	Ground (0)
	SW1A 2HB	<b>Room</b>	Room 019
<b>Description</b>	Plaster & render to walls adjacent to socket.	<b>Quantity</b>	N/A
		<b>Asbestos Suspected</b>	<b>No</b>



<b>Last Inspection Date</b>	-	03 Sep 2012	<b>Certificate N°</b>	-	BK30786
<b>Next Inspection Date</b>	-	03 Sep 2013	<b>Sample N°</b>	-	207
<b>Survey Type</b>	-	Refurbishment & Demolition Survey	<b>Photograph N°</b>	-	4929
<b>Position</b>	-	Sample Taken	<b>Location ID</b>	-	Loc20155

<b>Product Type</b>	-	N/A	<b>Surface Treatment</b>	-	N/A
<b>Asbestos Type</b>	-	No Asbestos Detected	<b>Damage Extent</b>	-	N/A
<b>Material Risk Score</b>	-	<b>0</b>	<b>Material Risk Band</b>	-	N/A

<b>Comments:</b>	-	
<b>Recommendations:</b>	-	

Client:	<b>Skanska</b>	Project No.	<b>SD724P/86213</b>
Site Address	<b>Old War Office, Horse Guards Avenue, London</b>	Page No.:	<b>Page 171 of 267</b>

### Location Survey Data Sheet

<b>Site Code/UPRN</b>	SD724P/86213	<b>Building</b>	Whitehall
<b>Address</b>	The Old War Office Horse Guards Avenue Whitehall London	<b>Floor</b>	Ground (0)
	SW1A 2HB	<b>Room</b>	Room 019
<b>Description</b>	Mortar line to walls adjacent to socket.	<b>Quantity</b>	N/A
		<b>Asbestos Suspected</b>	<b>No</b>



<b>Last Inspection Date</b>	-	03 Sep 2012	<b>Certificate N<sup>o</sup></b>	-	BK30786
<b>Next Inspection Date</b>	-	03 Sep 2013	<b>Sample N<sup>o</sup></b>	-	210
<b>Survey Type</b>	-	Refurbishment & Demolition Survey	<b>Photograph N<sup>o</sup></b>	-	4932
<b>Position</b>	-	Sample Taken	<b>Location ID</b>	-	Loc20158

<b>Product Type</b>	-	N/A	<b>Surface Treatment</b>	-	N/A
<b>Asbestos Type</b>	-	No Asbestos Detected	<b>Damage Extent</b>	-	N/A
<b>Material Risk Score</b>	-	<b>0</b>	<b>Material Risk Band</b>	-	N/A

<b>Comments:</b>	-	
<b>Recommendations:</b>	-	

Client:	<b>Skanska</b>	Project No.	<b>SD724P/86213</b>
Site Address	<b>Old War Office, Horse Guards Avenue, London</b>	Page No.:	<b>Page 172 of 267</b>

### Location Survey Data Sheet

<b>Site Code/UPRN</b>	SD724P/86213	<b>Building</b>	Whitehall
<b>Address</b>	The Old War Office Horse Guards Avenue Whitehall London	<b>Floor</b>	Ground (0)
	SW1A 2HB	<b>Room</b>	Room 024
<b>Description</b>	Asphalt/ concrete overfil to ceiling.	<b>Quantity</b>	N/A
		<b>Asbestos Suspected</b>	<b>No</b>



<b>Last Inspection Date</b>	-	03 Sep 2012	<b>Certificate N<sup>o</sup></b>	-	BK30786
<b>Next Inspection Date</b>	-	03 Sep 2013	<b>Sample N<sup>o</sup></b>	-	212
<b>Survey Type</b>	-	Refurbishment & Demolition Survey	<b>Photograph N<sup>o</sup></b>	-	4934
<b>Position</b>	-	Sample Taken	<b>Location ID</b>	-	Loc20160

<b>Product Type</b>	-	N/A	<b>Surface Treatment</b>	-	N/A
<b>Asbestos Type</b>	-	No Asbestos Detected	<b>Damage Extent</b>	-	N/A
<b>Material Risk Score</b>	-	<b>0</b>	<b>Material Risk Band</b>	-	N/A

<b>Comments:</b>	-	
<b>Recommendations:</b>	-	

Client:	<b>Skanska</b>	Project No.	<b>SD724P/86213</b>
Site Address	<b>Old War Office, Horse Guards Avenue, London</b>	Page No.:	<b>Page 173 of 267</b>



### Location Survey Data Sheet

<b>Site Code/UPRN</b>	SD724P/86213	<b>Building</b>	Whitehall
<b>Address</b>	The Old War Office Horse Guards Avenue Whitehall London	<b>Floor</b>	Ground (0)
	SW1A 2HB	<b>Room</b>	Room 024
<b>Description</b>	Ceiling plaster & finish.	<b>Quantity</b>	N/A
		<b>Asbestos Suspected</b>	<b>No</b>



<b>Last Inspection Date</b>	-	03 Sep 2012	<b>Certificate N°</b>	-	BK30786
<b>Next Inspection Date</b>	-	03 Sep 2013	<b>Sample N°</b>	-	211
<b>Survey Type</b>	-	Refurbishment & Demolition Survey	<b>Photograph N°</b>	-	4933
<b>Position</b>	-	Sample Taken	<b>Location ID</b>	-	Loc20159

<b>Product Type</b>	-	N/A	<b>Surface Treatment</b>	-	N/A
<b>Asbestos Type</b>	-	No Asbestos Detected	<b>Damage Extent</b>	-	N/A
<b>Material Risk Score</b>	-	<b>0</b>	<b>Material Risk Band</b>	-	N/A

<b>Comments:</b>	-	
<b>Recommendations:</b>	-	

Client:	Skanska	Project No.	SD724P/86213
Site Address	Old War Office, Horse Guards Avenue, London	Page No.:	Page 174 of 267

### Location Survey Data Sheet

<b>Site Code/UPRN</b>	SD724P/86213	<b>Building</b>	Whitehall
<b>Address</b>	The Old War Office Horse Guards Avenue Whitehall London	<b>Floor</b>	Ground (0)
	SW1A 2HB	<b>Room</b>	Room 024
<b>Description</b>	Mortar line to walls adjacent to socket.	<b>Quantity</b>	N/A
		<b>Asbestos Suspected</b>	<b>No</b>



<b>Last Inspection Date</b>	-	03 Sep 2012	<b>Certificate N°</b>	-	BK30786
<b>Next Inspection Date</b>	-	03 Sep 2013	<b>Sample N°</b>	-	216
<b>Survey Type</b>	-	Refurbishment & Demolition Survey	<b>Photograph N°</b>	-	4938
<b>Position</b>	-	Sample Taken	<b>Location ID</b>	-	Loc20164

<b>Product Type</b>	-	N/A	<b>Surface Treatment</b>	-	N/A
<b>Asbestos Type</b>	-	No Asbestos Detected	<b>Damage Extent</b>	-	N/A
<b>Material Risk Score</b>	-	<b>0</b>	<b>Material Risk Band</b>	-	N/A

<b>Comments:</b>	-	
<b>Recommendations:</b>	-	

Client:	<b>Skanska</b>	Project No.	<b>SD724P/86213</b>
Site Address	<b>Old War Office, Horse Guards Avenue, London</b>	Page No.:	<b>Page 175 of 267</b>

### Location Survey Data Sheet

<b>Site Code/UPRN</b>	SD724P/86213	<b>Building</b>	Whitehall
<b>Address</b>	The Old War Office Horse Guards Avenue Whitehall London	<b>Floor</b>	Ground (0)
	SW1A 2HB	<b>Room</b>	Room 024
<b>Description</b>	Mortar line to walls adjacent to socket.	<b>Quantity</b>	N/A
		<b>Asbestos Suspected</b>	<b>No</b>



<b>Last Inspection Date</b>	-	03 Sep 2012	<b>Certificate N<sup>o</sup></b>	-	BK30786
<b>Next Inspection Date</b>	-	03 Sep 2013	<b>Sample N<sup>o</sup></b>	-	218
<b>Survey Type</b>	-	Refurbishment & Demolition Survey	<b>Photograph N<sup>o</sup></b>	-	4940
<b>Position</b>	-	Sample Taken	<b>Location ID</b>	-	Loc20166

<b>Product Type</b>	-	N/A	<b>Surface Treatment</b>	-	N/A
<b>Asbestos Type</b>	-	No Asbestos Detected	<b>Damage Extent</b>	-	N/A
<b>Material Risk Score</b>	-	<b>0</b>	<b>Material Risk Band</b>	-	N/A

<b>Comments:</b>	-	
<b>Recommendations:</b>	-	

Client:	<b>Skanska</b>	Project No.	<b>SD724P/86213</b>
Site Address	<b>Old War Office, Horse Guards Avenue, London</b>	Page No.:	<b>Page 176 of 267</b>

### Location Survey Data Sheet

<b>Site Code/UPRN</b>	SD724P/86213	<b>Building</b>	Whitehall
<b>Address</b>	The Old War Office Horse Guards Avenue Whitehall London	<b>Floor</b>	Ground (0)
	SW1A 2HB	<b>Room</b>	Room 024
<b>Description</b>	Mortar line to walls adjacent to socket.	<b>Quantity</b>	N/A
		<b>Asbestos Suspected</b>	<b>No</b>



<b>Last Inspection Date</b>	-	03 Sep 2012	<b>Certificate N°</b>	-	BK30786
<b>Next Inspection Date</b>	-	03 Sep 2013	<b>Sample N°</b>	-	220
<b>Survey Type</b>	-	Refurbishment & Demolition Survey	<b>Photograph N°</b>	-	4942
<b>Position</b>	-	Sample Taken	<b>Location ID</b>	-	Loc20168

<b>Product Type</b>	-	N/A	<b>Surface Treatment</b>	-	N/A
<b>Asbestos Type</b>	-	No Asbestos Detected	<b>Damage Extent</b>	-	N/A
<b>Material Risk Score</b>	-	<b>0</b>	<b>Material Risk Band</b>	-	N/A

<b>Comments:</b>	-	
<b>Recommendations:</b>	-	

Client:	<b>Skanska</b>	Project No.	<b>SD724P/86213</b>
Site Address	<b>Old War Office, Horse Guards Avenue, London</b>	Page No.:	<b>Page 177 of 267</b>

### Location Survey Data Sheet

<b>Site Code/UPRN</b>	SD724P/86213	<b>Building</b>	Whitehall
<b>Address</b>	The Old War Office Horse Guards Avenue Whitehall London	<b>Floor</b>	Ground (0)
	SW1A 2HB	<b>Room</b>	Room 024
<b>Description</b>	Mortar line to walls.	<b>Quantity</b>	N/A
		<b>Asbestos Suspected</b>	<b>No</b>



<b>Last Inspection Date</b>	-	03 Sep 2012	<b>Certificate N<sup>o</sup></b>	-	BK30786
<b>Next Inspection Date</b>	-	03 Sep 2013	<b>Sample N<sup>o</sup></b>	-	214
<b>Survey Type</b>	-	Refurbishment & Demolition Survey	<b>Photograph N<sup>o</sup></b>	-	4936
<b>Position</b>	-	Sample Taken	<b>Location ID</b>	-	Loc20162

<b>Product Type</b>	-	N/A	<b>Surface Treatment</b>	-	N/A
<b>Asbestos Type</b>	-	No Asbestos Detected	<b>Damage Extent</b>	-	N/A
<b>Material Risk Score</b>	-	<b>0</b>	<b>Material Risk Band</b>	-	N/A

<b>Comments:</b>	-	
<b>Recommendations:</b>	-	

Client:	<b>Skanska</b>	Project No.	<b>SD724P/86213</b>
Site Address	<b>Old War Office, Horse Guards Avenue, London</b>	Page No.:	<b>Page 178 of 267</b>

### Location Survey Data Sheet

<b>Site Code/UPRN</b>	SD724P/86213	<b>Building</b>	Whitehall
<b>Address</b>	The Old War Office Horse Guards Avenue Whitehall London	<b>Floor</b>	Ground (0)
	SW1A 2HB	<b>Room</b>	Room 024
<b>Description</b>	Plaster & render to walls adjacent to socket.	<b>Quantity</b>	N/A
		<b>Asbestos Suspected</b>	<b>No</b>



<b>Last Inspection Date</b>	-	03 Sep 2012	<b>Certificate N<sup>o</sup></b>	-	BK30786
<b>Next Inspection Date</b>	-	03 Sep 2013	<b>Sample N<sup>o</sup></b>	-	215
<b>Survey Type</b>	-	Refurbishment & Demolition Survey	<b>Photograph N<sup>o</sup></b>	-	4937
<b>Position</b>	-	Sample Taken	<b>Location ID</b>	-	Loc20163

<b>Product Type</b>	-	N/A	<b>Surface Treatment</b>	-	N/A
<b>Asbestos Type</b>	-	No Asbestos Detected	<b>Damage Extent</b>	-	N/A
<b>Material Risk Score</b>	-	<b>0</b>	<b>Material Risk Band</b>	-	N/A

<b>Comments:</b>	-	
<b>Recommendations:</b>	-	

Client:	<b>Skanska</b>	Project No.	<b>SD724P/86213</b>
Site Address	<b>Old War Office, Horse Guards Avenue, London</b>	Page No.:	<b>Page 179 of 267</b>

### Location Survey Data Sheet

<b>Site Code/UPRN</b>	SD724P/86213	<b>Building</b>	Whitehall
<b>Address</b>	The Old War Office Horse Guards Avenue Whitehall London	<b>Floor</b>	Ground (0)
	SW1A 2HB	<b>Room</b>	Room 024
<b>Description</b>	Plaster & render to walls adjacent to socket.	<b>Quantity</b>	N/A
		<b>Asbestos Suspected</b>	<b>No</b>



<b>Last Inspection Date</b>	-	03 Sep 2012	<b>Certificate N°</b>	-	BK30786
<b>Next Inspection Date</b>	-	03 Sep 2013	<b>Sample N°</b>	-	217
<b>Survey Type</b>	-	Refurbishment & Demolition Survey	<b>Photograph N°</b>	-	4939
<b>Position</b>	-	Sample Taken	<b>Location ID</b>	-	Loc20165

<b>Product Type</b>	-	N/A	<b>Surface Treatment</b>	-	N/A
<b>Asbestos Type</b>	-	No Asbestos Detected	<b>Damage Extent</b>	-	N/A
<b>Material Risk Score</b>	-	<b>0</b>	<b>Material Risk Band</b>	-	N/A

<b>Comments:</b>	-	
<b>Recommendations:</b>	-	

Client:	Skanska	Project No.	SD724P/86213
Site Address	Old War Office, Horse Guards Avenue, London	Page No.:	Page 180 of 267

### Location Survey Data Sheet

<b>Site Code/UPRN</b>	SD724P/86213	<b>Building</b>	Whitehall
<b>Address</b>	The Old War Office Horse Guards Avenue Whitehall London	<b>Floor</b>	Ground (0)
	SW1A 2HB	<b>Room</b>	Room 024
<b>Description</b>	Plaster & render to walls adjacent to socket.	<b>Quantity</b>	N/A
		<b>Asbestos Suspected</b>	<b>No</b>



<b>Last Inspection Date</b>	-	03 Sep 2012	<b>Certificate N<sup>o</sup></b>	-	BK30786
<b>Next Inspection Date</b>	-	03 Sep 2013	<b>Sample N<sup>o</sup></b>	-	219
<b>Survey Type</b>	-	Refurbishment & Demolition Survey	<b>Photograph N<sup>o</sup></b>	-	4941
<b>Position</b>	-	Sample Taken	<b>Location ID</b>	-	Loc20167

<b>Product Type</b>	-	N/A	<b>Surface Treatment</b>	-	N/A
<b>Asbestos Type</b>	-	No Asbestos Detected	<b>Damage Extent</b>	-	N/A
<b>Material Risk Score</b>	-	<b>0</b>	<b>Material Risk Band</b>	-	N/A

<b>Comments:</b>	-	
<b>Recommendations:</b>	-	

Client:	<b>Skanska</b>	Project No.	<b>SD724P/86213</b>
Site Address	<b>Old War Office, Horse Guards Avenue, London</b>	Page No.:	<b>Page 181 of 267</b>



### Location Survey Data Sheet

<b>Site Code/UPRN</b>	SD724P/86213	<b>Building</b>	Whitehall
<b>Address</b>	The Old War Office Horse Guards Avenue Whitehall London	<b>Floor</b>	Ground (0)
	SW1A 2HB	<b>Room</b>	Room 024
<b>Description</b>	Plaster & render to walls.	<b>Quantity</b>	N/A
		<b>Asbestos Suspected</b>	<b>No</b>



<b>Last Inspection Date</b>	-	03 Sep 2012	<b>Certificate N°</b>	-	BK30786
<b>Next Inspection Date</b>	-	03 Sep 2013	<b>Sample N°</b>	-	213
<b>Survey Type</b>	-	Refurbishment & Demolition Survey	<b>Photograph N°</b>	-	4935
<b>Position</b>	-	Sample Taken	<b>Location ID</b>	-	Loc20161

<b>Product Type</b>	-	N/A	<b>Surface Treatment</b>	-	N/A
<b>Asbestos Type</b>	-	No Asbestos Detected	<b>Damage Extent</b>	-	N/A
<b>Material Risk Score</b>	-	<b>0</b>	<b>Material Risk Band</b>	-	N/A

<b>Comments:</b>	-	
<b>Recommendations:</b>	-	

Client:	Skanska	Project No.	SD724P/86213
Site Address	Old War Office, Horse Guards Avenue, London	Page No.:	Page 182 of 267

### Location Survey Data Sheet

<b>Site Code/UPRN</b>	SD724P/86213	<b>Building</b>	Whitehall
<b>Address</b>	The Old War Office Horse Guards Avenue Whitehall London	<b>Floor</b>	Ground (0)
	SW1A 2HB	<b>Room</b>	Room 027
<b>Description</b>	Asphalt/ concrete overfil to ceiling.	<b>Quantity</b>	N/A
		<b>Asbestos Suspected</b>	<b>No</b>



<b>Last Inspection Date</b>	-	03 Sep 2012	<b>Certificate N°</b>	-	BK30786
<b>Next Inspection Date</b>	-	03 Sep 2013	<b>Sample N°</b>	-	222
<b>Survey Type</b>	-	Refurbishment & Demolition Survey	<b>Photograph N°</b>	-	4944
<b>Position</b>	-	Sample Taken	<b>Location ID</b>	-	Loc20171

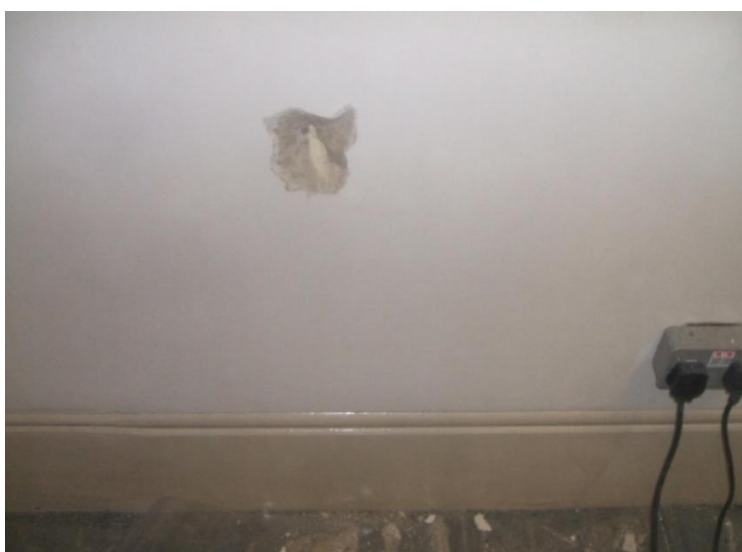
<b>Product Type</b>	-	N/A	<b>Surface Treatment</b>	-	N/A
<b>Asbestos Type</b>	-	No Asbestos Detected	<b>Damage Extent</b>	-	N/A
<b>Material Risk Score</b>	-	<b>0</b>	<b>Material Risk Band</b>	-	N/A

<b>Comments:</b>	-	
<b>Recommendations:</b>	-	

Client:	Skanska	Project No.	SD724P/86213
Site Address	Old War Office, Horse Guards Avenue, London	Page No.:	Page 183 of 267

### Location Survey Data Sheet

<b>Site Code/UPRN</b>	SD724P/86213	<b>Building</b>	Whitehall
<b>Address</b>	The Old War Office Horse Guards Avenue Whitehall London	<b>Floor</b>	Ground (0)
	SW1A 2HB	<b>Room</b>	Room 027
<b>Description</b>	Plaster & render to walls.	<b>Quantity</b>	N/A
		<b>Asbestos Suspected</b>	<b>No</b>



<b>Last Inspection Date</b>	-	03 Sep 2012	<b>Certificate N<sup>o</sup></b>	-	BK30786
<b>Next Inspection Date</b>	-	03 Sep 2013	<b>Sample N<sup>o</sup></b>	-	223
<b>Survey Type</b>	-	Refurbishment & Demolition Survey	<b>Photograph N<sup>o</sup></b>	-	4945
<b>Position</b>	-	Sample Taken	<b>Location ID</b>	-	Loc20172

<b>Product Type</b>	-	N/A	<b>Surface Treatment</b>	-	N/A
<b>Asbestos Type</b>	-	No Asbestos Detected	<b>Damage Extent</b>	-	N/A
<b>Material Risk Score</b>	-	<b>0</b>	<b>Material Risk Band</b>	-	N/A

<b>Comments:</b>	-	
<b>Recommendations:</b>	-	

Client:	Skanska	Project No.	SD724P/86213
Site Address	Old War Office, Horse Guards Avenue, London	Page No.:	Page 184 of 267

### Location Survey Data Sheet

<b>Site Code/UPRN</b>	SD724P/86213	<b>Building</b>	Whitehall
<b>Address</b>	The Old War Office Horse Guards Avenue Whitehall London	<b>Floor</b>	Ground (0)
	SW1A 2HB	<b>Room</b>	Room 027
<b>Description</b>	Plaster & render to walls adjacent to socket.	<b>Quantity</b>	N/A
		<b>Asbestos Suspected</b>	<b>No</b>



<b>Last Inspection Date</b>	-	03 Sep 2012	<b>Certificate N<sup>o</sup></b>	-	BK30786
<b>Next Inspection Date</b>	-	03 Sep 2013	<b>Sample N<sup>o</sup></b>	-	225
<b>Survey Type</b>	-	Refurbishment & Demolition Survey	<b>Photograph N<sup>o</sup></b>	-	4947
<b>Position</b>	-	Sample Taken	<b>Location ID</b>	-	Loc20174

<b>Product Type</b>	-	N/A	<b>Surface Treatment</b>	-	N/A
<b>Asbestos Type</b>	-	No Asbestos Detected	<b>Damage Extent</b>	-	N/A
<b>Material Risk Score</b>	-	<b>0</b>	<b>Material Risk Band</b>	-	N/A

<b>Comments:</b>	-	
<b>Recommendations:</b>	-	

Client:	Skanska	Project No.	SD724P/86213
Site Address	Old War Office, Horse Guards Avenue, London	Page No.:	Page 185 of 267

### Location Survey Data Sheet

<b>Site Code/UPRN</b>	SD724P/86213	<b>Building</b>	Whitehall
<b>Address</b>	The Old War Office Horse Guards Avenue Whitehall London	<b>Floor</b>	Ground (0)
	SW1A 2HB	<b>Room</b>	Room 027
<b>Description</b>	Mortar line to walls.	<b>Quantity</b>	N/A
		<b>Asbestos Suspected</b>	<b>No</b>



<b>Last Inspection Date</b>	-	03 Sep 2012	<b>Certificate N<sup>o</sup></b>	-	BK30786
<b>Next Inspection Date</b>	-	03 Sep 2013	<b>Sample N<sup>o</sup></b>	-	224
<b>Survey Type</b>	-	Refurbishment & Demolition Survey	<b>Photograph N<sup>o</sup></b>	-	4946
<b>Position</b>	-	Sample Taken	<b>Location ID</b>	-	Loc20173

<b>Product Type</b>	-	N/A	<b>Surface Treatment</b>	-	N/A
<b>Asbestos Type</b>	-	No Asbestos Detected	<b>Damage Extent</b>	-	N/A
<b>Material Risk Score</b>	-	<b>0</b>	<b>Material Risk Band</b>	-	N/A

<b>Comments:</b>	-	
<b>Recommendations:</b>	-	

Client:	<b>Skanska</b>	Project No.	<b>SD724P/86213</b>
Site Address	<b>Old War Office, Horse Guards Avenue, London</b>	Page No.:	<b>Page 186 of 267</b>

### Location Survey Data Sheet

<b>Site Code/UPRN</b>	SD724P/86213	<b>Building</b>	Whitehall
<b>Address</b>	The Old War Office Horse Guards Avenue Whitehall London	<b>Floor</b>	Ground (0)
	SW1A 2HB	<b>Room</b>	Room 027
<b>Description</b>	Ceiling plaster & finish.	<b>Quantity</b>	N/A
		<b>Asbestos Suspected</b>	<b>No</b>



<b>Last Inspection Date</b>	-	03 Sep 2012	<b>Certificate N°</b>	-	BK30786
<b>Next Inspection Date</b>	-	03 Sep 2013	<b>Sample N°</b>	-	221
<b>Survey Type</b>	-	Refurbishment & Demolition Survey	<b>Photograph N°</b>	-	4943
<b>Position</b>	-	Sample Taken	<b>Location ID</b>	-	Loc20169

<b>Product Type</b>	-	N/A	<b>Surface Treatment</b>	-	N/A
<b>Asbestos Type</b>	-	No Asbestos Detected	<b>Damage Extent</b>	-	N/A
<b>Material Risk Score</b>	-	<b>0</b>	<b>Material Risk Band</b>	-	N/A

<b>Comments:</b>	-	
<b>Recommendations:</b>	-	

Client:	Skanska	Project No.	SD724P/86213
Site Address	Old War Office, Horse Guards Avenue, London	Page No.:	Page 187 of 267

### Location Survey Data Sheet

<b>Site Code/UPRN</b>	SD724P/86213	<b>Building</b>	Whitehall
<b>Address</b>	The Old War Office Horse Guards Avenue Whitehall London	<b>Floor</b>	Ground (0)
	SW1A 2HB	<b>Room</b>	Room 027
<b>Description</b>	Mortar line to wall adjacent to socket.	<b>Quantity</b>	N/A
		<b>Asbestos Suspected</b>	<b>No</b>



<b>Last Inspection Date</b>	-	03 Sep 2012	<b>Certificate N°</b>	-	BK30786
<b>Next Inspection Date</b>	-	03 Sep 2013	<b>Sample N°</b>	-	226
<b>Survey Type</b>	-	Refurbishment & Demolition Survey	<b>Photograph N°</b>	-	4948
<b>Position</b>	-	Sample Taken	<b>Location ID</b>	-	Loc20175

<b>Product Type</b>	-	N/A	<b>Surface Treatment</b>	-	N/A
<b>Asbestos Type</b>	-	No Asbestos Detected	<b>Damage Extent</b>	-	N/A
<b>Material Risk Score</b>	-	<b>0</b>	<b>Material Risk Band</b>	-	N/A

<b>Comments:</b>	-	
<b>Recommendations:</b>	-	

Client:	Skanska	Project No.	SD724P/86213
Site Address	Old War Office, Horse Guards Avenue, London	Page No.:	Page 188 of 267

### Location Survey Data Sheet

<b>Site Code/UPRN</b>	SD724P/86213	<b>Building</b>	Whitehall
<b>Address</b>	The Old War Office Horse Guards Avenue Whitehall London	<b>Floor</b>	Ground (0)
	SW1A 2HB	<b>Room</b>	Room 030
<b>Description</b>	Plaster & render to walls.	<b>Quantity</b>	N/A
		<b>Asbestos Suspected</b>	<b>No</b>



<b>Last Inspection Date</b>	-	03 Sep 2012	<b>Certificate N°</b>	-	BK30786
<b>Next Inspection Date</b>	-	03 Sep 2013	<b>Sample N°</b>	-	231
<b>Survey Type</b>	-	Refurbishment & Demolition Survey	<b>Photograph N°</b>	-	4953
<b>Position</b>	-	Sample Taken	<b>Location ID</b>	-	Loc20180

<b>Product Type</b>	-	N/A	<b>Surface Treatment</b>	-	N/A
<b>Asbestos Type</b>	-	No Asbestos Detected	<b>Damage Extent</b>	-	N/A
<b>Material Risk Score</b>	-	<b>0</b>	<b>Material Risk Band</b>	-	N/A

<b>Comments:</b>	-	
<b>Recommendations:</b>	-	

Client:	Skanska	Project No.	SD724P/86213
Site Address	Old War Office, Horse Guards Avenue, London	Page No.:	Page 189 of 267



### Location Survey Data Sheet

<b>Site Code/UPRN</b>	SD724P/86213	<b>Building</b>	Whitehall
<b>Address</b>	The Old War Office Horse Guards Avenue Whitehall London	<b>Floor</b>	Ground (0)
	SW1A 2HB	<b>Room</b>	Room 030
<b>Description</b>	Asphalt/ concrete overfil.	<b>Quantity</b>	N/A
		<b>Asbestos Suspected</b>	<b>No</b>



<b>Last Inspection Date</b>	-	03 Sep 2012	<b>Certificate N°</b>	-	BK30786
<b>Next Inspection Date</b>	-	03 Sep 2013	<b>Sample N°</b>	-	228
<b>Survey Type</b>	-	Refurbishment & Demolition Survey	<b>Photograph N°</b>	-	4950
<b>Position</b>	-	Sample Taken	<b>Location ID</b>	-	Loc20177

<b>Product Type</b>	-	N/A	<b>Surface Treatment</b>	-	N/A
<b>Asbestos Type</b>	-	No Asbestos Detected	<b>Damage Extent</b>	-	N/A
<b>Material Risk Score</b>	-	<b>0</b>	<b>Material Risk Band</b>	-	N/A

<b>Comments:</b>	-	
<b>Recommendations:</b>	-	

Client:	Skanska	Project No.	SD724P/86213
Site Address	Old War Office, Horse Guards Avenue, London	Page No.:	Page 190 of 267

### Location Survey Data Sheet

<b>Site Code/UPRN</b>	SD724P/86213	<b>Building</b>	Whitehall
<b>Address</b>	The Old War Office Horse Guards Avenue Whitehall London	<b>Floor</b>	Ground (0)
	SW1A 2HB	<b>Room</b>	Room 030
<b>Description</b>	Mortar line to wall.	<b>Quantity</b>	N/A
		<b>Asbestos Suspected</b>	<b>No</b>



<b>Last Inspection Date</b>	-	03 Sep 2012	<b>Certificate N<sup>o</sup></b>	-	BK30786
<b>Next Inspection Date</b>	-	03 Sep 2013	<b>Sample N<sup>o</sup></b>	-	232
<b>Survey Type</b>	-	Refurbishment & Demolition Survey	<b>Photograph N<sup>o</sup></b>	-	4954
<b>Position</b>	-	Sample Taken	<b>Location ID</b>	-	Loc20181

<b>Product Type</b>	-	N/A	<b>Surface Treatment</b>	-	N/A
<b>Asbestos Type</b>	-	No Asbestos Detected	<b>Damage Extent</b>	-	N/A
<b>Material Risk Score</b>	-	<b>0</b>	<b>Material Risk Band</b>	-	N/A

<b>Comments:</b>	-	
<b>Recommendations:</b>	-	

Client:	Skanska	Project No.	SD724P/86213
Site Address	Old War Office, Horse Guards Avenue, London	Page No.:	Page 191 of 267

### Location Survey Data Sheet

<b>Site Code/UPRN</b>	SD724P/86213	<b>Building</b>	Whitehall
<b>Address</b>	The Old War Office Horse Guards Avenue Whitehall London	<b>Floor</b>	Ground (0)
	SW1A 2HB	<b>Room</b>	Room 030
<b>Description</b>	Mortar line to wall.	<b>Quantity</b>	N/A
		<b>Asbestos Suspected</b>	<b>No</b>



<b>Last Inspection Date</b>	-	03 Sep 2012	<b>Certificate N<sup>o</sup></b>	-	BK30786
<b>Next Inspection Date</b>	-	03 Sep 2013	<b>Sample N<sup>o</sup></b>	-	234
<b>Survey Type</b>	-	Refurbishment & Demolition Survey	<b>Photograph N<sup>o</sup></b>	-	4956
<b>Position</b>	-	Sample Taken	<b>Location ID</b>	-	Loc20183

<b>Product Type</b>	-	N/A	<b>Surface Treatment</b>	-	N/A
<b>Asbestos Type</b>	-	No Asbestos Detected	<b>Damage Extent</b>	-	N/A
<b>Material Risk Score</b>	-	<b>0</b>	<b>Material Risk Band</b>	-	N/A

<b>Comments:</b>	-	
<b>Recommendations:</b>	-	

Client:	<b>Skanska</b>	Project No.	<b>SD724P/86213</b>
Site Address	<b>Old War Office, Horse Guards Avenue, London</b>	Page No.:	<b>Page 192 of 267</b>

### Location Survey Data Sheet

<b>Site Code/UPRN</b>	SD724P/86213	<b>Building</b>	Whitehall
<b>Address</b>	The Old War Office Horse Guards Avenue Whitehall London	<b>Floor</b>	Ground (0)
	SW1A 2HB	<b>Room</b>	Room 030
		<b>Quantity</b>	N/A
<b>Description</b>	Mortar line to walls.	<b>Asbestos Suspected</b>	<b>No</b>



<b>Last Inspection Date</b>	-	03 Sep 2012	<b>Certificate N<sup>o</sup></b>	-	BK30786
<b>Next Inspection Date</b>	-	03 Sep 2013	<b>Sample N<sup>o</sup></b>	-	230
<b>Survey Type</b>	-	Refurbishment & Demolition Survey	<b>Photograph N<sup>o</sup></b>	-	4952
<b>Position</b>	-	Sample Taken	<b>Location ID</b>	-	Loc20179

<b>Product Type</b>	-	N/A	<b>Surface Treatment</b>	-	N/A
<b>Asbestos Type</b>	-	No Asbestos Detected	<b>Damage Extent</b>	-	N/A
<b>Material Risk Score</b>	-	<b>0</b>	<b>Material Risk Band</b>	-	N/A

<b>Comments:</b>	-	
<b>Recommendations:</b>	-	

Client:	<b>Skanska</b>	Project No.	<b>SD724P/86213</b>
Site Address	<b>Old War Office, Horse Guards Avenue, London</b>	Page No.:	<b>Page 193 of 267</b>

### Location Survey Data Sheet

<b>Site Code/UPRN</b>	SD724P/86213	<b>Building</b>	Whitehall
<b>Address</b>	The Old War Office Horse Guards Avenue Whitehall London	<b>Floor</b>	Ground (0)
	SW1A 2HB	<b>Room</b>	Room 030
<b>Description</b>	Mortar line to walls.	<b>Quantity</b>	N/A
		<b>Asbestos Suspected</b>	<b>No</b>



<b>Last Inspection Date</b>	-	03 Sep 2012	<b>Certificate N<sup>o</sup></b>	-	BK30786
<b>Next Inspection Date</b>	-	03 Sep 2013	<b>Sample N<sup>o</sup></b>	-	236
<b>Survey Type</b>	-	Refurbishment & Demolition Survey	<b>Photograph N<sup>o</sup></b>	-	4958
<b>Position</b>	-	Sample Taken	<b>Location ID</b>	-	Loc20185

<b>Product Type</b>	-	N/A	<b>Surface Treatment</b>	-	N/A
<b>Asbestos Type</b>	-	No Asbestos Detected	<b>Damage Extent</b>	-	N/A
<b>Material Risk Score</b>	-	<b>0</b>	<b>Material Risk Band</b>	-	N/A

<b>Comments:</b>	-	
<b>Recommendations:</b>	-	

Client:	<b>Skanska</b>	Project No.	<b>SD724P/86213</b>
Site Address	<b>Old War Office, Horse Guards Avenue, London</b>	Page No.:	<b>Page 194 of 267</b>

### Location Survey Data Sheet

<b>Site Code/UPRN</b>	SD724P/86213	<b>Building</b>	Whitehall
<b>Address</b>	The Old War Office Horse Guards Avenue Whitehall London	<b>Floor</b>	Ground (0)
	SW1A 2HB	<b>Room</b>	Room 030
<b>Description</b>	Plaster & finish to ceiling.	<b>Quantity</b>	N/A
		<b>Asbestos Suspected</b>	<b>No</b>



<b>Last Inspection Date</b>	-	03 Sep 2012	<b>Certificate N<sup>o</sup></b>	-	BK30786
<b>Next Inspection Date</b>	-	03 Sep 2013	<b>Sample N<sup>o</sup></b>	-	227
<b>Survey Type</b>	-	Refurbishment & Demolition Survey	<b>Photograph N<sup>o</sup></b>	-	4949
<b>Position</b>	-	Sample Taken	<b>Location ID</b>	-	Loc20176

<b>Product Type</b>	-	N/A	<b>Surface Treatment</b>	-	N/A
<b>Asbestos Type</b>	-	No Asbestos Detected	<b>Damage Extent</b>	-	N/A
<b>Material Risk Score</b>	-	<b>0</b>	<b>Material Risk Band</b>	-	N/A

<b>Comments:</b>	-	
<b>Recommendations:</b>	-	

Client:	Skanska	Project No.	SD724P/86213
Site Address	Old War Office, Horse Guards Avenue, London	Page No.:	Page 195 of 267

### Location Survey Data Sheet

<b>Site Code/UPRN</b>	SD724P/86213	<b>Building</b>	Whitehall
<b>Address</b>	The Old War Office Horse Guards Avenue Whitehall London	<b>Floor</b>	Ground (0)
	SW1A 2HB	<b>Room</b>	Room 030
<b>Description</b>	Plaster & render to walls.	<b>Quantity</b>	N/A
		<b>Asbestos Suspected</b>	<b>No</b>



<b>Last Inspection Date</b>	-	03 Sep 2012	<b>Certificate N<sup>o</sup></b>	-	BK30786
<b>Next Inspection Date</b>	-	03 Sep 2013	<b>Sample N<sup>o</sup></b>	-	233
<b>Survey Type</b>	-	Refurbishment & Demolition Survey	<b>Photograph N<sup>o</sup></b>	-	4955
<b>Position</b>	-	Sample Taken	<b>Location ID</b>	-	Loc20182

<b>Product Type</b>	-	N/A	<b>Surface Treatment</b>	-	N/A
<b>Asbestos Type</b>	-	No Asbestos Detected	<b>Damage Extent</b>	-	N/A
<b>Material Risk Score</b>	-	<b>0</b>	<b>Material Risk Band</b>	-	N/A

<b>Comments:</b>	-	
<b>Recommendations:</b>	-	

Client:	Skanska	Project No.	SD724P/86213
Site Address	Old War Office, Horse Guards Avenue, London	Page No.:	Page 196 of 267

### Location Survey Data Sheet

<b>Site Code/UPRN</b>	SD724P/86213	<b>Building</b>	Whitehall
<b>Address</b>	The Old War Office Horse Guards Avenue Whitehall London	<b>Floor</b>	Ground (0)
	SW1A 2HB	<b>Room</b>	Room 030
<b>Description</b>	Plaster & render to walls.	<b>Quantity</b>	N/A
		<b>Asbestos Suspected</b>	<b>No</b>



<b>Last Inspection Date</b>	-	03 Sep 2012	<b>Certificate N°</b>	-	BK30786
<b>Next Inspection Date</b>	-	03 Sep 2013	<b>Sample N°</b>	-	235
<b>Survey Type</b>	-	Refurbishment & Demolition Survey	<b>Photograph N°</b>	-	4957
<b>Position</b>	-	Sample Taken	<b>Location ID</b>	-	Loc20184

<b>Product Type</b>	-	N/A	<b>Surface Treatment</b>	-	N/A
<b>Asbestos Type</b>	-	No Asbestos Detected	<b>Damage Extent</b>	-	N/A
<b>Material Risk Score</b>	-	<b>0</b>	<b>Material Risk Band</b>	-	N/A

<b>Comments:</b>	-	
<b>Recommendations:</b>	-	

Client:	Skanska	Project No.	SD724P/86213
Site Address	Old War Office, Horse Guards Avenue, London	Page No.:	Page 197 of 267



### Location Survey Data Sheet

<b>Site Code/UPRN</b>	SD724P/86213	<b>Building</b>	Whitehall
<b>Address</b>	The Old War Office Horse Guards Avenue Whitehall London	<b>Floor</b>	Ground (0)
	SW1A 2HB	<b>Room</b>	Room 030
<b>Description</b>	Plaster & render to walls.	<b>Quantity</b>	N/A
		<b>Asbestos Suspected</b>	<b>No</b>



<b>Last Inspection Date</b>	-	03 Sep 2012	<b>Certificate N°</b>	-	BK30786
<b>Next Inspection Date</b>	-	03 Sep 2013	<b>Sample N°</b>	-	229
<b>Survey Type</b>	-	Refurbishment & Demolition Survey	<b>Photograph N°</b>	-	4951
<b>Position</b>	-	Sample Taken	<b>Location ID</b>	-	Loc20178

<b>Product Type</b>	-	N/A	<b>Surface Treatment</b>	-	N/A
<b>Asbestos Type</b>	-	No Asbestos Detected	<b>Damage Extent</b>	-	N/A
<b>Material Risk Score</b>	-	<b>0</b>	<b>Material Risk Band</b>	-	N/A

<b>Comments:</b>	-	
<b>Recommendations:</b>	-	

Client:	<b>Skanska</b>	Project No.	<b>SD724P/86213</b>
Site Address	<b>Old War Office, Horse Guards Avenue, London</b>	Page No.:	<b>Page 198 of 267</b>

### Location Survey Data Sheet

<b>Site Code/UPRN</b>	SD724P/86213	<b>Building</b>	Whitehall
<b>Address</b>	The Old War Office Horse Guards Avenue Whitehall London	<b>Floor</b>	Ground (0)
	SW1A 2HB	<b>Room</b>	Room- Stairwell 4
<b>Description</b>	High level beam: concrete	<b>Quantity</b>	N/A
		<b>Asbestos Suspected</b>	<b>No</b>



<b>Last Inspection Date</b>	-	03 Sep 2012	<b>Certificate N<sup>o</sup></b>	-	BK30786
<b>Next Inspection Date</b>	-	03 Sep 2013	<b>Sample N<sup>o</sup></b>	-	240
<b>Survey Type</b>	-	Refurbishment & Demolition Survey	<b>Photograph N<sup>o</sup></b>	-	4962
<b>Position</b>	-	Sample Taken	<b>Location ID</b>	-	Loc20189

<b>Product Type</b>	-	N/A	<b>Surface Treatment</b>	-	N/A
<b>Asbestos Type</b>	-	No Asbestos Detected	<b>Damage Extent</b>	-	N/A
<b>Material Risk Score</b>	-	<b>0</b>	<b>Material Risk Band</b>	-	N/A

<b>Comments:</b>	-	
<b>Recommendations:</b>	-	

Client:	Skanska	Project No.	SD724P/86213
Site Address	Old War Office, Horse Guards Avenue, London	Page No.:	Page 199 of 267

### Location Survey Data Sheet

<b>Site Code/UPRN</b>	SD724P/86213	<b>Building</b>	Whitehall
<b>Address</b>	The Old War Office Horse Guards Avenue Whitehall London	<b>Floor</b>	Ground (0)
	SW1A 2HB	<b>Room</b>	Room- Stairwell 4
<b>Description</b>	High level beam- plaster finish.	<b>Quantity</b>	N/A
		<b>Asbestos Suspected</b>	<b>No</b>



<b>Last Inspection Date</b>	-	03 Sep 2012	<b>Certificate N<sup>o</sup></b>	-	BK30786
<b>Next Inspection Date</b>	-	03 Sep 2013	<b>Sample N<sup>o</sup></b>	-	239
<b>Survey Type</b>	-	Refurbishment & Demolition Survey	<b>Photograph N<sup>o</sup></b>	-	4961
<b>Position</b>	-	Sample Taken	<b>Location ID</b>	-	Loc20188

<b>Product Type</b>	-	N/A	<b>Surface Treatment</b>	-	N/A
<b>Asbestos Type</b>	-	No Asbestos Detected	<b>Damage Extent</b>	-	N/A
<b>Material Risk Score</b>	-	<b>0</b>	<b>Material Risk Band</b>	-	N/A

<b>Comments:</b>	-	
<b>Recommendations:</b>	-	

Client:	<b>Skanska</b>	Project No.	<b>SD724P/86213</b>
Site Address	<b>Old War Office, Horse Guards Avenue, London</b>	Page No.:	<b>Page 200 of 267</b>

### Location Survey Data Sheet

<b>Site Code/UPRN</b>	SD724P/86213	<b>Building</b>	Whitehall
<b>Address</b>	The Old War Office Horse Guards Avenue Whitehall London	<b>Floor</b>	Ground (0)
	SW1A 2HB	<b>Room</b>	Room WES 368
<b>Description</b>	Plaster finish to beam.	<b>Quantity</b>	N/A
		<b>Asbestos Suspected</b>	<b>No</b>



<b>Last Inspection Date</b>	-	03 Sep 2012	<b>Certificate N<sup>o</sup></b>	-	BK30786
<b>Next Inspection Date</b>	-	03 Sep 2013	<b>Sample N<sup>o</sup></b>	-	237
<b>Survey Type</b>	-	Refurbishment & Demolition Survey	<b>Photograph N<sup>o</sup></b>	-	4959
<b>Position</b>	-	Sample Taken	<b>Location ID</b>	-	Loc20186

<b>Product Type</b>	-	N/A	<b>Surface Treatment</b>	-	N/A
<b>Asbestos Type</b>	-	No Asbestos Detected	<b>Damage Extent</b>	-	N/A
<b>Material Risk Score</b>	-	<b>0</b>	<b>Material Risk Band</b>	-	N/A

<b>Comments:</b>	-	
<b>Recommendations:</b>	-	

Client:	<b>Skanska</b>	Project No.	<b>SD724P/86213</b>
Site Address	<b>Old War Office, Horse Guards Avenue, London</b>	Page No.:	<b>Page 201 of 267</b>

### Location Survey Data Sheet

<b>Site Code/UPRN</b>	SD724P/86213	<b>Building</b>	Whitehall
<b>Address</b>	The Old War Office Horse Guards Avenue Whitehall London	<b>Floor</b>	Ground (0)
	SW1A 2HB	<b>Room</b>	Room WES 368
<b>Description</b>	Concrete beam structure.	<b>Quantity</b>	N/A
		<b>Asbestos Suspected</b>	<b>No</b>



<b>Last Inspection Date</b>	-	03 Sep 2012	<b>Certificate N°</b>	-	BK30786
<b>Next Inspection Date</b>	-	03 Sep 2013	<b>Sample N°</b>	-	238
<b>Survey Type</b>	-	Refurbishment & Demolition Survey	<b>Photograph N°</b>	-	4960
<b>Position</b>	-	Internal	<b>Location ID</b>	-	Loc20187

<b>Product Type</b>	-	N/A	<b>Surface Treatment</b>	-	N/A
<b>Asbestos Type</b>	-	No Asbestos Detected	<b>Damage Extent</b>	-	N/A
<b>Material Risk Score</b>	-	<b>0</b>	<b>Material Risk Band</b>	-	N/A

<b>Comments:</b>	-	
<b>Recommendations:</b>	-	

Client:	<b>Skanska</b>	Project No.	<b>SD724P/86213</b>
Site Address	<b>Old War Office, Horse Guards Avenue, London</b>	Page No.:	<b>Page 202 of 267</b>

### Location Survey Data Sheet

<b>Site Code/UPRN</b>	SD724P/86213	<b>Building</b>	Whitehall
<b>Address</b>	The Old War Office Horse Guards Avenue Whitehall London	<b>Floor</b>	Second Floor
	SW1A 2HB	<b>Room</b>	Room 220
<b>Description</b>	Asphalt/ concrete ceiling.	<b>Quantity</b>	N/A
		<b>Asbestos Suspected</b>	<b>No</b>



<b>Last Inspection Date</b>	-	03 Sep 2012	<b>Certificate N<sup>o</sup></b>	-	BK30669
<b>Next Inspection Date</b>	-	03 Sep 2013	<b>Sample N<sup>o</sup></b>	-	154
<b>Survey Type</b>	-	Refurbishment & Demolition Survey	<b>Photograph N<sup>o</sup></b>	-	4879
<b>Position</b>	-	Sample Taken	<b>Location ID</b>	-	Loc20098

<b>Product Type</b>	-	N/A	<b>Surface Treatment</b>	-	N/A
<b>Asbestos Type</b>	-	No Asbestos Detected	<b>Damage Extent</b>	-	N/A
<b>Material Risk Score</b>	-	<b>0</b>	<b>Material Risk Band</b>	-	N/A

<b>Comments:</b>	-	
<b>Recommendations:</b>	-	

Client:	Skanska	Project No.	SD724P/86213
Site Address	Old War Office, Horse Guards Avenue, London	Page No.:	Page 203 of 267

### Location Survey Data Sheet

<b>Site Code/UPRN</b>	SD724P/86213	<b>Building</b>	Whitehall
<b>Address</b>	The Old War Office Horse Guards Avenue Whitehall London	<b>Floor</b>	Second Floor
	SW1A 2HB	<b>Room</b>	Room 220
<b>Description</b>	Mortar line to ride hand side wall.	<b>Quantity</b>	N/A
		<b>Asbestos Suspected</b>	<b>No</b>



<b>Last Inspection Date</b>	-	03 Sep 2012	<b>Certificate N<sup>o</sup></b>	-	BK30669
<b>Next Inspection Date</b>	-	03 Sep 2013	<b>Sample N<sup>o</sup></b>	-	156
<b>Survey Type</b>	-	Refurbishment & Demolition Survey	<b>Photograph N<sup>o</sup></b>	-	4872
<b>Position</b>	-	Sample Taken	<b>Location ID</b>	-	Loc20100

<b>Product Type</b>	-	N/A	<b>Surface Treatment</b>	-	N/A
<b>Asbestos Type</b>	-	No Asbestos Detected	<b>Damage Extent</b>	-	N/A
<b>Material Risk Score</b>	-	<b>0</b>	<b>Material Risk Band</b>	-	N/A

<b>Comments:</b>	-	
<b>Recommendations:</b>	-	

Client:	<b>Skanska</b>	Project No.	<b>SD724P/86213</b>
Site Address	<b>Old War Office, Horse Guards Avenue, London</b>	Page No.:	<b>Page 204 of 267</b>

### Location Survey Data Sheet

<b>Site Code/UPRN</b>	SD724P/86213	<b>Building</b>	Whitehall
<b>Address</b>	The Old War Office Horse Guards Avenue Whitehall London	<b>Floor</b>	Second Floor
	SW1A 2HB	<b>Room</b>	Room 220
<b>Description</b>	Plaster & render to walls adjacent light switch.	<b>Quantity</b>	N/A
		<b>Asbestos Suspected</b>	<b>No</b>



<b>Last Inspection Date</b>	-	03 Sep 2012	<b>Certificate N<sup>o</sup></b>	-	BK30669
<b>Next Inspection Date</b>	-	03 Sep 2013	<b>Sample N<sup>o</sup></b>	-	157
<b>Survey Type</b>	-	Refurbishment & Demolition Survey	<b>Photograph N<sup>o</sup></b>	-	4873
<b>Position</b>	-	Sample Taken	<b>Location ID</b>	-	Loc20101

<b>Product Type</b>	-	N/A	<b>Surface Treatment</b>	-	N/A
<b>Asbestos Type</b>	-	No Asbestos Detected	<b>Damage Extent</b>	-	N/A
<b>Material Risk Score</b>	-	<b>0</b>	<b>Material Risk Band</b>	-	N/A

<b>Comments:</b>	-	
<b>Recommendations:</b>	-	

Client:	<b>Skanska</b>	Project No.	<b>SD724P/86213</b>
Site Address	<b>Old War Office, Horse Guards Avenue, London</b>	Page No.:	<b>Page 205 of 267</b>



### Location Survey Data Sheet

<b>Site Code/UPRN</b>	SD724P/86213	<b>Building</b>	Whitehall
<b>Address</b>	The Old War Office Horse Guards Avenue Whitehall London	<b>Floor</b>	Second Floor
	SW1A 2HB	<b>Room</b>	Room 220
<b>Description</b>	Plaster & render ceiling.	<b>Quantity</b>	N/A
		<b>Asbestos Suspected</b>	<b>No</b>



<b>Last Inspection Date</b>	-	03 Sep 2012	<b>Certificate N<sup>o</sup></b>	-	BK30669
<b>Next Inspection Date</b>	-	03 Sep 2013	<b>Sample N<sup>o</sup></b>	-	153
<b>Survey Type</b>	-	Refurbishment & Demolition Survey	<b>Photograph N<sup>o</sup></b>	-	4878
<b>Position</b>	-	Sample Taken	<b>Location ID</b>	-	Loc20097

<b>Product Type</b>	-	N/A	<b>Surface Treatment</b>	-	N/A
<b>Asbestos Type</b>	-	No Asbestos Detected	<b>Damage Extent</b>	-	N/A
<b>Material Risk Score</b>	-	<b>0</b>	<b>Material Risk Band</b>	-	N/A

<b>Comments:</b>	-	
<b>Recommendations:</b>	-	

Client:	Skanska	Project No.	SD724P/86213
Site Address	Old War Office, Horse Guards Avenue, London	Page No.:	Page 206 of 267

### Location Survey Data Sheet

<b>Site Code/UPRN</b>	SD724P/86213	<b>Building</b>	Whitehall
<b>Address</b>	The Old War Office Horse Guards Avenue Whitehall London	<b>Floor</b>	Second Floor
	SW1A 2HB	<b>Room</b>	Room 220
		<b>Quantity</b>	N/A
<b>Description</b>	Mortar line to wall. (chimney breasts)	<b>Asbestos Suspected</b>	<b>No</b>

**No  
Image  
Available**

<b>Last Inspection Date</b>	-	03 Sep 2012	<b>Certificate N<sup>o</sup></b>	-	BK30669
<b>Next Inspection Date</b>	-	03 Sep 2013	<b>Sample N<sup>o</sup></b>	-	160
<b>Survey Type</b>	-	Refurbishment & Demolition Survey	<b>Photograph N<sup>o</sup></b>	-	4876
<b>Position</b>	-	Sample Taken	<b>Location ID</b>	-	Loc20104

<b>Product Type</b>	-	N/A	<b>Surface Treatment</b>	-	N/A
<b>Asbestos Type</b>	-	No Asbestos Detected	<b>Damage Extent</b>	-	N/A
<b>Material Risk Score</b>	-	<b>0</b>	<b>Material Risk Band</b>	-	N/A

<b>Comments:</b>	-	
<b>Recommendations:</b>	-	

Client:	<b>Skanska</b>	Project No.	<b>SD724P/86213</b>
Site Address	<b>Old War Office, Horse Guards Avenue, London</b>	Page No.:	<b>Page 207 of 267</b>

### Location Survey Data Sheet

<b>Site Code/UPRN</b>	SD724P/86213	<b>Building</b>	Whitehall
<b>Address</b>	The Old War Office Horse Guards Avenue Whitehall London	<b>Floor</b>	Second Floor
	SW1A 2HB	<b>Room</b>	Room 220
<b>Description</b>	Mortar line to wall adjacent light switch.	<b>Quantity</b>	N/A
		<b>Asbestos Suspected</b>	<b>No</b>



<b>Last Inspection Date</b>	-	03 Sep 2012	<b>Certificate N<sup>o</sup></b>	-	BK30669
<b>Next Inspection Date</b>	-	03 Sep 2013	<b>Sample N<sup>o</sup></b>	-	158
<b>Survey Type</b>	-	Refurbishment & Demolition Survey	<b>Photograph N<sup>o</sup></b>	-	4874
<b>Position</b>	-	Sample Taken	<b>Location ID</b>	-	Loc20102

<b>Product Type</b>	-	N/A	<b>Surface Treatment</b>	-	N/A
<b>Asbestos Type</b>	-	No Asbestos Detected	<b>Damage Extent</b>	-	N/A
<b>Material Risk Score</b>	-	<b>0</b>	<b>Material Risk Band</b>	-	N/A

<b>Comments:</b>	-	
<b>Recommendations:</b>	-	

Client:	<b>Skanska</b>	Project No.	<b>SD724P/86213</b>
Site Address	<b>Old War Office, Horse Guards Avenue, London</b>	Page No.:	<b>Page 208 of 267</b>

### Location Survey Data Sheet

<b>Site Code/UPRN</b>	SD724P/86213	<b>Building</b>	Whitehall
<b>Address</b>	The Old War Office Horse Guards Avenue Whitehall London	<b>Floor</b>	Second Floor
	SW1A 2HB	<b>Room</b>	Room 220
<b>Description</b>	Plaster & render walls. (chimney breasts)	<b>Quantity</b>	N/A
		<b>Asbestos Suspected</b>	<b>No</b>



<b>Last Inspection Date</b>	-	03 Sep 2012	<b>Certificate N°</b>	-	BK30669
<b>Next Inspection Date</b>	-	03 Sep 2013	<b>Sample N°</b>	-	159
<b>Survey Type</b>	-	Refurbishment & Demolition Survey	<b>Photograph N°</b>	-	4875
<b>Position</b>	-	Sample Taken	<b>Location ID</b>	-	Loc20103

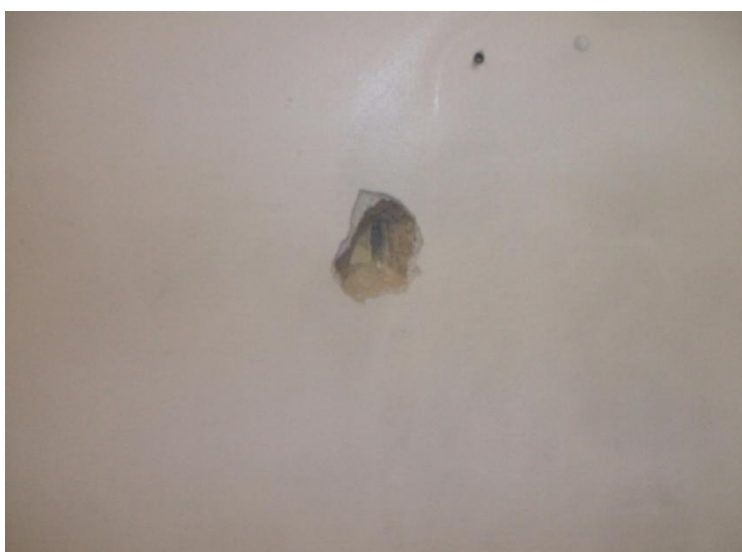
<b>Product Type</b>	-	N/A	<b>Surface Treatment</b>	-	N/A
<b>Asbestos Type</b>	-	No Asbestos Detected	<b>Damage Extent</b>	-	N/A
<b>Material Risk Score</b>	-	<b>0</b>	<b>Material Risk Band</b>	-	N/A

<b>Comments:</b>	-	
<b>Recommendations:</b>	-	

Client:	Skanska	Project No.	SD724P/86213
Site Address	Old War Office, Horse Guards Avenue, London	Page No.:	Page 209 of 267

### Location Survey Data Sheet

<b>Site Code/UPRN</b>	SD724P/86213	<b>Building</b>	Whitehall
<b>Address</b>	The Old War Office Horse Guards Avenue Whitehall London	<b>Floor</b>	Second Floor
	SW1A 2HB	<b>Room</b>	Room 220
<b>Description</b>	Plaster & render on right hand side wall.	<b>Quantity</b>	N/A
		<b>Asbestos Suspected</b>	<b>No</b>



<b>Last Inspection Date</b>	-	03 Sep 2012	<b>Certificate N<sup>o</sup></b>	-	BK30669
<b>Next Inspection Date</b>	-	03 Sep 2013	<b>Sample N<sup>o</sup></b>	-	155
<b>Survey Type</b>	-	Refurbishment & Demolition Survey	<b>Photograph N<sup>o</sup></b>	-	4871
<b>Position</b>	-	Sample Taken	<b>Location ID</b>	-	Loc20099

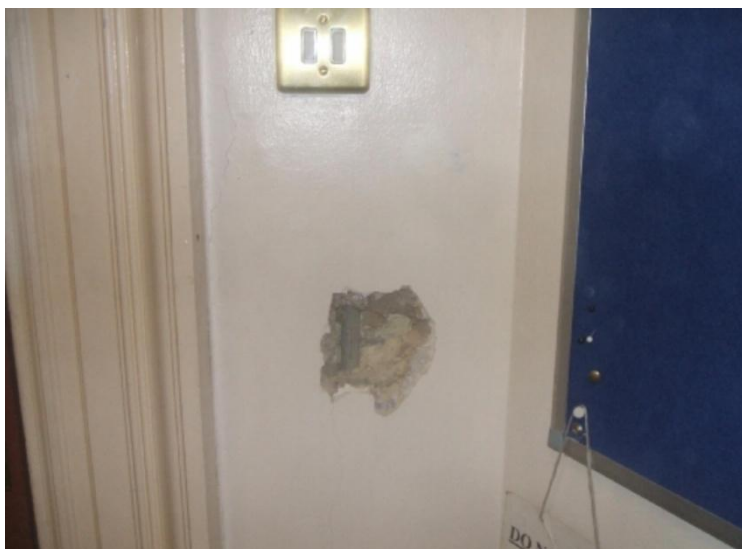
<b>Product Type</b>	-	N/A	<b>Surface Treatment</b>	-	N/A
<b>Asbestos Type</b>	-	No Asbestos Detected	<b>Damage Extent</b>	-	N/A
<b>Material Risk Score</b>	-	<b>0</b>	<b>Material Risk Band</b>	-	N/A

<b>Comments:</b>	-	
<b>Recommendations:</b>	-	

Client:	<b>Skanska</b>	Project No.	<b>SD724P/86213</b>
Site Address	<b>Old War Office, Horse Guards Avenue, London</b>	Page No.:	<b>Page 210 of 267</b>

### Location Survey Data Sheet

<b>Site Code/UPRN</b>	SD724P/86213	<b>Building</b>	Whitehall
<b>Address</b>	The Old War Office Horse Guards Avenue Whitehall London	<b>Floor</b>	Second Floor
	SW1A 2HB	<b>Room</b>	Room 230
<b>Description</b>	Mortar line walls adjacent to light switch.	<b>Quantity</b>	N/A
		<b>Asbestos Suspected</b>	<b>No</b>



<b>Last Inspection Date</b>	-	03 Sep 2012	<b>Certificate N<sup>o</sup></b>	-	BK30669
<b>Next Inspection Date</b>	-	03 Sep 2013	<b>Sample N<sup>o</sup></b>	-	128
<b>Survey Type</b>	-	Refurbishment & Demolition Survey	<b>Photograph N<sup>o</sup></b>	-	4847
<b>Position</b>	-	Sample Taken	<b>Location ID</b>	-	Loc20070

<b>Product Type</b>	-	N/A	<b>Surface Treatment</b>	-	N/A
<b>Asbestos Type</b>	-	No Asbestos Detected	<b>Damage Extent</b>	-	N/A
<b>Material Risk Score</b>	-	<b>0</b>	<b>Material Risk Band</b>	-	N/A

<b>Comments:</b>	-	
<b>Recommendations:</b>	-	

Client:	<b>Skanska</b>	Project No.	<b>SD724P/86213</b>
Site Address	<b>Old War Office, Horse Guards Avenue, London</b>	Page No.:	<b>Page 211 of 267</b>

### Location Survey Data Sheet

<b>Site Code/UPRN</b>	SD724P/86213	<b>Building</b>	Whitehall
<b>Address</b>	The Old War Office Horse Guards Avenue Whitehall London	<b>Floor</b>	Second Floor
	SW1A 2HB	<b>Room</b>	Room 230
<b>Description</b>	Mortar line wall.	<b>Quantity</b>	N/A
		<b>Asbestos Suspected</b>	<b>No</b>



<b>Last Inspection Date</b>	-	03 Sep 2012	<b>Certificate N°</b>	-	BK30669
<b>Next Inspection Date</b>	-	03 Sep 2013	<b>Sample N°</b>	-	130
<b>Survey Type</b>	-	Refurbishment & Demolition Survey	<b>Photograph N°</b>	-	4849
<b>Position</b>	-	Sample Taken	<b>Location ID</b>	-	Loc20072

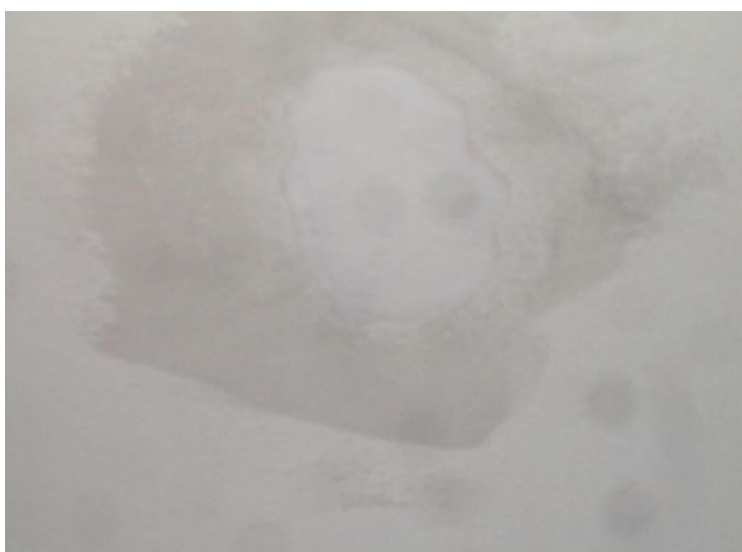
<b>Product Type</b>	-	N/A	<b>Surface Treatment</b>	-	N/A
<b>Asbestos Type</b>	-	No Asbestos Detected	<b>Damage Extent</b>	-	N/A
<b>Material Risk Score</b>	-	<b>0</b>	<b>Material Risk Band</b>	-	N/A

<b>Comments:</b>	-	
<b>Recommendations:</b>	-	

Client:	<b>Skanska</b>	Project No.	<b>SD724P/86213</b>
Site Address	<b>Old War Office, Horse Guards Avenue, London</b>	Page No.:	<b>Page 212 of 267</b>

### Location Survey Data Sheet

<b>Site Code/UPRN</b>	SD724P/86213	<b>Building</b>	Whitehall
<b>Address</b>	The Old War Office Horse Guards Avenue Whitehall London	<b>Floor</b>	Second Floor
	SW1A 2HB	<b>Room</b>	Room 230
		<b>Quantity</b>	N/A
<b>Description</b>	Asphalt/ mortar ceiling.	<b>Asbestos Suspected</b>	<b>No</b>



<b>Last Inspection Date</b>	-	03 Sep 2012	<b>Certificate N°</b>	-	BK30669
<b>Next Inspection Date</b>	-	03 Sep 2013	<b>Sample N°</b>	-	126
<b>Survey Type</b>	-	Refurbishment & Demolition Survey	<b>Photograph N°</b>	-	4845
<b>Position</b>	-	Sample Taken	<b>Location ID</b>	-	Loc20068

<b>Product Type</b>	-	N/A	<b>Surface Treatment</b>	-	N/A
<b>Asbestos Type</b>	-	No Asbestos Detected	<b>Damage Extent</b>	-	N/A
<b>Material Risk Score</b>	-	<b>0</b>	<b>Material Risk Band</b>	-	N/A

<b>Comments:</b>	-	
<b>Recommendations:</b>	-	

Client:	Skanska	Project No.	SD724P/86213
Site Address	Old War Office, Horse Guards Avenue, London	Page No.:	Page 213 of 267



### Location Survey Data Sheet

<b>Site Code/UPRN</b>	SD724P/86213	<b>Building</b>	Whitehall
<b>Address</b>	The Old War Office Horse Guards Avenue Whitehall London	<b>Floor</b>	Second Floor
	SW1A 2HB	<b>Room</b>	Room 230
<b>Description</b>	Mortar line wall.	<b>Quantity</b>	N/A
		<b>Asbestos Suspected</b>	<b>No</b>



<b>Last Inspection Date</b>	-	03 Sep 2012	<b>Certificate N<sup>o</sup></b>	-	BK30669
<b>Next Inspection Date</b>	-	03 Sep 2013	<b>Sample N<sup>o</sup></b>	-	132
<b>Survey Type</b>	-	Refurbishment & Demolition Survey	<b>Photograph N<sup>o</sup></b>	-	4851
<b>Position</b>	-	Sample Taken	<b>Location ID</b>	-	Loc20074

<b>Product Type</b>	-	N/A	<b>Surface Treatment</b>	-	N/A
<b>Asbestos Type</b>	-	No Asbestos Detected	<b>Damage Extent</b>	-	N/A
<b>Material Risk Score</b>	-	<b>0</b>	<b>Material Risk Band</b>	-	N/A

<b>Comments:</b>	-	
<b>Recommendations:</b>	-	

Client:	Skanska	Project No.	SD724P/86213
Site Address	Old War Office, Horse Guards Avenue, London	Page No.:	Page 214 of 267

### Location Survey Data Sheet

<b>Site Code/UPRN</b>	SD724P/86213	<b>Building</b>	Whitehall
<b>Address</b>	The Old War Office Horse Guards Avenue Whitehall London	<b>Floor</b>	Second Floor
	SW1A 2HB	<b>Room</b>	Room 230
<b>Description</b>	Plaster & render walls adjacent to light switch.	<b>Quantity</b>	N/A
		<b>Asbestos Suspected</b>	<b>No</b>



<b>Last Inspection Date</b>	-	03 Sep 2012	<b>Certificate N<sup>o</sup></b>	-	BK30669
<b>Next Inspection Date</b>	-	03 Sep 2013	<b>Sample N<sup>o</sup></b>	-	127
<b>Survey Type</b>	-	Refurbishment & Demolition Survey	<b>Photograph N<sup>o</sup></b>	-	4846
<b>Position</b>	-	Sample Taken	<b>Location ID</b>	-	Loc20069

<b>Product Type</b>	-	N/A	<b>Surface Treatment</b>	-	N/A
<b>Asbestos Type</b>	-	No Asbestos Detected	<b>Damage Extent</b>	-	N/A
<b>Material Risk Score</b>	-	<b>0</b>	<b>Material Risk Band</b>	-	N/A

<b>Comments:</b>	-	
<b>Recommendations:</b>	-	

Client:	<b>Skanska</b>	Project No.	<b>SD724P/86213</b>
Site Address	<b>Old War Office, Horse Guards Avenue, London</b>	Page No.:	<b>Page 215 of 267</b>

### Location Survey Data Sheet

<b>Site Code/UPRN</b>	SD724P/86213	<b>Building</b>	Whitehall
<b>Address</b>	The Old War Office Horse Guards Avenue Whitehall London	<b>Floor</b>	Second Floor
	SW1A 2HB	<b>Room</b>	Room 230
<b>Description</b>	Plaster & render walls corridor way.	<b>Quantity</b>	N/A
		<b>Asbestos Suspected</b>	<b>No</b>



<b>Last Inspection Date</b>	-	03 Sep 2012	<b>Certificate N<sup>o</sup></b>	-	BK30669
<b>Next Inspection Date</b>	-	03 Sep 2013	<b>Sample N<sup>o</sup></b>	-	131
<b>Survey Type</b>	-	Refurbishment & Demolition Survey	<b>Photograph N<sup>o</sup></b>	-	4850
<b>Position</b>	-	Sample Taken	<b>Location ID</b>	-	Loc20073

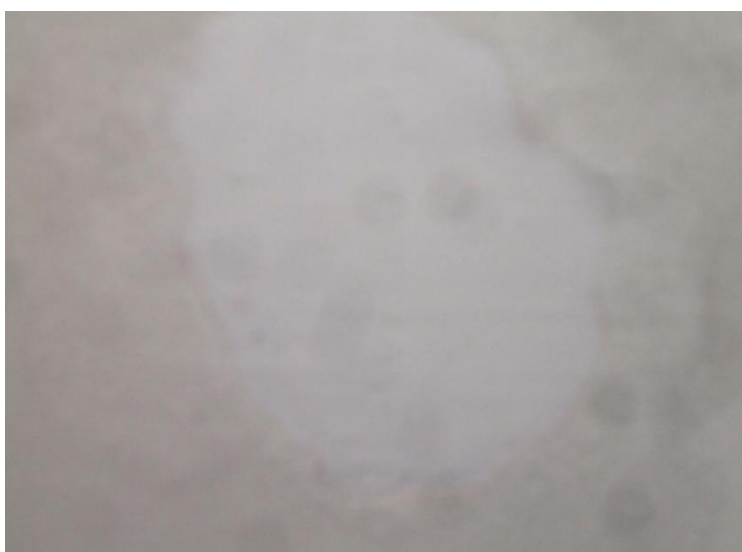
<b>Product Type</b>	-	N/A	<b>Surface Treatment</b>	-	N/A
<b>Asbestos Type</b>	-	No Asbestos Detected	<b>Damage Extent</b>	-	N/A
<b>Material Risk Score</b>	-	<b>0</b>	<b>Material Risk Band</b>	-	N/A

<b>Comments:</b>	-	
<b>Recommendations:</b>	-	

Client:	<b>Skanska</b>	Project No.	<b>SD724P/86213</b>
Site Address	<b>Old War Office, Horse Guards Avenue, London</b>	Page No.:	<b>Page 216 of 267</b>

### Location Survey Data Sheet

<b>Site Code/UPRN</b>	SD724P/86213	<b>Building</b>	Whitehall
<b>Address</b>	The Old War Office Horse Guards Avenue Whitehall London	<b>Floor</b>	Second Floor
	SW1A 2HB	<b>Room</b>	Room 230
		<b>Quantity</b>	N/A
<b>Description</b>	Plaster & render ceiling.	<b>Asbestos Suspected</b>	<b>No</b>



<b>Last Inspection Date</b>	-	03 Sep 2012	<b>Certificate N<sup>o</sup></b>	-	BK30669
<b>Next Inspection Date</b>	-	03 Sep 2013	<b>Sample N<sup>o</sup></b>	-	125
<b>Survey Type</b>	-	Refurbishment & Demolition Survey	<b>Photograph N<sup>o</sup></b>	-	4844
<b>Position</b>	-	Sample Taken	<b>Location ID</b>	-	Loc20067

<b>Product Type</b>	-	N/A	<b>Surface Treatment</b>	-	N/A
<b>Asbestos Type</b>	-	No Asbestos Detected	<b>Damage Extent</b>	-	N/A
<b>Material Risk Score</b>	-	<b>0</b>	<b>Material Risk Band</b>	-	N/A

<b>Comments:</b>	-	
<b>Recommendations:</b>	-	

Client:	Skanska	Project No.	SD724P/86213
Site Address	Old War Office, Horse Guards Avenue, London	Page No.:	Page 217 of 267

### Location Survey Data Sheet

<b>Site Code/UPRN</b>	SD724P/86213	<b>Building</b>	Whitehall
<b>Address</b>	The Old War Office Horse Guards Avenue Whitehall London	<b>Floor</b>	Second Floor
	SW1A 2HB	<b>Room</b>	Room 230
<b>Description</b>	Plaster & render walls adjacent to socket.	<b>Quantity</b>	N/A
		<b>Asbestos Suspected</b>	<b>No</b>



<b>Last Inspection Date</b>	-	03 Sep 2012	<b>Certificate N<sup>o</sup></b>	-	BK30669
<b>Next Inspection Date</b>	-	03 Sep 2013	<b>Sample N<sup>o</sup></b>	-	129
<b>Survey Type</b>	-	Refurbishment & Demolition Survey	<b>Photograph N<sup>o</sup></b>	-	4848
<b>Position</b>	-	Sample Taken	<b>Location ID</b>	-	Loc20071

<b>Product Type</b>	-	N/A	<b>Surface Treatment</b>	-	N/A
<b>Asbestos Type</b>	-	No Asbestos Detected	<b>Damage Extent</b>	-	N/A
<b>Material Risk Score</b>	-	<b>0</b>	<b>Material Risk Band</b>	-	N/A

<b>Comments:</b>	-	
<b>Recommendations:</b>	-	

Client:	<b>Skanska</b>	Project No.	<b>SD724P/86213</b>
Site Address	<b>Old War Office, Horse Guards Avenue, London</b>	Page No.:	<b>Page 218 of 267</b>

### Location Survey Data Sheet

<b>Site Code/UPRN</b>	SD724P/86213	<b>Building</b>	Whitehall
<b>Address</b>	The Old War Office Horse Guards Avenue Whitehall London	<b>Floor</b>	Second Floor
	SW1A 2HB	<b>Room</b>	Room 244
<b>Description</b>	Plaster & render walls.	<b>Quantity</b>	N/A
		<b>Asbestos Suspected</b>	<b>No</b>



<b>Last Inspection Date</b>	-	03 Sep 2012	<b>Certificate N°</b>	-	BK30669
<b>Next Inspection Date</b>	-	03 Sep 2013	<b>Sample N°</b>	-	149
<b>Survey Type</b>	-	Refurbishment & Demolition Survey	<b>Photograph N°</b>	-	4866
<b>Position</b>	-	Sample Taken	<b>Location ID</b>	-	Loc20090

<b>Product Type</b>	-	N/A	<b>Surface Treatment</b>	-	N/A
<b>Asbestos Type</b>	-	No Asbestos Detected	<b>Damage Extent</b>	-	N/A
<b>Material Risk Score</b>	-	<b>0</b>	<b>Material Risk Band</b>	-	N/A

<b>Comments:</b>	-	
<b>Recommendations:</b>	-	

Client:	<b>Skanska</b>	Project No.	<b>SD724P/86213</b>
Site Address	<b>Old War Office, Horse Guards Avenue, London</b>	Page No.:	<b>Page 219 of 267</b>

### Location Survey Data Sheet

<b>Site Code/UPRN</b>	SD724P/86213	<b>Building</b>	Whitehall
<b>Address</b>	The Old War Office Horse Guards Avenue Whitehall London	<b>Floor</b>	Second Floor
	SW1A 2HB	<b>Room</b>	Room 244
<b>Description</b>	Plaster & render walls adjacent to socket.	<b>Quantity</b>	N/A
		<b>Asbestos Suspected</b>	<b>No</b>



<b>Last Inspection Date</b>	-	03 Sep 2012	<b>Certificate N<sup>o</sup></b>	-	BK30669
<b>Next Inspection Date</b>	-	03 Sep 2013	<b>Sample N<sup>o</sup></b>	-	147
<b>Survey Type</b>	-	Refurbishment & Demolition Survey	<b>Photograph N<sup>o</sup></b>	-	4864
<b>Position</b>	-	Sample Taken	<b>Location ID</b>	-	Loc20088

<b>Product Type</b>	-	N/A	<b>Surface Treatment</b>	-	N/A
<b>Asbestos Type</b>	-	No Asbestos Detected	<b>Damage Extent</b>	-	N/A
<b>Material Risk Score</b>	-	<b>0</b>	<b>Material Risk Band</b>	-	N/A

<b>Comments:</b>	-	
<b>Recommendations:</b>	-	

Client:	<b>Skanska</b>	Project No.	<b>SD724P/86213</b>
Site Address	<b>Old War Office, Horse Guards Avenue, London</b>	Page No.:	<b>Page 220 of 267</b>

### Location Survey Data Sheet

<b>Site Code/UPRN</b>	SD724P/86213	<b>Building</b>	Whitehall
<b>Address</b>	The Old War Office Horse Guards Avenue Whitehall London	<b>Floor</b>	Second Floor
	SW1A 2HB	<b>Room</b>	Room 244
<b>Description</b>	Plaster & mortar walls.	<b>Quantity</b>	N/A
		<b>Asbestos Suspected</b>	<b>No</b>



<b>Last Inspection Date</b>	-	03 Sep 2012	<b>Certificate N°</b>	-	BK30669
<b>Next Inspection Date</b>	-	03 Sep 2013	<b>Sample N°</b>	-	151
<b>Survey Type</b>	-	Refurbishment & Demolition Survey	<b>Photograph N°</b>	-	4868
<b>Position</b>	-	Sample Taken	<b>Location ID</b>	-	Loc20092

<b>Product Type</b>	-	N/A	<b>Surface Treatment</b>	-	N/A
<b>Asbestos Type</b>	-	No Asbestos Detected	<b>Damage Extent</b>	-	N/A
<b>Material Risk Score</b>	-	<b>0</b>	<b>Material Risk Band</b>	-	N/A

<b>Comments:</b>	-	
<b>Recommendations:</b>	-	

Client:	Skanska	Project No.	SD724P/86213
Site Address	Old War Office, Horse Guards Avenue, London	Page No.:	Page 221 of 267



### Location Survey Data Sheet

<b>Site Code/UPRN</b>	SD724P/86213	<b>Building</b>	Whitehall
<b>Address</b>	The Old War Office Horse Guards Avenue Whitehall London	<b>Floor</b>	Second Floor
	SW1A 2HB	<b>Room</b>	Room 244
<b>Description</b>	Asphalt & mortar ceiling.	<b>Quantity</b>	N/A
		<b>Asbestos Suspected</b>	<b>No</b>



<b>Last Inspection Date</b>	-	03 Sep 2012	<b>Certificate N<sup>o</sup></b>	-	BK30669
<b>Next Inspection Date</b>	-	03 Sep 2013	<b>Sample N<sup>o</sup></b>	-	146
<b>Survey Type</b>	-	Refurbishment & Demolition Survey	<b>Photograph N<sup>o</sup></b>	-	4863
<b>Position</b>	-	Sample Taken	<b>Location ID</b>	-	Loc20087

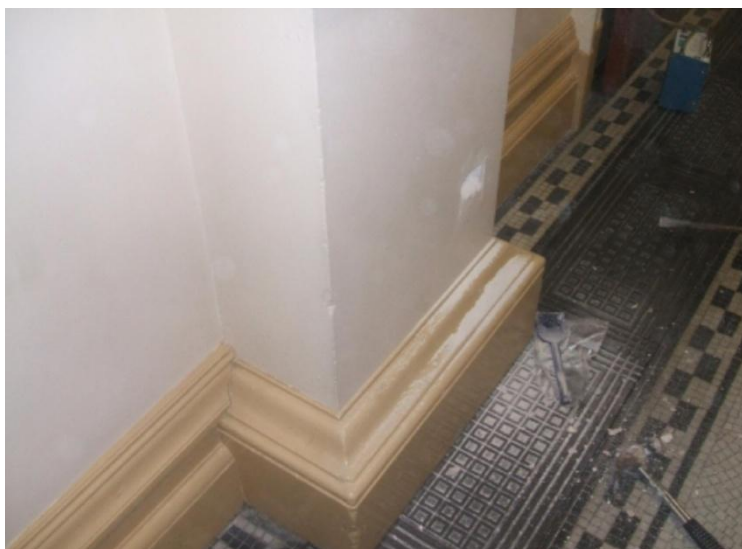
<b>Product Type</b>	-	N/A	<b>Surface Treatment</b>	-	N/A
<b>Asbestos Type</b>	-	No Asbestos Detected	<b>Damage Extent</b>	-	N/A
<b>Material Risk Score</b>	-	<b>0</b>	<b>Material Risk Band</b>	-	N/A

<b>Comments:</b>	-	
<b>Recommendations:</b>	-	

Client:	Skanska	Project No.	SD724P/86213
Site Address	Old War Office, Horse Guards Avenue, London	Page No.:	Page 222 of 267

### Location Survey Data Sheet

<b>Site Code/UPRN</b>	SD724P/86213	<b>Building</b>	Whitehall
<b>Address</b>	The Old War Office Horse Guards Avenue Whitehall London	<b>Floor</b>	Second Floor
	SW1A 2HB	<b>Room</b>	Room 244
<b>Description</b>	Plaster & render ceiling.	<b>Quantity</b>	N/A
		<b>Asbestos Suspected</b>	<b>No</b>



<b>Last Inspection Date</b>	-	03 Sep 2012	<b>Certificate N<sup>o</sup></b>	-	BK30669
<b>Next Inspection Date</b>	-	03 Sep 2013	<b>Sample N<sup>o</sup></b>	-	145
<b>Survey Type</b>	-	Refurbishment & Demolition Survey	<b>Photograph N<sup>o</sup></b>	-	4862
<b>Position</b>	-	Sample Taken	<b>Location ID</b>	-	Loc20086

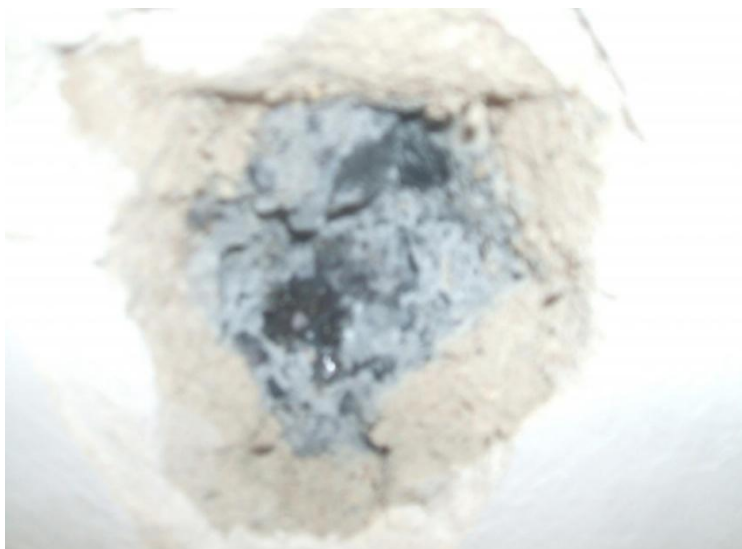
<b>Product Type</b>	-	N/A	<b>Surface Treatment</b>	-	N/A
<b>Asbestos Type</b>	-	No Asbestos Detected	<b>Damage Extent</b>	-	N/A
<b>Material Risk Score</b>	-	<b>0</b>	<b>Material Risk Band</b>	-	N/A

<b>Comments:</b>	-	
<b>Recommendations:</b>	-	

Client:	<b>Skanska</b>	Project No.	<b>SD724P/86213</b>
Site Address	<b>Old War Office, Horse Guards Avenue, London</b>	Page No.:	<b>Page 223 of 267</b>

### Location Survey Data Sheet

<b>Site Code/UPRN</b>	SD724P/86213	<b>Building</b>	Whitehall
<b>Address</b>	The Old War Office Horse Guards Avenue Whitehall London	<b>Floor</b>	Second Floor
	SW1A 2HB	<b>Room</b>	Room 244
<b>Description</b>	Mortar line walls.	<b>Quantity</b>	N/A
		<b>Asbestos Suspected</b>	<b>No</b>



<b>Last Inspection Date</b>	-	03 Sep 2012	<b>Certificate N°</b>	-	BK30669
<b>Next Inspection Date</b>	-	03 Sep 2013	<b>Sample N°</b>	-	152
<b>Survey Type</b>	-	Refurbishment & Demolition Survey	<b>Photograph N°</b>	-	4869
<b>Position</b>	-	Sample Taken	<b>Location ID</b>	-	Loc20093

<b>Product Type</b>	-	N/A	<b>Surface Treatment</b>	-	N/A
<b>Asbestos Type</b>	-	No Asbestos Detected	<b>Damage Extent</b>	-	N/A
<b>Material Risk Score</b>	-	<b>0</b>	<b>Material Risk Band</b>	-	N/A

<b>Comments:</b>	-	
<b>Recommendations:</b>	-	

Client:	<b>Skanska</b>	Project No.	<b>SD724P/86213</b>
Site Address	<b>Old War Office, Horse Guards Avenue, London</b>	Page No.:	<b>Page 224 of 267</b>

### Location Survey Data Sheet

<b>Site Code/UPRN</b>	SD724P/86213	<b>Building</b>	Whitehall
<b>Address</b>	The Old War Office Horse Guards Avenue Whitehall London	<b>Floor</b>	Second Floor
	SW1A 2HB	<b>Room</b>	Room 244
<b>Description</b>	Mortar line walls.	<b>Quantity</b>	N/A
		<b>Asbestos Suspected</b>	<b>No</b>



<b>Last Inspection Date</b>	-	03 Sep 2012	<b>Certificate N<sup>o</sup></b>	-	BK30669
<b>Next Inspection Date</b>	-	03 Sep 2013	<b>Sample N<sup>o</sup></b>	-	148
<b>Survey Type</b>	-	Refurbishment & Demolition Survey	<b>Photograph N<sup>o</sup></b>	-	4865
<b>Position</b>	-	Sample Taken	<b>Location ID</b>	-	Loc20089

<b>Product Type</b>	-	N/A	<b>Surface Treatment</b>	-	N/A
<b>Asbestos Type</b>	-	No Asbestos Detected	<b>Damage Extent</b>	-	N/A
<b>Material Risk Score</b>	-	<b>0</b>	<b>Material Risk Band</b>	-	N/A

<b>Comments:</b>	-	
<b>Recommendations:</b>	-	

Client:	Skanska	Project No.	SD724P/86213
Site Address	Old War Office, Horse Guards Avenue, London	Page No.:	Page 225 of 267

### Location Survey Data Sheet

<b>Site Code/UPRN</b>	SD724P/86213	<b>Building</b>	Whitehall
<b>Address</b>	The Old War Office Horse Guards Avenue Whitehall London	<b>Floor</b>	Second Floor
	SW1A 2HB	<b>Room</b>	Room 244
<b>Description</b>	Mortar line walls.	<b>Quantity</b>	N/A
		<b>Asbestos Suspected</b>	<b>No</b>



<b>Last Inspection Date</b>	-	03 Sep 2012	<b>Certificate N<sup>o</sup></b>	-	BK30669
<b>Next Inspection Date</b>	-	03 Sep 2013	<b>Sample N<sup>o</sup></b>	-	150
<b>Survey Type</b>	-	Refurbishment & Demolition Survey	<b>Photograph N<sup>o</sup></b>	-	4867
<b>Position</b>	-	Sample Taken	<b>Location ID</b>	-	Loc20091

<b>Product Type</b>	-	N/A	<b>Surface Treatment</b>	-	N/A
<b>Asbestos Type</b>	-	No Asbestos Detected	<b>Damage Extent</b>	-	N/A
<b>Material Risk Score</b>	-	<b>0</b>	<b>Material Risk Band</b>	-	N/A

<b>Comments:</b>	-	
<b>Recommendations:</b>	-	

Client:	<b>Skanska</b>	Project No.	<b>SD724P/86213</b>
Site Address	<b>Old War Office, Horse Guards Avenue, London</b>	Page No.:	<b>Page 226 of 267</b>

### Location Survey Data Sheet

<b>Site Code/UPRN</b>	SD724P/86213	<b>Building</b>	Whitehall
<b>Address</b>	The Old War Office Horse Guards Avenue Whitehall London	<b>Floor</b>	Second Floor
	SW1A 2HB	<b>Room</b>	Room 284
		<b>Quantity</b>	N/A
<b>Description</b>	Plaster & render to walls adjacent to light switch.	<b>Asbestos Suspected</b>	<b>No</b>



<b>Last Inspection Date</b>	-	03 Sep 2012	<b>Certificate N°</b>	-	BK30669
<b>Next Inspection Date</b>	-	03 Sep 2013	<b>Sample N°</b>	-	139
<b>Survey Type</b>	-	Refurbishment & Demolition Survey	<b>Photograph N°</b>	-	4858
<b>Position</b>	-	Sample Taken	<b>Location ID</b>	-	Loc20082

<b>Product Type</b>	-	N/A	<b>Surface Treatment</b>	-	N/A
<b>Asbestos Type</b>	-	No Asbestos Detected	<b>Damage Extent</b>	-	N/A
<b>Material Risk Score</b>	-	<b>0</b>	<b>Material Risk Band</b>	-	N/A

<b>Comments:</b>	-	
<b>Recommendations:</b>	-	

Client:	Skanska	Project No.	SD724P/86213
Site Address	Old War Office, Horse Guards Avenue, London	Page No.:	Page 227 of 267

### Location Survey Data Sheet

<b>Site Code/UPRN</b>	SD724P/86213	<b>Building</b>	Whitehall
<b>Address</b>	The Old War Office Horse Guards Avenue Whitehall London	<b>Floor</b>	Second Floor
	SW1A 2HB	<b>Room</b>	Room 284
<b>Description</b>	Plaster & render structural pillar.	<b>Quantity</b>	N/A
		<b>Asbestos Suspected</b>	<b>No</b>



<b>Last Inspection Date</b>	-	03 Sep 2012	<b>Certificate N<sup>o</sup></b>	-	BK30669
<b>Next Inspection Date</b>	-	03 Sep 2013	<b>Sample N<sup>o</sup></b>	-	133
<b>Survey Type</b>	-	Refurbishment & Demolition Survey	<b>Photograph N<sup>o</sup></b>	-	4857
<b>Position</b>	-	Sample Taken	<b>Location ID</b>	-	Loc20075

<b>Product Type</b>	-	N/A	<b>Surface Treatment</b>	-	N/A
<b>Asbestos Type</b>	-	No Asbestos Detected	<b>Damage Extent</b>	-	N/A
<b>Material Risk Score</b>	-	<b>0</b>	<b>Material Risk Band</b>	-	N/A

<b>Comments:</b>	-	
<b>Recommendations:</b>	-	

Client:	Skanska	Project No.	SD724P/86213
Site Address	Old War Office, Horse Guards Avenue, London	Page No.:	Page 228 of 267

### Location Survey Data Sheet

<b>Site Code/UPRN</b>	SD724P/86213	<b>Building</b>	Whitehall
<b>Address</b>	The Old War Office Horse Guards Avenue Whitehall London	<b>Floor</b>	Second Floor
	SW1A 2HB	<b>Room</b>	Room 284
<b>Description</b>	Plaster & render ceiling.	<b>Quantity</b>	N/A
		<b>Asbestos Suspected</b>	<b>No</b>



<b>Last Inspection Date</b>	-	03 Sep 2012	<b>Certificate N<sup>o</sup></b>	-	BK30669
<b>Next Inspection Date</b>	-	03 Sep 2013	<b>Sample N<sup>o</sup></b>	-	135
<b>Survey Type</b>	-	Refurbishment & Demolition Survey	<b>Photograph N<sup>o</sup></b>	-	4852
<b>Position</b>	-	Sample Taken	<b>Location ID</b>	-	Loc20077

<b>Product Type</b>	-	N/A	<b>Surface Treatment</b>	-	N/A
<b>Asbestos Type</b>	-	No Asbestos Detected	<b>Damage Extent</b>	-	N/A
<b>Material Risk Score</b>	-	<b>0</b>	<b>Material Risk Band</b>	-	N/A

<b>Comments:</b>	-	
<b>Recommendations:</b>	-	

Client:	Skanska	Project No.	SD724P/86213
Site Address	Old War Office, Horse Guards Avenue, London	Page No.:	Page 229 of 267



### Location Survey Data Sheet

<b>Site Code/UPRN</b>	SD724P/86213	<b>Building</b>	Whitehall
<b>Address</b>	The Old War Office Horse Guards Avenue Whitehall London	<b>Floor</b>	Second Floor
	SW1A 2HB	<b>Room</b>	Room 284
<b>Description</b>	Mortar line.	<b>Quantity</b>	N/A
		<b>Asbestos Suspected</b>	<b>No</b>



<b>Last Inspection Date</b>	-	03 Sep 2012	<b>Certificate N°</b>	-	BK30669
<b>Next Inspection Date</b>	-	03 Sep 2013	<b>Sample N°</b>	-	142
<b>Survey Type</b>	-	Refurbishment & Demolition Survey	<b>Photograph N°</b>	-	4861
<b>Position</b>	-	Sample Taken	<b>Location ID</b>	-	Loc20085

<b>Product Type</b>	-	N/A	<b>Surface Treatment</b>	-	N/A
<b>Asbestos Type</b>	-	No Asbestos Detected	<b>Damage Extent</b>	-	N/A
<b>Material Risk Score</b>	-	<b>0</b>	<b>Material Risk Band</b>	-	N/A

<b>Comments:</b>	-	
<b>Recommendations:</b>	-	

Client:	Skanska	Project No.	SD724P/86213
Site Address	Old War Office, Horse Guards Avenue, London	Page No.:	Page 230 of 267

### Location Survey Data Sheet

<b>Site Code/UPRN</b>	SD724P/86213	<b>Building</b>	Whitehall
<b>Address</b>	The Old War Office Horse Guards Avenue Whitehall London	<b>Floor</b>	Second Floor
	SW1A 2HB	<b>Room</b>	Room 284
<b>Description</b>	Concrete vertical pillar/column.	<b>Quantity</b>	N/A
		<b>Asbestos Suspected</b>	<b>No</b>



<b>Last Inspection Date</b>	-	03 Sep 2012	<b>Certificate N<sup>o</sup></b>	-	BK30669
<b>Next Inspection Date</b>	-	03 Sep 2013	<b>Sample N<sup>o</sup></b>	-	134
<b>Survey Type</b>	-	Refurbishment & Demolition Survey	<b>Photograph N<sup>o</sup></b>	-	4856
<b>Position</b>	-	Sample Taken	<b>Location ID</b>	-	Loc20076

<b>Product Type</b>	-	N/A	<b>Surface Treatment</b>	-	N/A
<b>Asbestos Type</b>	-	No Asbestos Detected	<b>Damage Extent</b>	-	N/A
<b>Material Risk Score</b>	-	<b>0</b>	<b>Material Risk Band</b>	-	N/A

<b>Comments:</b>	-	
<b>Recommendations:</b>	-	

Client:	<b>Skanska</b>	Project No.	<b>SD724P/86213</b>
Site Address	<b>Old War Office, Horse Guards Avenue, London</b>	Page No.:	<b>Page 231 of 267</b>

### Location Survey Data Sheet

<b>Site Code/UPRN</b>	SD724P/86213	<b>Building</b>	Whitehall
<b>Address</b>	The Old War Office Horse Guards Avenue Whitehall London	<b>Floor</b>	Second Floor
	SW1A 2HB	<b>Room</b>	Room 284
<b>Description</b>	Mortar line walls adjacent to light switch.	<b>Quantity</b>	N/A
		<b>Asbestos Suspected</b>	<b>No</b>



<b>Last Inspection Date</b>	-	03 Sep 2012	<b>Certificate N<sup>o</sup></b>	-	BK30669
<b>Next Inspection Date</b>	-	03 Sep 2013	<b>Sample N<sup>o</sup></b>	-	138
<b>Survey Type</b>	-	Refurbishment & Demolition Survey	<b>Photograph N<sup>o</sup></b>	-	4855
<b>Position</b>	-	Sample Taken	<b>Location ID</b>	-	Loc20080

<b>Product Type</b>	-	N/A	<b>Surface Treatment</b>	-	N/A
<b>Asbestos Type</b>	-	No Asbestos Detected	<b>Damage Extent</b>	-	N/A
<b>Material Risk Score</b>	-	<b>0</b>	<b>Material Risk Band</b>	-	N/A

<b>Comments:</b>	-	
<b>Recommendations:</b>	-	

Client:	<b>Skanska</b>	Project No.	<b>SD724P/86213</b>
Site Address	<b>Old War Office, Horse Guards Avenue, London</b>	Page No.:	<b>Page 232 of 267</b>

### Location Survey Data Sheet

<b>Site Code/UPRN</b>	SD724P/86213	<b>Building</b>	Whitehall
<b>Address</b>	The Old War Office Horse Guards Avenue Whitehall London	<b>Floor</b>	Second Floor
	SW1A 2HB	<b>Room</b>	Room 284
<b>Description</b>	Mortar line.	<b>Quantity</b>	N/A
		<b>Asbestos Suspected</b>	<b>No</b>



<b>Last Inspection Date</b>	-	03 Sep 2012	<b>Certificate N<sup>o</sup></b>	-	BK30669
<b>Next Inspection Date</b>	-	03 Sep 2013	<b>Sample N<sup>o</sup></b>	-	140
<b>Survey Type</b>	-	Refurbishment & Demolition Survey	<b>Photograph N<sup>o</sup></b>	-	4859
<b>Position</b>	-	Sample Taken	<b>Location ID</b>	-	Loc20083

<b>Product Type</b>	-	N/A	<b>Surface Treatment</b>	-	N/A
<b>Asbestos Type</b>	-	No Asbestos Detected	<b>Damage Extent</b>	-	N/A
<b>Material Risk Score</b>	-	<b>0</b>	<b>Material Risk Band</b>	-	N/A

<b>Comments:</b>	-	
<b>Recommendations:</b>	-	

Client:	Skanska	Project No.	SD724P/86213
Site Address	Old War Office, Horse Guards Avenue, London	Page No.:	Page 233 of 267

### Location Survey Data Sheet

<b>Site Code/UPRN</b>	SD724P/86213	<b>Building</b>	Whitehall
<b>Address</b>	The Old War Office Horse Guards Avenue Whitehall London	<b>Floor</b>	Second Floor
	SW1A 2HB	<b>Room</b>	Room 284
<b>Description</b>	Plaster & render walls adjacent to wall socket.	<b>Quantity</b>	N/A
		<b>Asbestos Suspected</b>	<b>No</b>



<b>Last Inspection Date</b>	-	03 Sep 2012	<b>Certificate N<sup>o</sup></b>	-	BK30669
<b>Next Inspection Date</b>	-	03 Sep 2013	<b>Sample N<sup>o</sup></b>	-	137
<b>Survey Type</b>	-	Refurbishment & Demolition Survey	<b>Photograph N<sup>o</sup></b>	-	4854
<b>Position</b>	-	Sample Taken	<b>Location ID</b>	-	Loc20079

<b>Product Type</b>	-	N/A	<b>Surface Treatment</b>	-	N/A
<b>Asbestos Type</b>	-	No Asbestos Detected	<b>Damage Extent</b>	-	N/A
<b>Material Risk Score</b>	-	<b>0</b>	<b>Material Risk Band</b>	-	N/A

<b>Comments:</b>	-	
<b>Recommendations:</b>	-	

Client:	Skanska	Project No.	SD724P/86213
Site Address	Old War Office, Horse Guards Avenue, London	Page No.:	Page 234 of 267

### Location Survey Data Sheet

<b>Site Code/UPRN</b>	SD724P/86213	<b>Building</b>	Whitehall
<b>Address</b>	The Old War Office Horse Guards Avenue Whitehall London	<b>Floor</b>	Second Floor
	SW1A 2HB	<b>Room</b>	Room 284
<b>Description</b>	Asphalt/ mortar ceiling adjacent to wall socket.	<b>Quantity</b>	N/A
		<b>Asbestos Suspected</b>	<b>No</b>



<b>Last Inspection Date</b>	-	03 Sep 2012	<b>Certificate N<sup>o</sup></b>	-	BK30669
<b>Next Inspection Date</b>	-	03 Sep 2013	<b>Sample N<sup>o</sup></b>	-	136
<b>Survey Type</b>	-	Refurbishment & Demolition Survey	<b>Photograph N<sup>o</sup></b>	-	4853
<b>Position</b>	-	Sample Taken	<b>Location ID</b>	-	Loc20078

<b>Product Type</b>	-	N/A	<b>Surface Treatment</b>	-	N/A
<b>Asbestos Type</b>	-	No Asbestos Detected	<b>Damage Extent</b>	-	N/A
<b>Material Risk Score</b>	-	<b>0</b>	<b>Material Risk Band</b>	-	N/A

<b>Comments:</b>	-	
<b>Recommendations:</b>	-	

Client:	Skanska	Project No.	SD724P/86213
Site Address	Old War Office, Horse Guards Avenue, London	Page No.:	Page 235 of 267

### Location Survey Data Sheet

<b>Site Code/UPRN</b>	SD724P/86213	<b>Building</b>	Whitehall
<b>Address</b>	The Old War Office Horse Guards Avenue Whitehall London	<b>Floor</b>	Second Floor
	SW1A 2HB	<b>Room</b>	Room 284
<b>Description</b>	Plaster & render.	<b>Quantity</b>	N/A
		<b>Asbestos Suspected</b>	<b>No</b>



<b>Last Inspection Date</b>	-	03 Sep 2012	<b>Certificate N<sup>o</sup></b>	-	BK30669
<b>Next Inspection Date</b>	-	03 Sep 2013	<b>Sample N<sup>o</sup></b>	-	141
<b>Survey Type</b>	-	Refurbishment & Demolition Survey	<b>Photograph N<sup>o</sup></b>	-	4860
<b>Position</b>	-	Sample Taken	<b>Location ID</b>	-	Loc20084

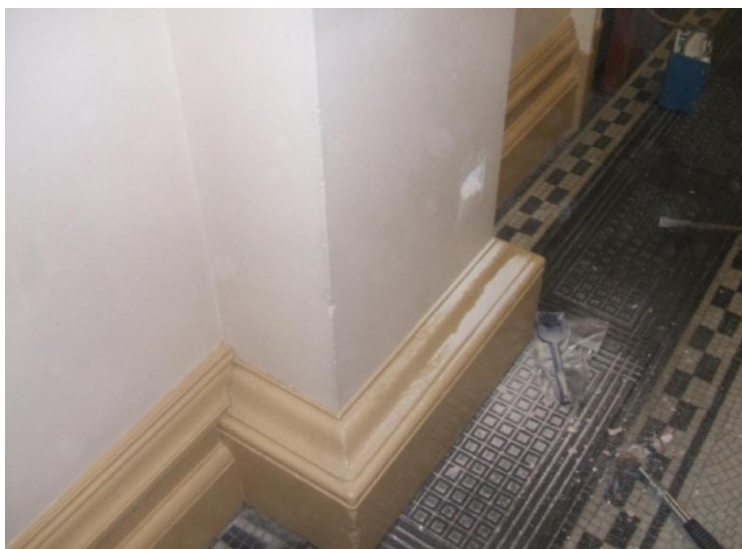
<b>Product Type</b>	-	N/A	<b>Surface Treatment</b>	-	N/A
<b>Asbestos Type</b>	-	No Asbestos Detected	<b>Damage Extent</b>	-	N/A
<b>Material Risk Score</b>	-	<b>0</b>	<b>Material Risk Band</b>	-	N/A

<b>Comments:</b>	-	
<b>Recommendations:</b>	-	

Client:	Skanska	Project No.	SD724P/86213
Site Address	Old War Office, Horse Guards Avenue, London	Page No.:	Page 236 of 267

### Location Survey Data Sheet

<b>Site Code/UPRN</b>	SD724P/86213	<b>Building</b>	Whitehall
<b>Address</b>	The Old War Office Horse Guards Avenue Whitehall London	<b>Floor</b>	Second Floor
	SW1A 2HB	<b>Room</b>	Stair (3) Corridor
<b>Description</b>	Plaster & render walls.	<b>Quantity</b>	N/A
		<b>Asbestos Suspected</b>	<b>No</b>



<b>Last Inspection Date</b>	-	03 Sep 2012	<b>Certificate N<sup>o</sup></b>	-	BK30669
<b>Next Inspection Date</b>	-	03 Sep 2013	<b>Sample N<sup>o</sup></b>	-	143
<b>Survey Type</b>	-	Refurbishment & Demolition Survey	<b>Photograph N<sup>o</sup></b>	-	4862
<b>Position</b>	-	Sample Taken	<b>Location ID</b>	-	Loc20094

<b>Product Type</b>	-	N/A	<b>Surface Treatment</b>	-	N/A
<b>Asbestos Type</b>	-	No Asbestos Detected	<b>Damage Extent</b>	-	N/A
<b>Material Risk Score</b>	-	<b>0</b>	<b>Material Risk Band</b>	-	N/A

<b>Comments:</b>	-	
<b>Recommendations:</b>	-	

Client:	<b>Skanska</b>	Project No.	<b>SD724P/86213</b>
Site Address	<b>Old War Office, Horse Guards Avenue, London</b>	Page No.:	<b>Page 237 of 267</b>



### Location Survey Data Sheet

<b>Site Code/UPRN</b>	SD724P/86213	<b>Building</b>	Whitehall
<b>Address</b>	The Old War Office Horse Guards Avenue Whitehall London	<b>Floor</b>	Second Floor
	SW1A 2HB	<b>Room</b>	Stair (3) Corridor
<b>Description</b>	Concrete support pillar.	<b>Quantity</b>	N/A
		<b>Asbestos Suspected</b>	<b>No</b>



<b>Last Inspection Date</b>	-	03 Sep 2012	<b>Certificate N<sup>o</sup></b>	-	BK30669
<b>Next Inspection Date</b>	-	03 Sep 2013	<b>Sample N<sup>o</sup></b>	-	144
<b>Survey Type</b>	-	Refurbishment & Demolition Survey	<b>Photograph N<sup>o</sup></b>	-	4863
<b>Position</b>	-	Sample Taken	<b>Location ID</b>	-	Loc20096

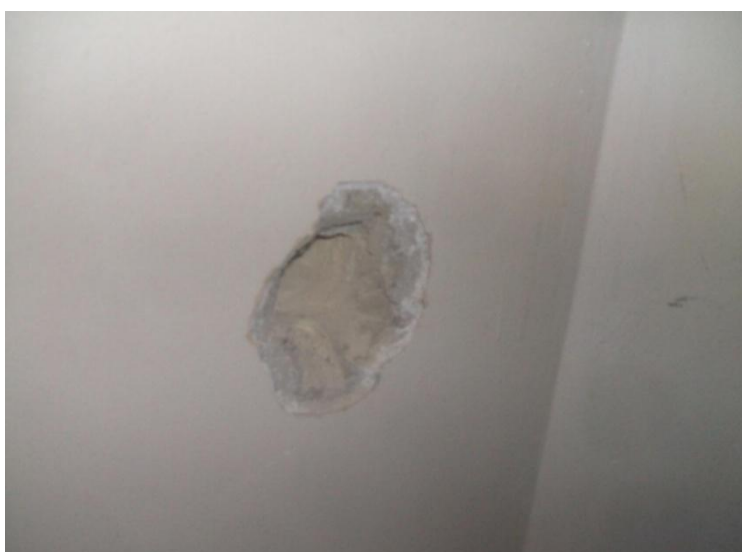
<b>Product Type</b>	-	N/A	<b>Surface Treatment</b>	-	N/A
<b>Asbestos Type</b>	-	No Asbestos Detected	<b>Damage Extent</b>	-	N/A
<b>Material Risk Score</b>	-	<b>0</b>	<b>Material Risk Band</b>	-	N/A

<b>Comments:</b>	-	
<b>Recommendations:</b>	-	

Client:	Skanska	Project No.	SD724P/86213
Site Address	Old War Office, Horse Guards Avenue, London	Page No.:	Page 238 of 267

### Location Survey Data Sheet

<b>Site Code/UPRN</b>	SD724P/86213	<b>Building</b>	Whitehall
<b>Address</b>	The Old War Office Horse Guards Avenue Whitehall London	<b>Floor</b>	Third Floor
	SW1A 2HB	<b>Room</b>	Cleaners Cupboard (opposite 326)
<b>Description</b>	Plaster & render to walls.	<b>Quantity</b>	N/A
		<b>Asbestos Suspected</b>	<b>No</b>



<b>Last Inspection Date</b>	-	03 Sep 2012	<b>Certificate N°</b>	-	BK30669
<b>Next Inspection Date</b>	-	03 Sep 2013	<b>Sample N°</b>	-	109
<b>Survey Type</b>	-	Refurbishment & Demolition Survey	<b>Photograph N°</b>	-	4827
<b>Position</b>	-	Sample Taken	<b>Location ID</b>	-	Loc20052

<b>Product Type</b>	-	N/A	<b>Surface Treatment</b>	-	N/A
<b>Asbestos Type</b>	-	No Asbestos Detected	<b>Damage Extent</b>	-	N/A
<b>Material Risk Score</b>	-	<b>0</b>	<b>Material Risk Band</b>	-	N/A

<b>Comments:</b>	-	
<b>Recommendations:</b>	-	

Client:	Skanska	Project No.	SD724P/86213
Site Address	Old War Office, Horse Guards Avenue, London	Page No.:	Page 239 of 267

### Location Survey Data Sheet

<b>Site Code/UPRN</b>	SD724P/86213	<b>Building</b>	Whitehall
<b>Address</b>	The Old War Office Horse Guards Avenue Whitehall London	<b>Floor</b>	Third Floor
	SW1A 2HB	<b>Room</b>	Cleaners Cupboard (opposite 326)
<b>Description</b>	Plaster & render ceiling.	<b>Quantity</b>	N/A
		<b>Asbestos Suspected</b>	<b>No</b>



<b>Last Inspection Date</b>	-	03 Sep 2012	<b>Certificate N°</b>	-	BK30669
<b>Next Inspection Date</b>	-	03 Sep 2013	<b>Sample N°</b>	-	107
<b>Survey Type</b>	-	Refurbishment & Demolition Survey	<b>Photograph N°</b>	-	4825
<b>Position</b>	-	Sample Taken	<b>Location ID</b>	-	Loc20050

<b>Product Type</b>	-	N/A	<b>Surface Treatment</b>	-	N/A
<b>Asbestos Type</b>	-	No Asbestos Detected	<b>Damage Extent</b>	-	N/A
<b>Material Risk Score</b>	-	<b>0</b>	<b>Material Risk Band</b>	-	N/A

<b>Comments:</b>	-	
<b>Recommendations:</b>	-	

Client:	Skanska	Project No.	SD724P/86213
Site Address	Old War Office, Horse Guards Avenue, London	Page No.:	Page 240 of 267

### Location Survey Data Sheet

<b>Site Code/UPRN</b>	SD724P/86213	<b>Building</b>	Whitehall
<b>Address</b>	The Old War Office Horse Guards Avenue Whitehall London	<b>Floor</b>	Third Floor
	SW1A 2HB	<b>Room</b>	Cleaners Cupboard (opposite 326)
<b>Description</b>	Mortar line to brickwork walls.	<b>Quantity</b>	N/A
		<b>Asbestos Suspected</b>	<b>No</b>



<b>Last Inspection Date</b>	-	03 Sep 2012	<b>Certificate N°</b>	-	BK30669
<b>Next Inspection Date</b>	-	03 Sep 2013	<b>Sample N°</b>	-	110
<b>Survey Type</b>	-	Refurbishment & Demolition Survey	<b>Photograph N°</b>	-	4828
<b>Position</b>	-	Sample Taken	<b>Location ID</b>	-	Loc20053

<b>Product Type</b>	-	N/A	<b>Surface Treatment</b>	-	N/A
<b>Asbestos Type</b>	-	No Asbestos Detected	<b>Damage Extent</b>	-	N/A
<b>Material Risk Score</b>	-	<b>0</b>	<b>Material Risk Band</b>	-	N/A

<b>Comments:</b>	-	
<b>Recommendations:</b>	-	

Client:	<b>Skanska</b>	Project No.	<b>SD724P/86213</b>
Site Address	<b>Old War Office, Horse Guards Avenue, London</b>	Page No.:	<b>Page 241 of 267</b>

### Location Survey Data Sheet

<b>Site Code/UPRN</b>	SD724P/86213	<b>Building</b>	Whitehall
<b>Address</b>	The Old War Office Horse Guards Avenue Whitehall London	<b>Floor</b>	Third Floor
	SW1A 2HB	<b>Room</b>	Cleaners Cupboard (opposite 326)
<b>Description</b>	Asphalt/ concrete ceiling.	<b>Quantity</b>	N/A
		<b>Asbestos Suspected</b>	<b>No</b>



<b>Last Inspection Date</b>	-	03 Sep 2012	<b>Certificate N<sup>o</sup></b>	-	BK30669
<b>Next Inspection Date</b>	-	03 Sep 2013	<b>Sample N<sup>o</sup></b>	-	108
<b>Survey Type</b>	-	Refurbishment & Demolition Survey	<b>Photograph N<sup>o</sup></b>	-	4826
<b>Position</b>	-	Sample Taken	<b>Location ID</b>	-	Loc20051

<b>Product Type</b>	-	N/A	<b>Surface Treatment</b>	-	N/A
<b>Asbestos Type</b>	-	No Asbestos Detected	<b>Damage Extent</b>	-	N/A
<b>Material Risk Score</b>	-	<b>0</b>	<b>Material Risk Band</b>	-	N/A

<b>Comments:</b>	-	
<b>Recommendations:</b>	-	

Client:	<b>Skanska</b>	Project No.	<b>SD724P/86213</b>
Site Address	<b>Old War Office, Horse Guards Avenue, London</b>	Page No.:	<b>Page 242 of 267</b>

### Location Survey Data Sheet

<b>Site Code/UPRN</b>	SD724P/86213	<b>Building</b>	Whitehall
<b>Address</b>	The Old War Office Horse Guards Avenue Whitehall London	<b>Floor</b>	Third Floor
	SW1A 2HB	<b>Room</b>	Cleaners Cupboard (opposite 336)
<b>Description</b>	Asphalt/concrete ceiling.	<b>Quantity</b>	N/A
		<b>Asbestos Suspected</b>	<b>No</b>



<b>Last Inspection Date</b>	-	03 Sep 2012	<b>Certificate N°</b>	-	BK30669
<b>Next Inspection Date</b>	-	03 Sep 2013	<b>Sample N°</b>	-	118
<b>Survey Type</b>	-	Refurbishment & Demolition Survey	<b>Photograph N°</b>	-	4836
<b>Position</b>	-	Internal	<b>Location ID</b>	-	Loc20059

<b>Product Type</b>	-	N/A	<b>Surface Treatment</b>	-	N/A
<b>Asbestos Type</b>	-	No Asbestos Detected	<b>Damage Extent</b>	-	N/A
<b>Material Risk Score</b>	-	<b>0</b>	<b>Material Risk Band</b>	-	N/A

<b>Comments:</b>	-	
<b>Recommendations:</b>	-	

Client:	Skanska	Project No.	SD724P/86213
Site Address	Old War Office, Horse Guards Avenue, London	Page No.:	Page 243 of 267

### Location Survey Data Sheet

<b>Site Code/UPRN</b>	SD724P/86213	<b>Building</b>	Whitehall
<b>Address</b>	The Old War Office Horse Guards Avenue Whitehall London	<b>Floor</b>	Third Floor
	SW1A 2HB	<b>Room</b>	Cleaners Cupboard (opposite 336)
<b>Description</b>	Mortar line to brickwork.	<b>Quantity</b>	N/A
		<b>Asbestos Suspected</b>	<b>No</b>



<b>Last Inspection Date</b>	-	03 Sep 2012	<b>Certificate N<sup>o</sup></b>	-	BK30669
<b>Next Inspection Date</b>	-	03 Sep 2013	<b>Sample N<sup>o</sup></b>	-	120
<b>Survey Type</b>	-	Refurbishment & Demolition Survey	<b>Photograph N<sup>o</sup></b>	-	4838
<b>Position</b>	-	Sample Taken	<b>Location ID</b>	-	Loc20061

<b>Product Type</b>	-	N/A	<b>Surface Treatment</b>	-	N/A
<b>Asbestos Type</b>	-	No Asbestos Detected	<b>Damage Extent</b>	-	N/A
<b>Material Risk Score</b>	-	<b>0</b>	<b>Material Risk Band</b>	-	N/A

<b>Comments:</b>	-	
<b>Recommendations:</b>	-	

Client:	<b>Skanska</b>	Project No.	<b>SD724P/86213</b>
Site Address	<b>Old War Office, Horse Guards Avenue, London</b>	Page No.:	<b>Page 244 of 267</b>

### Location Survey Data Sheet

<b>Site Code/UPRN</b>	SD724P/86213	<b>Building</b>	Whitehall
<b>Address</b>	The Old War Office Horse Guards Avenue Whitehall London	<b>Floor</b>	Third Floor
	SW1A 2HB	<b>Room</b>	Cleaners Cupboard (opposite 336)
<b>Description</b>	Plaster & render walls.	<b>Quantity</b>	N/A
		<b>Asbestos Suspected</b>	<b>No</b>



<b>Last Inspection Date</b>	-	03 Sep 2012	<b>Certificate N<sup>o</sup></b>	-	BK30669
<b>Next Inspection Date</b>	-	03 Sep 2013	<b>Sample N<sup>o</sup></b>	-	119
<b>Survey Type</b>	-	Refurbishment & Demolition Survey	<b>Photograph N<sup>o</sup></b>	-	4837
<b>Position</b>	-	Sample Taken	<b>Location ID</b>	-	Loc20060

<b>Product Type</b>	-	N/A	<b>Surface Treatment</b>	-	N/A
<b>Asbestos Type</b>	-	No Asbestos Detected	<b>Damage Extent</b>	-	N/A
<b>Material Risk Score</b>	-	<b>0</b>	<b>Material Risk Band</b>	-	N/A

<b>Comments:</b>	-	
<b>Recommendations:</b>	-	

Client:	Skanska	Project No.	SD724P/86213
Site Address	Old War Office, Horse Guards Avenue, London	Page No.:	Page 245 of 267



### Location Survey Data Sheet

<b>Site Code/UPRN</b>	SD724P/86213	<b>Building</b>	Whitehall
<b>Address</b>	The Old War Office Horse Guards Avenue Whitehall London	<b>Floor</b>	Third Floor
	SW1A 2HB	<b>Room</b>	Cleaners Cupboard (opposite 336)
<b>Description</b>	Plaster & render ceiling.	<b>Quantity</b>	N/A
		<b>Asbestos Suspected</b>	<b>No</b>



<b>Last Inspection Date</b>	-	03 Sep 2012	<b>Certificate N<sup>o</sup></b>	-	BK30669
<b>Next Inspection Date</b>	-	03 Sep 2013	<b>Sample N<sup>o</sup></b>	-	117
<b>Survey Type</b>	-	Refurbishment & Demolition Survey	<b>Photograph N<sup>o</sup></b>	-	4835
<b>Position</b>	-	Sample Taken	<b>Location ID</b>	-	Loc20058

<b>Product Type</b>	-	N/A	<b>Surface Treatment</b>	-	N/A
<b>Asbestos Type</b>	-	No Asbestos Detected	<b>Damage Extent</b>	-	N/A
<b>Material Risk Score</b>	-	<b>0</b>	<b>Material Risk Band</b>	-	N/A

<b>Comments:</b>	-	
<b>Recommendations:</b>	-	

Client:	<b>Skanska</b>	Project No.	<b>SD724P/86213</b>
Site Address	<b>Old War Office, Horse Guards Avenue, London</b>	Page No.:	<b>Page 246 of 267</b>

### Location Survey Data Sheet

<b>Site Code/UPRN</b>	SD724P/86213	<b>Building</b>	Whitehall
<b>Address</b>	The Old War Office Horse Guards Avenue Whitehall London	<b>Floor</b>	Third Floor
	SW1A 2HB	<b>Room</b>	Corridor WES 368
<b>Description</b>	Lining to plasterboard to steel RSJ.	<b>Quantity</b>	N/A
		<b>Asbestos Suspected</b>	<b>No</b>



<b>Last Inspection Date</b>	-	03 Sep 2012	<b>Certificate N<sup>o</sup></b>	-	BK30669
<b>Next Inspection Date</b>	-	03 Sep 2013	<b>Sample N<sup>o</sup></b>	-	121
<b>Survey Type</b>	-	Refurbishment & Demolition Survey	<b>Photograph N<sup>o</sup></b>	-	4839
<b>Position</b>	-	Sample Taken	<b>Location ID</b>	-	Loc20062

<b>Product Type</b>	-	N/A	<b>Surface Treatment</b>	-	N/A
<b>Asbestos Type</b>	-	No Asbestos Detected	<b>Damage Extent</b>	-	N/A
<b>Material Risk Score</b>	-	<b>0</b>	<b>Material Risk Band</b>	-	N/A

<b>Comments:</b>	-	
<b>Recommendations:</b>	-	

Client:	Skanska	Project No.	SD724P/86213
Site Address	Old War Office, Horse Guards Avenue, London	Page No.:	Page 247 of 267

### Location Survey Data Sheet

<b>Site Code/UPRN</b>	SD724P/86213	<b>Building</b>	Whitehall
<b>Address</b>	The Old War Office Horse Guards Avenue Whitehall London	<b>Floor</b>	Third Floor
	SW1A 2HB	<b>Room</b>	Corridor WES 368
<b>Description</b>	Plaster ceiling.	<b>Quantity</b>	N/A
		<b>Asbestos Suspected</b>	<b>No</b>



<b>Last Inspection Date</b>	-	03 Sep 2012	<b>Certificate N<sup>o</sup></b>	-	BK30669
<b>Next Inspection Date</b>	-	03 Sep 2013	<b>Sample N<sup>o</sup></b>	-	122
<b>Survey Type</b>	-	Refurbishment & Demolition Survey	<b>Photograph N<sup>o</sup></b>	-	4840
<b>Position</b>	-	Sample Taken	<b>Location ID</b>	-	Loc20063

<b>Product Type</b>	-	N/A	<b>Surface Treatment</b>	-	N/A
<b>Asbestos Type</b>	-	No Asbestos Detected	<b>Damage Extent</b>	-	N/A
<b>Material Risk Score</b>	-	<b>0</b>	<b>Material Risk Band</b>	-	N/A

<b>Comments:</b>	-	
<b>Recommendations:</b>	-	

Client:	Skanska	Project No.	SD724P/86213
Site Address	Old War Office, Horse Guards Avenue, London	Page No.:	Page 248 of 267

### Location Survey Data Sheet

<b>Site Code/UPRN</b>	SD724P/86213	<b>Building</b>	Whitehall
<b>Address</b>	The Old War Office Horse Guards Avenue Whitehall London	<b>Floor</b>	Third Floor
	SW1A 2HB	<b>Room</b>	Electric Riser (c)
<b>Description</b>	Plaster & render to walls.	<b>Quantity</b>	N/A
		<b>Asbestos Suspected</b>	<b>No</b>



<b>Last Inspection Date</b>	-	03 Sep 2012	<b>Certificate N<sup>o</sup></b>	-	BK30669
<b>Next Inspection Date</b>	-	03 Sep 2013	<b>Sample N<sup>o</sup></b>	-	115
<b>Survey Type</b>	-	Refurbishment & Demolition Survey	<b>Photograph N<sup>o</sup></b>	-	4833
<b>Position</b>	-	Sample Taken	<b>Location ID</b>	-	Loc20056

<b>Product Type</b>	-	N/A	<b>Surface Treatment</b>	-	N/A
<b>Asbestos Type</b>	-	No Asbestos Detected	<b>Damage Extent</b>	-	N/A
<b>Material Risk Score</b>	-	<b>0</b>	<b>Material Risk Band</b>	-	N/A

<b>Comments:</b>	-	
<b>Recommendations:</b>	-	

Client:	<b>Skanska</b>	Project No.	<b>SD724P/86213</b>
Site Address	<b>Old War Office, Horse Guards Avenue, London</b>	Page No.:	<b>Page 249 of 267</b>

### Location Survey Data Sheet

<b>Site Code/UPRN</b>	SD724P/86213	<b>Building</b>	Whitehall
<b>Address</b>	The Old War Office Horse Guards Avenue Whitehall London	<b>Floor</b>	Third Floor
	SW1A 2HB	<b>Room</b>	Electric Riser (c)
<b>Description</b>	Plaster & render ceiling.	<b>Quantity</b>	N/A
		<b>Asbestos Suspected</b>	<b>No</b>



<b>Last Inspection Date</b>	-	03 Sep 2012	<b>Certificate N<sup>o</sup></b>	-	BK30669
<b>Next Inspection Date</b>	-	03 Sep 2013	<b>Sample N<sup>o</sup></b>	-	113
<b>Survey Type</b>	-	Refurbishment & Demolition Survey	<b>Photograph N<sup>o</sup></b>	-	4831
<b>Position</b>	-	Sample Taken	<b>Location ID</b>	-	Loc20054

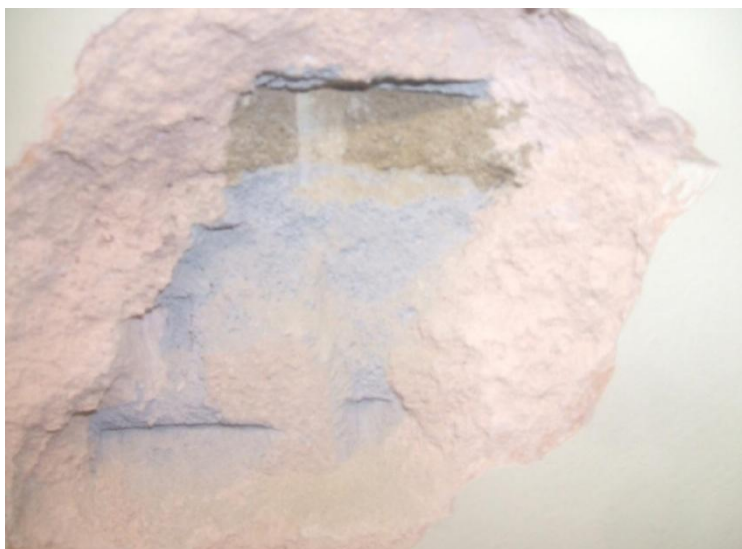
<b>Product Type</b>	-	N/A	<b>Surface Treatment</b>	-	N/A
<b>Asbestos Type</b>	-	No Asbestos Detected	<b>Damage Extent</b>	-	N/A
<b>Material Risk Score</b>	-	<b>0</b>	<b>Material Risk Band</b>	-	N/A

<b>Comments:</b>	-	
<b>Recommendations:</b>	-	

Client:	<b>Skanska</b>	Project No.	<b>SD724P/86213</b>
Site Address	<b>Old War Office, Horse Guards Avenue, London</b>	Page No.:	<b>Page 250 of 267</b>

### Location Survey Data Sheet

<b>Site Code/UPRN</b>	SD724P/86213	<b>Building</b>	Whitehall
<b>Address</b>	The Old War Office Horse Guards Avenue Whitehall London	<b>Floor</b>	Third Floor
	SW1A 2HB	<b>Room</b>	Electric Riser (c)
<b>Description</b>	Mortar line walls.	<b>Quantity</b>	N/A
		<b>Asbestos Suspected</b>	<b>No</b>



<b>Last Inspection Date</b>	-	03 Sep 2012	<b>Certificate N<sup>o</sup></b>	-	BK30669
<b>Next Inspection Date</b>	-	03 Sep 2013	<b>Sample N<sup>o</sup></b>	-	116
<b>Survey Type</b>	-	Refurbishment & Demolition Survey	<b>Photograph N<sup>o</sup></b>	-	4834
<b>Position</b>	-	Sample Taken	<b>Location ID</b>	-	Loc20057

<b>Product Type</b>	-	N/A	<b>Surface Treatment</b>	-	N/A
<b>Asbestos Type</b>	-	No Asbestos Detected	<b>Damage Extent</b>	-	N/A
<b>Material Risk Score</b>	-	<b>0</b>	<b>Material Risk Band</b>	-	N/A

<b>Comments:</b>	-	
<b>Recommendations:</b>	-	

Client:	Skanska	Project No.	SD724P/86213
Site Address	Old War Office, Horse Guards Avenue, London	Page No.:	Page 251 of 267

### Location Survey Data Sheet

<b>Site Code/UPRN</b>	SD724P/86213	<b>Building</b>	Whitehall
<b>Address</b>	The Old War Office Horse Guards Avenue Whitehall London	<b>Floor</b>	Third Floor
	SW1A 2HB	<b>Room</b>	Electric Riser (c)
<b>Description</b>	Asphalt/ concrete to ceiling blockwork.	<b>Quantity</b>	N/A
		<b>Asbestos Suspected</b>	<b>No</b>



<b>Last Inspection Date</b>	-	03 Sep 2012	<b>Certificate N°</b>	-	BK30669
<b>Next Inspection Date</b>	-	03 Sep 2013	<b>Sample N°</b>	-	114
<b>Survey Type</b>	-	Refurbishment & Demolition Survey	<b>Photograph N°</b>	-	4832
<b>Position</b>	-	Sample Taken	<b>Location ID</b>	-	Loc20055

<b>Product Type</b>	-	N/A	<b>Surface Treatment</b>	-	N/A
<b>Asbestos Type</b>	-	No Asbestos Detected	<b>Damage Extent</b>	-	N/A
<b>Material Risk Score</b>	-	<b>0</b>	<b>Material Risk Band</b>	-	N/A

<b>Comments:</b>	-	
<b>Recommendations:</b>	-	

Client:	<b>Skanska</b>	Project No.	<b>SD724P/86213</b>
Site Address	<b>Old War Office, Horse Guards Avenue, London</b>	Page No.:	<b>Page 252 of 267</b>

### Location Survey Data Sheet

<b>Site Code/UPRN</b>	SD724P/86213	<b>Building</b>	Whitehall
<b>Address</b>	The Old War Office Horse Guards Avenue Whitehall London	<b>Floor</b>	Third Floor
	SW1A 2HB	<b>Room</b>	Lift Shaft- WES 367
<b>Description</b>	Inner board to wall. Rear wall.	<b>Quantity</b>	N/A
		<b>Asbestos Suspected</b>	<b>No</b>



<b>Last Inspection Date</b>	-	03 Sep 2012	<b>Certificate N°</b>	-	BK30669
<b>Next Inspection Date</b>	-	03 Sep 2013	<b>Sample N°</b>	-	124
<b>Survey Type</b>	-	Refurbishment & Demolition Survey	<b>Photograph N°</b>	-	4842
<b>Position</b>	-	Sample Taken	<b>Location ID</b>	-	Loc20066

<b>Product Type</b>	-	N/A	<b>Surface Treatment</b>	-	N/A
<b>Asbestos Type</b>	-	No Asbestos Detected	<b>Damage Extent</b>	-	N/A
<b>Material Risk Score</b>	-	<b>0</b>	<b>Material Risk Band</b>	-	N/A

<b>Comments:</b>	-	
<b>Recommendations:</b>	-	

Client:	Skanska	Project No.	SD724P/86213
Site Address	Old War Office, Horse Guards Avenue, London	Page No.:	Page 253 of 267



### Location Survey Data Sheet

<b>Site Code/UPRN</b>	SD724P/86213	<b>Building</b>	Whitehall
<b>Address</b>	The Old War Office Horse Guards Avenue Whitehall London	<b>Floor</b>	Third Floor
	SW1A 2HB	<b>Room</b>	Lift Shaft- WES 367
<b>Description</b>	Outer board to walls. Rear way.	<b>Quantity</b>	N/A
		<b>Asbestos Suspected</b>	<b>No</b>



<b>Last Inspection Date</b>	-	03 Sep 2012	<b>Certificate N°</b>	-	BK30669
<b>Next Inspection Date</b>	-	03 Sep 2013	<b>Sample N°</b>	-	123
<b>Survey Type</b>	-	Refurbishment & Demolition Survey	<b>Photograph N°</b>	-	4841
<b>Position</b>	-	Sample Taken	<b>Location ID</b>	-	Loc20065

<b>Product Type</b>	-	N/A	<b>Surface Treatment</b>	-	N/A
<b>Asbestos Type</b>	-	No Asbestos Detected	<b>Damage Extent</b>	-	N/A
<b>Material Risk Score</b>	-	<b>0</b>	<b>Material Risk Band</b>	-	N/A

<b>Comments:</b>	-	
<b>Recommendations:</b>	-	

Client:	Skanska	Project No.	SD724P/86213
Site Address	Old War Office, Horse Guards Avenue, London	Page No.:	Page 254 of 267

### Location Survey Data Sheet

<b>Site Code/UPRN</b>	SD724P/86213	<b>Building</b>	Whitehall
<b>Address</b>	The Old War Office Horse Guards Avenue Whitehall London	<b>Floor</b>	Third Floor
	SW1A 2HB	<b>Room</b>	Room 313 (Porters)
<b>Description</b>	Mortar line to brickwork walls.	<b>Quantity</b>	N/A
		<b>Asbestos Suspected</b>	<b>No</b>



<b>Last Inspection Date</b>	-	03 Sep 2012	<b>Certificate N<sup>o</sup></b>	-	BK30669
<b>Next Inspection Date</b>	-	03 Sep 2013	<b>Sample N<sup>o</sup></b>	-	112
<b>Survey Type</b>	-	Refurbishment & Demolition Survey	<b>Photograph N<sup>o</sup></b>	-	4830
<b>Position</b>	-	Sample Taken	<b>Location ID</b>	-	Loc20049

<b>Product Type</b>	-	N/A	<b>Surface Treatment</b>	-	N/A
<b>Asbestos Type</b>	-	No Asbestos Detected	<b>Damage Extent</b>	-	N/A
<b>Material Risk Score</b>	-	<b>0</b>	<b>Material Risk Band</b>	-	N/A

<b>Comments:</b>	-	
<b>Recommendations:</b>	-	

Client:	<b>Skanska</b>	Project No.	<b>SD724P/86213</b>
Site Address	<b>Old War Office, Horse Guards Avenue, London</b>	Page No.:	<b>Page 255 of 267</b>

### Location Survey Data Sheet

<b>Site Code/UPRN</b>	SD724P/86213	<b>Building</b>	Whitehall
<b>Address</b>	The Old War Office Horse Guards Avenue Whitehall London	<b>Floor</b>	Third Floor
	SW1A 2HB	<b>Room</b>	Room 313 (Porters)
<b>Description</b>	Mortar line to blockwork.	<b>Quantity</b>	N/A
		<b>Asbestos Suspected</b>	<b>No</b>



<b>Last Inspection Date</b>	-	03 Sep 2012	<b>Certificate N°</b>	-	BK30669
<b>Next Inspection Date</b>	-	03 Sep 2013	<b>Sample N°</b>	-	104
<b>Survey Type</b>	-	Refurbishment & Demolition Survey	<b>Photograph N°</b>	-	4822
<b>Position</b>	-	Sample Taken	<b>Location ID</b>	-	Loc20045

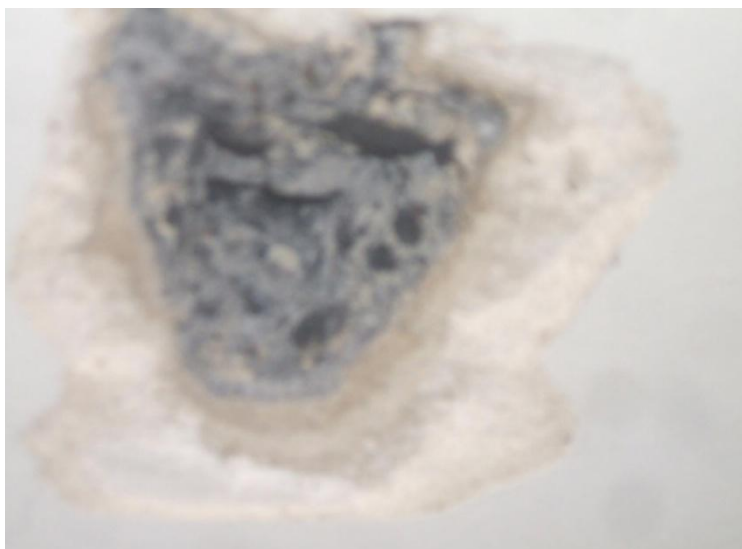
<b>Product Type</b>	-	N/A	<b>Surface Treatment</b>	-	N/A
<b>Asbestos Type</b>	-	No Asbestos Detected	<b>Damage Extent</b>	-	N/A
<b>Material Risk Score</b>	-	<b>0</b>	<b>Material Risk Band</b>	-	N/A

<b>Comments:</b>	-	
<b>Recommendations:</b>	-	

Client:	Skanska	Project No.	SD724P/86213
Site Address	Old War Office, Horse Guards Avenue, London	Page No.:	Page 256 of 267

### Location Survey Data Sheet

<b>Site Code/UPRN</b>	SD724P/86213	<b>Building</b>	Whitehall
<b>Address</b>	The Old War Office Horse Guards Avenue Whitehall London	<b>Floor</b>	Third Floor
	SW1A 2HB	<b>Room</b>	Room 313 (Porters)
<b>Description</b>	Asphalt overfil.	<b>Quantity</b>	N/A
		<b>Asbestos Suspected</b>	<b>No</b>



<b>Last Inspection Date</b>	-	03 Sep 2012	<b>Certificate N°</b>	-	BK30669
<b>Next Inspection Date</b>	-	03 Sep 2013	<b>Sample N°</b>	-	102
<b>Survey Type</b>	-	Refurbishment & Demolition Survey	<b>Photograph N°</b>	-	4820
<b>Position</b>	-	Sample Taken	<b>Location ID</b>	-	Loc20043

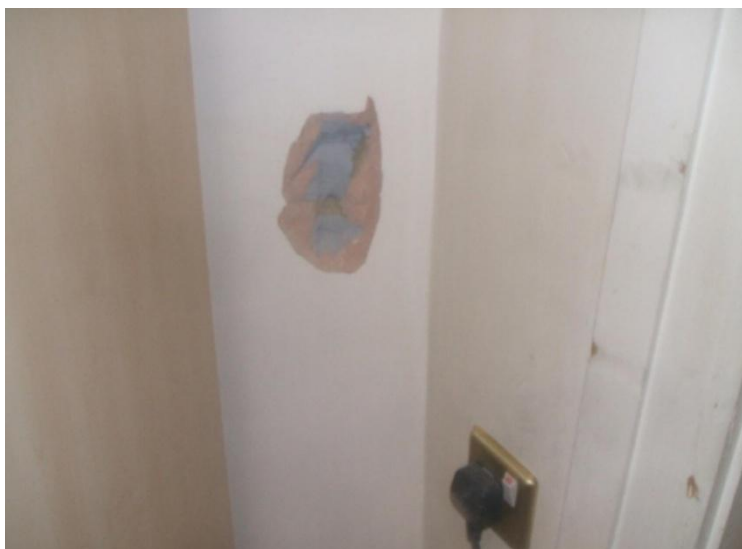
<b>Product Type</b>	-	N/A	<b>Surface Treatment</b>	-	N/A
<b>Asbestos Type</b>	-	No Asbestos Detected	<b>Damage Extent</b>	-	N/A
<b>Material Risk Score</b>	-	<b>0</b>	<b>Material Risk Band</b>	-	N/A

<b>Comments:</b>	-	
<b>Recommendations:</b>	-	

Client:	<b>Skanska</b>	Project No.	<b>SD724P/86213</b>
Site Address	<b>Old War Office, Horse Guards Avenue, London</b>	Page No.:	<b>Page 257 of 267</b>

### Location Survey Data Sheet

<b>Site Code/UPRN</b>	SD724P/86213	<b>Building</b>	Whitehall
<b>Address</b>	The Old War Office Horse Guards Avenue Whitehall London	<b>Floor</b>	Third Floor
	SW1A 2HB	<b>Room</b>	Room 313 (Porters)
<b>Description</b>	Plaster & render to walls adjacent to power socket.	<b>Quantity</b>	N/A
		<b>Asbestos Suspected</b>	<b>No</b>



<b>Last Inspection Date</b>	-	03 Sep 2012	<b>Certificate N°</b>	-	BK30669
<b>Next Inspection Date</b>	-	03 Sep 2013	<b>Sample N°</b>	-	103
<b>Survey Type</b>	-	Refurbishment & Demolition Survey	<b>Photograph N°</b>	-	4821
<b>Position</b>	-	Sample Taken	<b>Location ID</b>	-	Loc20044

<b>Product Type</b>	-	N/A	<b>Surface Treatment</b>	-	N/A
<b>Asbestos Type</b>	-	No Asbestos Detected	<b>Damage Extent</b>	-	N/A
<b>Material Risk Score</b>	-	<b>0</b>	<b>Material Risk Band</b>	-	N/A

<b>Comments:</b>	-	
<b>Recommendations:</b>	-	

Client:	<b>Skanska</b>	Project No.	<b>SD724P/86213</b>
Site Address	<b>Old War Office, Horse Guards Avenue, London</b>	Page No.:	<b>Page 258 of 267</b>

### Location Survey Data Sheet

<b>Site Code/UPRN</b>	SD724P/86213	<b>Building</b>	Whitehall
<b>Address</b>	The Old War Office Horse Guards Avenue Whitehall London	<b>Floor</b>	Third Floor
	SW1A 2HB	<b>Room</b>	Room 313 (Porters)
<b>Description</b>	Plaster & render walls adjacent to power socket.	<b>Quantity</b>	N/A
		<b>Asbestos Suspected</b>	<b>No</b>



<b>Last Inspection Date</b>	-	03 Sep 2012	<b>Certificate N°</b>	-	BK30669
<b>Next Inspection Date</b>	-	03 Sep 2013	<b>Sample N°</b>	-	105
<b>Survey Type</b>	-	Refurbishment & Demolition Survey	<b>Photograph N°</b>	-	4823
<b>Position</b>	-	Sample Taken	<b>Location ID</b>	-	Loc20046

<b>Product Type</b>	-	N/A	<b>Surface Treatment</b>	-	N/A
<b>Asbestos Type</b>	-	No Asbestos Detected	<b>Damage Extent</b>	-	N/A
<b>Material Risk Score</b>	-	<b>0</b>	<b>Material Risk Band</b>	-	N/A

<b>Comments:</b>	-	
<b>Recommendations:</b>	-	

Client:	<b>Skanska</b>	Project No.	<b>SD724P/86213</b>
Site Address	<b>Old War Office, Horse Guards Avenue, London</b>	Page No.:	<b>Page 259 of 267</b>

### Location Survey Data Sheet

<b>Site Code/UPRN</b>	SD724P/86213	<b>Building</b>	Whitehall
<b>Address</b>	The Old War Office Horse Guards Avenue Whitehall London	<b>Floor</b>	Third Floor
	SW1A 2HB	<b>Room</b>	Room 313 (Porters)
<b>Description</b>	Plaster & render to brickwork walls.	<b>Quantity</b>	N/A
		<b>Asbestos Suspected</b>	<b>No</b>



<b>Last Inspection Date</b>	-	03 Sep 2012	<b>Certificate N°</b>	-	BK30669
<b>Next Inspection Date</b>	-	03 Sep 2013	<b>Sample N°</b>	-	111
<b>Survey Type</b>	-	Refurbishment & Demolition Survey	<b>Photograph N°</b>	-	4829
<b>Position</b>	-	Sample Taken	<b>Location ID</b>	-	Loc20048

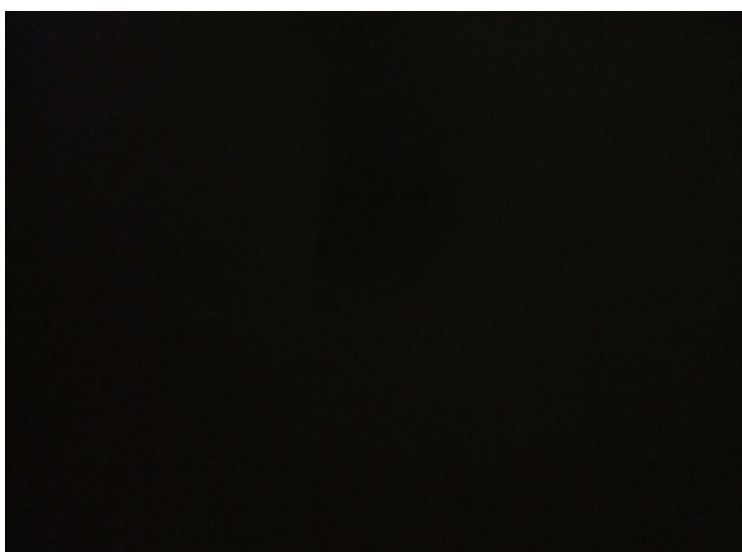
<b>Product Type</b>	-	N/A	<b>Surface Treatment</b>	-	N/A
<b>Asbestos Type</b>	-	No Asbestos Detected	<b>Damage Extent</b>	-	N/A
<b>Material Risk Score</b>	-	<b>0</b>	<b>Material Risk Band</b>	-	N/A

<b>Comments:</b>	-	
<b>Recommendations:</b>	-	

Client:	<b>Skanska</b>	Project No.	<b>SD724P/86213</b>
Site Address	<b>Old War Office, Horse Guards Avenue, London</b>	Page No.:	<b>Page 260 of 267</b>

### Location Survey Data Sheet

<b>Site Code/UPRN</b>	SD724P/86213	<b>Building</b>	Whitehall
<b>Address</b>	The Old War Office Horse Guards Avenue Whitehall London	<b>Floor</b>	Third Floor
	SW1A 2HB	<b>Room</b>	Room 313 (Porters)
		<b>Quantity</b>	N/A
<b>Description</b>	Mortar line to walls.	<b>Asbestos Suspected</b>	<b>No</b>



<b>Last Inspection Date</b>	-	03 Sep 2012	<b>Certificate N<sup>o</sup></b>	-	BK30669
<b>Next Inspection Date</b>	-	03 Sep 2013	<b>Sample N<sup>o</sup></b>	-	106
<b>Survey Type</b>	-	Refurbishment & Demolition Survey	<b>Photograph N<sup>o</sup></b>	-	4824
<b>Position</b>	-	Sample Taken	<b>Location ID</b>	-	Loc20047

<b>Product Type</b>	-	N/A	<b>Surface Treatment</b>	-	N/A
<b>Asbestos Type</b>	-	No Asbestos Detected	<b>Damage Extent</b>	-	N/A
<b>Material Risk Score</b>	-	<b>0</b>	<b>Material Risk Band</b>	-	N/A

<b>Comments:</b>	-	
<b>Recommendations:</b>	-	

Client:	Skanska	Project No.	SD724P/86213
Site Address	Old War Office, Horse Guards Avenue, London	Page No.:	Page 261 of 267



### Location Survey Data Sheet

<b>Site Code/UPRN</b>	SD724P/86213	<b>Building</b>	Whitehall
<b>Address</b>	The Old War Office Horse Guards Avenue Whitehall London	<b>Floor</b>	Third Floor
	SW1A 2HB	<b>Room</b>	Room 313 (Porters)
<b>Description</b>	Plaster & render to ceiling.	<b>Quantity</b>	N/A
		<b>Asbestos Suspected</b>	<b>No</b>



<b>Last Inspection Date</b>	-	03 Sep 2012	<b>Certificate N<sup>o</sup></b>	-	BK30669
<b>Next Inspection Date</b>	-	03 Sep 2013	<b>Sample N<sup>o</sup></b>	-	101
<b>Survey Type</b>	-	Refurbishment & Demolition Survey	<b>Photograph N<sup>o</sup></b>	-	4819
<b>Position</b>	-	Sample Taken	<b>Location ID</b>	-	Loc20042

<b>Product Type</b>	-	N/A	<b>Surface Treatment</b>	-	N/A
<b>Asbestos Type</b>	-	No Asbestos Detected	<b>Damage Extent</b>	-	N/A
<b>Material Risk Score</b>	-	<b>0</b>	<b>Material Risk Band</b>	-	N/A

<b>Comments:</b>	-	
<b>Recommendations:</b>	-	

Client:	<b>Skanska</b>	Project No.	<b>SD724P/86213</b>
Site Address	<b>Old War Office, Horse Guards Avenue, London</b>	Page No.:	<b>Page 262 of 267</b>

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Client:	<b>Skanska</b>	Project No.	<b>SD724P/86213</b>
Site Address	<b>Old War Office, Horse Guards Avenue, London</b>	Page No.:	<b>Page 264 of 267</b>



# LAB UK Limited

34 Britannia Court Burnt Mills Industrial Estate Basildon Essex SS13 1EU

Tel 08447 703 349 – Fax 01268 726 143

Email technical@labukltd.co.uk



## CLIENT DETAILS

FAO: Aspect Surveying Admin  
Aspect Contracts Ltd (Surveying)  
6 Bowlers Croft  
Honeywood Road  
Basildon  
Essex SS14 3EX

## BULK ANALYSIS REPORT

**Report No: - BK 30485**

Date Sample Booked in: 04-Sep-12. Confirmation Date: 04-Sep-12

Job No: - 76503. Survey No (if applicable): -

Order No: -

Client Reference: -

Sample Source: - Brought in by Client

### Report For : - The Old War Office Whitehall Place Whitehall London SW1A 2HB

#### Samples analysed between 04 September 2012 and 07 September 2012

Sample No	Sample Location/Description	Material Type (See # Note)	Asbestos Fibre Type
30485-1	01 - Room B25 - Living Paper to P/B Ceiling	Paper/Mulsh	No Asbestos Detected
30485-2	02 - Room B25 - Encapsulant to Wall Adj to Door	Plaster/Brick	No Asbestos Detected
30485-3	03 - Room B25 - Encapsulant to Wall Adj to Socket	Plaster/Brick	No Asbestos Detected
30485-4	04 - Room B25 - Wall Mortar Adj to Door	Plaster/Brick	No Asbestos Detected
30485-5	05 - Room B25 - Wall Mortar Adj to Socket	Plaster/Brick	No Asbestos Detected
30485-6	06 - Room B21 - Wall Encapsulant	Plaster/Brick	No Asbestos Detected
30485-7	07 - Room B21 - Wall Render/Cement	Plaster/Brick	No Asbestos Detected
30485-8	08 - Room B21 - Wall Encapsulant	Plaster/Brick	No Asbestos Detected
30485-9	09 - Room B21 - Wall Render/Cement	Plaster/Brick	No Asbestos Detected
30485-10	10 - Room B21 - Ceiling - Painted P/B	Plasterboard	No Asbestos Detected
30485-11	11 - Room B21 - Ceiling - Painted P/B	Plasterboard	No Asbestos Detected
30485-12	12 - Room B25 - Ceiling - P/B	Plasterboard	No Asbestos Detected
30485-13	13 - Room B33 - Encapsulant to Wall	Plaster/Brick	No Asbestos Detected
30485-14	14 - Room B33 - Mortar to Wall	Plaster/Brick	No Asbestos Detected
30485-15	15 - Room B33 - Encapsulant to Wall	Plaster/Brick	No Asbestos Detected
30485-16	16 - Room B33 - Mortar to Wall	Plaster/Brick	No Asbestos Detected
30485-17	17 - Room B33 - Paper Lining to P/B Ceiling	Plasterboard	No Asbestos Detected
30485-18	18 - B33 - P/B - Ceiling	Plasterboard	No Asbestos Detected
30485-19	19 - Stairwell 5 - Encapsulant to Beam	Plasterboard	No Asbestos Detected
30485-20	20 - Stairwell 5 - Plaster Render to Beam	Plasterboard	No Asbestos Detected
30485-21	21 - Room B62A - Encapsulant to Wall	Plasterboard	No Asbestos Detected
30485-22	22 - Room B62 - Wall Martar	Plasterboard	No Asbestos Detected
30485-23	23 - Room B62A - Encapsulant to Wall	Plasterboard	No Asbestos Detected
30485-24	24 - Room B62A - Wall Mortar	Plasterboard	No Asbestos Detected
30485-25	25 - Room B62A - Living to P/B Ceiling	Plaster/Brick	No Asbestos Detected
30485-26	26 - Room B62A - P/B Ceiling	Plaster/Brick	No Asbestos Detected
30485-27	27 - Room B62A - Ceiling Void - Lining to Solid Ceiling	Plaster/Brick	No Asbestos Detected
30485-28	28 - Corridor WES 375 - Encapsulant to Beam	Plaster/Brick	No Asbestos Detected
30485-29	29 - Corrdor WES 375 - Render to Beam	Plaster/Brick	No Asbestos Detected
30485-30	30 - Room 22 - Chimney Stack - Plaster Finish	Plaster/Brick	No Asbestos Detected
30485-31	31 - Room 22 - Chimney Stack - Render	Plaster/Brick	No Asbestos Detected
30485-32	32 - Room 22 - Chimney Stack - Mortar Line	Plaster/Brick	No Asbestos Detected
30485-33	33 - Room 22 - Wall - Plaster Finish	Plaster/Brick	No Asbestos Detected
30485-34	34 - Room 22 - Wall - Render	Plaster/Brick	No Asbestos Detected
30485-35	35 - Room 22 - Wall - Plaster Finish	Plaster/Brick	No Asbestos Detected
30485-36	36 - Room 22 - Ceiling - Plaster Finish	Plaster/Brick	No Asbestos Detected
30485-37	37 - Room 22 - Ceiling - Plaster	Plaster/Brick	No Asbestos Detected
30485-38	38 - Room 22 - Ceiling - Mortar/Concrete (Over Ceiling)	Plaster/Brick	No Asbestos Detected
30485-39	39 - Room 22 - Central Wall - Plaster & Render	Plaster/Brick	No Asbestos Detected
30485-40	40 - Room 22 - Central Wall - Mortar Line	Plaster/Brick	No Asbestos Detected
30485-41	41 - Room 26 - Ceiling - Plaster & Plaster Finish	Plaster/Brick	No Asbestos Detected
30485-42	42 - Room 26 - Ceiling - Mortar/Concrete (Over Ceiling)	Plaster/Brick	No Asbestos Detected
30485-43	43 - Room 26 - Wall (L/S) - Plaster & Render	Plaster/Brick	No Asbestos Detected
30485-44	44 - Room 26 - Wall (L/S) - Mortar Line	Plaster/Brick	No Asbestos Detected
30485-45	45 - Room 26 - Wall - Plaster	Plaster/Brick	No Asbestos Detected
30485-46	46 - Room 26 - Wall - Mortar Line	Plaster/Brick	No Asbestos Detected
30485-47	47 - Room 0031A - Ceiling - Plaster Finish	Plaster/Brick	No Asbestos Detected



# LAB UK Limited

34 Britannia Court Burnt Mills Industrial Estate Basildon Essex SS13 1EU  
Tel 08447 703 349 – Fax 01268 726 143  
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## Report For : - The Old War Office Whitehall Place Whitehall London SW1A 2HB Samples analysed between 04 September 2012 and 07 September 2012

Sample No	Sample Location/Description	Material Type (See # Note)	Asbestos Fibre Type
30485-48	48 - Room 0031A - Concrete (Above Ceiling)	Plaster/Brick	No Asbestos Detected
30485-49	49 - Room 0031A - Wall - Plaster & Render	Plaster/Brick	No Asbestos Detected
30485-50	50 - Room 0031A - Wall - Mortar Line	Paper/Mulsh	No Asbestos Detected
30485-51	51 - Room 0031A - Wall - Plaster & Render	Paper/Mulsh	No Asbestos Detected
30485-52	52 - Room 0031A - Wall - Mortar Line	Plaster/Brick	No Asbestos Detected
30485-53	53 - Stair 3 - Plaster Finish to Beam	Plaster/Brick	No Asbestos Detected
30485-54	54 - Stair 3 - Concrete Beam (Behind Plasterboard Cladding)	Plaster/Brick	No Asbestos Detected
30485-55	55 - Room 0036 - Ceiling - Plaster	Plaster/Brick	No Asbestos Detected
30485-56	56 - Room 0036 - Ceiling - Concrete (Over Ceiling)	Plaster/Brick	No Asbestos Detected
30485-57	57 - Room 0036 - Wall - Plaster & Render	Plaster/Brick	No Asbestos Detected
30485-58	58 - Room 0036 - Wall - Mortar Line	Plaster/Brick	No Asbestos Detected
30485-59	59 - Room 0036 - Wall - Plaster & Render	Plaster/Brick	No Asbestos Detected
30485-60	60 - Room 0036 - Wall - Mortar Line	Plaster/Brick	No Asbestos Detected
30485-61	61 - Corridor (WES 335) - Plasterboard to High Level Beam	Plasterboard	No Asbestos Detected
30485-62	62 - Corridor (WES 335) - Plasterboard to High Level Beam	Plasterboard	No Asbestos Detected
30485-63	63 - Room 45A - Chimney - Fire Brick Mortar (FP/1)	Plaster/Brick	No Asbestos Detected
30485-64	64 - Room 45A - Chimney - Fire Brick Mortar (FP/1)	Plaster/Brick	No Asbestos Detected
30485-65	65 - Room 45A - Chimney - Fire Brick (FP/2)	Plaster/Brick	No Asbestos Detected
30485-66	66 - Room 45A - Chimney - Fire Brick Mortar (FP/2)	Plaster/Brick	No Asbestos Detected

Information: Asbestos types come with both common and technical names, listed below are the 3 most common types of asbestos with both their technical and common names. This report uses technical names.  
Chrysotile = White Asbestos. Amosite = Brown Asbestos. Crocidolite = Blue Asbestos.

Sample(s) of material referenced above, have been examined with a stereo microscope, polarised light and dispersion staining technique as described in the Company's MAAM 04 Document that incorporates methods set out in the HSG 248.  
Opinions/Interpretations are not covered by UKAS Accreditation.

This Company cannot guarantee the quality or the accuracy of the sample details where supplied by a third party. The referenced sample(s) have been tested/examined and certified in accordance with the terms of the contract/order applicable and unless otherwise stated, conform fully to the standards/specifications quoted. This does not however guarantee the balance of production from which the test sample(s) have been taken from, to be of an equal quality.

# Note: The Material type associated to each sample is purely a subjective opinion of the analyst based on asbestos content and visual appearance of the sample at the time of analysis. This company cannot be held responsible for inaccuracies based on this subjective opinion which falls out side the scope of our UKAS accreditation.

Site Comments: -

Analysts Signature and Reported by:  
[Redacted] (Technical Director)

Analysts Signature and Reported by:  
[Redacted] (Bulk ID Manager)

Analysts Signature and Reported by:  
[Redacted] (Assistant Bulk ID Manager)



# LAB UK Limited

34 Britannia Court Burnt Mills Industrial Estate Basildon Essex SS13 1EU  
Tel 08447 703 349 – Fax 01268 726 143  
Email technical@labukltd.co.uk



## CLIENT DETAILS

FAO: Aspect Surveying Admin  
Aspect Contracts Ltd (Surveying)  
6 Bowlers Croft  
Honeywood Road  
Basildon  
Essex SS14 3EX

## BULK ANALYSIS REPORT

**Report No: - BK 30669**  
Date Sample Booked in: 12-Sep-12. Confirmation Date: 12-Sep-12  
Job No: - 76768. Survey No (if applicable): -  
Order No: -SD724P 86213  
Client Reference: -  
Sample Source: - Brought in by Client

### Report For : - The Old War Office Whitehall Place Whitehall London SW1A 2HB

#### Samples analysed between 12 September 2012 and 13 September 2012

Sample No	Sample Location/Description	Material Type (See # Note)	Asbestos Fibre Type
30669-1	67 - 4th Floor - Stairwell 1 - 4th Floor - Ceiling Plaster/Finish	Plaster/Brick	No Asbestos Detected
30669-2	68 - 4th Floor - Stairwell 1 - 4th Floor - Ceiling Render	Plaster/Brick	No Asbestos Detected
30669-3	69 - 4th Floor - Lifts (WES 371) - Plaster to Beam	Plaster/Brick	No Asbestos Detected
30669-4	70 - 4th Floor - Lifts (WES 371) - Render	Plaster/Brick	No Asbestos Detected
30669-5	71 - 4th Floor - Room 417 - Plaster & Render	Plaster/Brick	No Asbestos Detected
30669-6	72 - 4th Floor - Room 417 - Asphalt	Plaster/Brick	No Asbestos Detected
30669-7	73 - 4th Floor - Room 417 - Plaster & Render	Plaster/Brick	No Asbestos Detected
30669-8	74 - 4th Floor - Room 417 - Mortar Line	Plaster/Brick	No Asbestos Detected
30669-9	75 - 4th Floor - Room 417 - Plaster & Render	Plaster/Brick	No Asbestos Detected
30669-10	76 - 4th Floor - Room 417 - Mortar Line	Plaster/Brick	No Asbestos Detected
30669-11	77 - 4th Floor - Room 417 - Plaster	Plaster/Brick	No Asbestos Detected
30669-12	78 - 4th Floor - Room 417 - Board	Plasterboard	No Asbestos Detected
30669-13	79 - 4th Floor - Room 423 - Plaster & Render	Plaster/Brick	No Asbestos Detected
30669-14	80 - 4th Floor - Room 423 - Asphalt	Plaster/Brick	No Asbestos Detected
30669-15	81 - 4th Floor - Room 423 - Plaster & Render	Plaster/Brick	No Asbestos Detected
30669-16	82 - 4th Floor - Room 423 - Mortar Line	Plaster/Brick	No Asbestos Detected
30669-17	83 - 4th Floor - Room 423 - Plaster & Render	Plaster/Brick	No Asbestos Detected
30669-18	84 - 4th Floor - Room 423 - Mortar Line	Plaster/Brick	No Asbestos Detected
30669-19	85 - 4th Floor - Room 428 - Plaster & Render	Plaster/Brick	No Asbestos Detected
30669-20	86 - 4th Floor - Room 428 - Mortar Line	Plaster/Brick	No Asbestos Detected
30669-21	87 - 4th Floor - Room 428 - Plaster & Render	Plaster/Brick	No Asbestos Detected
30669-22	88 - 4th Floor - Room 428 - Wall - Mortar Line	Plaster/Brick	No Asbestos Detected
30669-23	89 - 4th Floor - Room 428 - Ceiling Plaster & Render	Plaster/Brick	No Asbestos Detected
30669-24	90 - 4th Floor - Room 428 - Ceiling/Asphalt	Plaster/Brick	No Asbestos Detected
30669-25	91 - 4th Floor - Room 466 - Wall Plaster & Render	Plaster/Brick	No Asbestos Detected
30669-26	92 - 4th Floor - Room 466 - Wall Mortar	Plaster/Brick	No Asbestos Detected
30669-27	93 - 4th Floor - Room 466 - Wall Plaster & Render	Plaster/Brick	No Asbestos Detected
30669-28	94 - 4th Floor - Room 466 - Wall Mortar Line	Plaster/Brick	No Asbestos Detected
30669-29	95 - 4th Floor - Room 466 - Wall Plaster & Render	Plaster/Brick	No Asbestos Detected
30669-30	96 - 4th Floor - Room 466 - Wall Mortar	Plaster/Brick	No Asbestos Detected
30669-31	97 - 4th Floor - Room 466 - Wall Plaster & Render	Plaster/Brick	No Asbestos Detected
30669-32	98 - 4th Floor - Room 466 - Wall Mortar	Plaster/Brick	No Asbestos Detected
30669-33	99 - 4th Floor - Ceiling - Concrete Slab	Plaster/Brick	No Asbestos Detected
30669-34	100 - 4th Floor - Ceiling - Mortar Line	Plaster/Brick	No Asbestos Detected
30669-35	101 - 3rd Floor - Room 313 (Porters) - Ceiling Plaster & Render	Plaster/Brick	No Asbestos Detected
30669-36	102 - 3rd Floor - Room 313 (Porters) - Ceiling Overfill - Asphalt	Plaster/Brick	No Asbestos Detected
30669-37	103 - 3rd Floor - Room 313 (Porters) - Wall Plaster & Render	Plaster/Brick	No Asbestos Detected
30669-38	104 - 3rd Floor - Room 313 (Porters) - Wall - Mortar Line	Plaster/Brick	No Asbestos Detected
30669-39	105 - 3rd Floor - Room 313 (Porters) - Wall Plaster & Render	Plaster/Brick	No Asbestos Detected
30669-40	106 - 3rd Floor - Room 313 (Porters) - Wall - Mortar Line	Plaster/Brick	No Asbestos Detected
30669-41	107 - 3rd Floor - Cleaners Cupboard (OPP 326) - Ceiling Plaster & Render	Plaster/Brick	No Asbestos Detected
30669-42	108 - 3rd Floor - Cleaners Cupboard (OPP 326) - Ceiling Overfill - Asphalt	Plaster/Brick	No Asbestos Detected
30669-43	109 - 3rd Floor - Cleaners Cupboard (OPP 326) - Wall Plaster & Render	Plaster/Brick	No Asbestos Detected



# LAB UK Limited

34 Britannia Court Burnt Mills Industrial Estate Basildon Essex SS13 1EU  
 Tel 08447 703 349 – Fax 01268 726 143  
 Email technical@labukltd.co.uk



**Report For : - The Old War Office Whitehall Place Whitehall London SW1A 2HB**  
**Samples analysed between 12 September 2012 and 13 September 2012**

Sample No	Sample Location/Description	Material Type (See # Note)	Asbestos Fibre Type
30669-44	110 - 3rd Floor - Cleaners Cupboard (OPP 326) - Wall - Mortar Line	Plaster/Brick	No Asbestos Detected
30669-45	111 - 3rd Floor - Room 313 (Porters) - Wall Plaster & Render	Plaster/Brick	No Asbestos Detected
30669-46	112 - 3rd Floor - Room 313 (Porters) - Wall - Mortar Line	Plaster/Brick	No Asbestos Detected
30669-47	113 - 3rd Floor - Electric Riser C - Ceiling Plaster & Render	Plaster/Brick	No Asbestos Detected
30669-48	114 - 3rd Floor - Electric Riser C - Ceiling Overfill - Asphalt	Plaster/Brick	No Asbestos Detected
30669-49	115 - 3rd Floor - Electric Riser C - Wall - Plaster & Render	Plaster/Brick	No Asbestos Detected
30669-50	116 - 3rd Floor - Electric Riser C - Wall - Mortar Line	Plaster/Brick	No Asbestos Detected
30669-51	117 - 3rd Floor - Cleaners Cupboard (OPP 336) - Ceiling Plaster & Render	Plaster/Brick	No Asbestos Detected
30669-52	118 - 3rd Floor - Cleaners Cupboard (OPP 336) - Ceiling Overfill - Asphalt	Plaster/Brick	No Asbestos Detected
30669-53	119 - 3rd Floor - Cleaners Cupboard (OPP 336) - Wall Plaster & Render	Plaster/Brick	No Asbestos Detected
30669-54	120 - 3rd Floor - Cleaners Cupboard (OPP 336) - Wall - Mortar Line	Plaster/Brick	No Asbestos Detected
30669-55	121 - 3rd Floor - WES 368 - Beam - Paper Lining to Board	Plaster/Brick	No Asbestos Detected
30669-56	122 - 3rd Floor - WES 368 - Beam - Board (Cladding to Beam)	Plaster/Brick	No Asbestos Detected
30669-57	123 - 3rd Floor - WES 367 - Lift Shaft - Outer Board	Plaster/Brick	No Asbestos Detected
30669-58	124 - 3rd Floor - WES 367 - Lift Shaft - Inner Board	Plaster/Brick	No Asbestos Detected
30669-59	125 - 2nd Floor - Room 230 - Ceiling - Plaster/Render	Plaster/Brick	No Asbestos Detected
30669-60	126 - 2nd Floor - Room 230 - Ceiling - Asphalt Overfill	Plaster/Brick	No Asbestos Detected
30669-61	127 - 2nd Floor - Room 230 - Wall - Plaster & Render	Plaster/Brick	No Asbestos Detected
30669-62	128 - 2nd Floor - Room 230 - Wall - Mortar Line	Plaster/Brick	No Asbestos Detected
30669-63	129 - 2nd Floor - Room 230 - Wall - Plaster & Render	Plaster/Brick	No Asbestos Detected
30669-64	130 - 2nd Floor - Room 230 - Wall - Mortar Line	Plaster/Brick	No Asbestos Detected
30669-65	131 - 2nd Floor - Room 230 - Wall - Plaster & Render	Plaster/Brick	No Asbestos Detected
30669-66	132 - 2nd Floor - Room 230 - Wall - Mortar Line	Plaster/Brick	No Asbestos Detected
30669-67	133 - 2nd Floor - Room 284 - Vertical Column - Plaster & Render	Plaster/Brick	No Asbestos Detected
30669-68	134 - 2nd Floor - Room 284 - Vertical Column - Structural Concrete	Plaster/Brick	No Asbestos Detected
30669-69	135 - 2nd Floor - Room 284 - Ceiling Plaster	Plaster/Brick	No Asbestos Detected
30669-70	136 - 2nd Floor - Room 284 - Ceiling - Asphalt - Overfill	Plaster/Brick	No Asbestos Detected
30669-71	137 - 2nd Floor - Room 284 - Wall - Plaster & Render	Plaster/Brick	No Asbestos Detected
30669-72	138 - 2nd Floor - Room 284 - Wall - Mortar Line	Plaster/Brick	No Asbestos Detected
30669-73	139 - 2nd Floor - Room 284 - Wall - Plaster & Render	Plaster/Brick	No Asbestos Detected
30669-74	140 - 2nd Floor - Room 284 - Wall - Mortar Line	Plaster/Brick	No Asbestos Detected
30669-75	141 - 2nd Floor - Room 284 - Wall - Mortar Line	Plaster/Brick	No Asbestos Detected
30669-76	142 - 2nd Floor - Room 284 - Wall - Plaster & Render	Plaster/Brick	No Asbestos Detected
30669-77	143 - 2nd Floor - Stair 3 Corridor - Support Pillar - Plaster/Render	Plaster/Brick	No Asbestos Detected
30669-78	144 - 2nd Floor - Stair 3 Corridor - Support Pillar - Concrete	Plaster/Brick	No Asbestos Detected
30669-79	145 - 2nd Floor - Room 244 - Ceiling - Plaster & Finish	Plaster/Brick	No Asbestos Detected
30669-80	146 - 2nd Floor - Room 244 - Ceiling - Overfill/Asphalt	Plaster/Brick	No Asbestos Detected
30669-81	147 - 2nd Floor - Room 244 - Wall - Plaster/Render	Plaster/Brick	No Asbestos Detected
30669-82	148 - 2nd Floor - Room 244 - Wall - Mortar Line	Plaster/Brick	No Asbestos Detected
30669-83	149 - 2nd Floor - Room 244 - Wall - Plaster/Render	Plaster/Brick	No Asbestos Detected
30669-84	150 - 2nd Floor - Room 244 - Wall - Mortar Line	Plaster/Brick	No Asbestos Detected
30669-85	151 - 2nd Floor - Room 244 - Wall - Plaster/Finish	Plaster/Brick	No Asbestos Detected
30669-86	152 - 2nd Floor - Room 244 - Wall - Mortar Line	Plaster/Brick	No Asbestos Detected
30669-87	153 - 2nd Floor - Room 220 - Ceiling - Plaster/Finish	Plaster/Brick	No Asbestos Detected
30669-88	154 - 2nd Floor - Room 220 - Ceiling - Overfill/Asphalt	Plaster/Brick	No Asbestos Detected
30669-89	155 - 2nd Floor - Room 220 - Chimney Breast - Plaster/Render	Plaster/Brick	No Asbestos Detected
30669-90	156 - 2nd Floor - Room 220 - Chimney Breast - Mortar Line	Plaster/Brick	No Asbestos Detected



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**Report For : - The Old War Office Whitehall Place Whitehall London SW1A 2HB**  
**Samples analysed between 12 September 2012 and 13 September 2012**

Sample No	Sample Location/Description	Material Type (See # Note)	Asbestos Fibre Type
30669-91	157 - 2nd Floor - Room 220 - L/S Wall - Plaster/Render	Plaster/Brick	No Asbestos Detected
30669-92	158 - 2nd Floor - Room 220 - R/S Wall - Mortar Line	Plaster/Brick	No Asbestos Detected
30669-93	159 - 2nd Floor - Room 220 - R/S Wall - Plaster/Render	Plaster/Brick	No Asbestos Detected
30669-94	160 - 2nd Floor - Room 220 - R/S Wall - Mortar Line	Plaster/Brick	No Asbestos Detected

Information: Asbestos types come with both common and technical names, listed below are the 3 most common types of asbestos with both their technical and common names. This report uses technical names.

Chrysotile = White Asbestos. Amosite = Brown Asbestos. Crocidolite = Blue Asbestos.

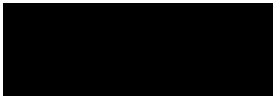
Sample(s) of material referenced above, have been examined with a stereo microscope, polarised light and dispersion staining technique as described in the Company's MAAM 04 Document that incorporates methods set out in the HSG 248.

Opinions/Interpretations are not covered by UKAS Accreditation.

This Company cannot guarantee the quality or the accuracy of the sample details where supplied by a third party. The referenced sample(s) have been tested/examined and certified in accordance with the terms of the contract/order applicable and unless otherwise stated, conform fully to the standards/specifications quoted. This does not however guarantee the balance of production from which the test sample(s) have been taken from, to be of an equal quality.

# Note: The Material type associated to each sample is purely a subjective opinion of the analyst based on asbestos content and visual appearance of the sample at the time of analysis. This company cannot be held responsible for inaccuracies based on this subjective opinion which falls out side the scope of our UKAS accreditation.

Site Comments: -



Analysts Signature and Reported by:  
[Redacted] (Assistant Bulk ID Manager)



# LAB UK Limited

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## CLIENT DETAILS

FAO: Aspect Surveying Admin  
Aspect Contracts Ltd (Surveying)  
6 Bowlers Croft  
Honeywood Road  
Basildon  
Essex SS14 3EX

## BULK ANALYSIS REPORT

**Report No: - BK 30786**  
Date Sample Booked in: 17-Sep-12. Confirmation Date:  
Job No: - 76914. Survey No (if applicable): -  
Order No: -SD724P86213  
Client Reference: -  
Sample Source: - Brought in by Client

### Report For : - The Old War Office Whitehall Place Whitehall London SW1A 2HB

#### Samples analysed between 17 September 2012 and 18 September 2012

Sample No	Sample Location/Description	Material Type (See # Note)	Asbestos Fibre Type
30786-1	161 - 1st Floor - Room 128 - Ceiling - Plaster	Plaster/Brick	No Asbestos Detected
30786-2	162 - 1st Floor - Room 128 - Asphalt/Concrete	Plaster/Brick	No Asbestos Detected
30786-3	163 - 1st Floor - Room 128 - Wall - Plaster - Finish	Plaster/Brick	No Asbestos Detected
30786-4	164 - 1st Floor - Room 128 - Wall - Mortar Line	Plaster/Brick	No Asbestos Detected
30786-5	165 - 1st Floor - Room 128 - Wall - Plaster - Finish	Plaster/Brick	No Asbestos Detected
30786-6	166 - 1st Floor - Room 128 - Wall - Mortar Line	Plaster/Brick	No Asbestos Detected
30786-7	167 - 1st Floor - Room 128 - Wall - Plaster - Finish	Plaster/Brick	No Asbestos Detected
30786-8	168 - 1st Floor - Room 128 - Wall - Mortar Line	Plaster/Brick	No Asbestos Detected
30786-9	169 - 1st Floor - Room 128 - Wall - Plaster - Finish	Plaster/Brick	No Asbestos Detected
30786-10	170 - 1st Floor - Room 128 - Wall - Mortar Line	Plaster/Brick	No Asbestos Detected
30786-11	171 - 1st Floor - Room 128 - Wall - Plaster - Finish	Plaster/Brick	No Asbestos Detected
30786-12	172 - 1st Floor - Room 128 - Wall - Mortar Line	Plaster/Brick	No Asbestos Detected
30786-13	173 - Room 127 - Ceiling - Plaster - Finish	Plaster/Brick	No Asbestos Detected
30786-14	174 - Room 127 - Ceiling - Asphalt - Concrete	Plaster/Brick	No Asbestos Detected
30786-15	175 - Room 127 - Wall L/S - Plaster/Render	Plaster/Brick	No Asbestos Detected
30786-16	176 - Room 127 - Wall L/S - Mortar Line	Cement Based	No Asbestos Detected
30786-17	177 - Room 127 Wall S - Plaster/Render	Plaster/Brick	No Asbestos Detected
30786-18	178 - Room 127 - Wall S - Mortar Line	Plaster/Brick	No Asbestos Detected
30786-19	179 - Room 127 - Wall - Plaster/Render	Plaster/Brick	No Asbestos Detected
30786-20	180 - Room 127 - Wall - Mortar Line	Plaster/Brick	No Asbestos Detected
30786-21	181 - 1st Floor - Room 125A - Ceiling Plaster	Plaster/Brick	No Asbestos Detected
30786-22	182 - 1st Floor - Room 125A - Ceiling - Asphalt - Concrete	Cement Based	No Asbestos Detected
30786-23	183 - 1st Floor - Room 125A - Wall Socket - Plaster/Render	Cement Based	No Asbestos Detected
30786-24	184 - 1st Floor - Room 125A - Wall Socket - Mortar Line	Cement Based	No Asbestos Detected
30786-25	185 - 1st Floor - Room 125A - Wall Socket - Plaster/Render	Plaster/Brick	No Asbestos Detected
30786-26	186 - 1st Floor - Room 125A - Wall Socket - Mortar Line	Plaster/Brick	No Asbestos Detected
30786-27	187 - 1st Floor - Room 125A - Wall - Plaster/Render	Plaster/Brick	No Asbestos Detected
30786-28	188 - 1st Floor - Room 125A - Mortar Line	Plaster/Brick	No Asbestos Detected
30786-29	189 - 1st floor - Room 144A - Ceiling Plaster	Plaster/Brick	No Asbestos Detected
30786-30	190 - 1st Floor - Room 144A - Ceiling Asphalt - Concrete	Plaster/Brick	No Asbestos Detected
30786-31	191 - 1st Floor - Room 144A - Wall - Plaster/Render	Plaster/Brick	No Asbestos Detected
30786-32	192 - 1st Floor - Room 144A - Wall - Mortar Line	Plaster/Brick	No Asbestos Detected
30786-33	193 - 1st Floor - Room 144A - Wall Socket - Plaster/Render	Plaster/Brick	No Asbestos Detected
30786-34	194 - 1st Floor - Room 144A - Wall Socket - Mortar Line	Plaster/Brick	No Asbestos Detected
30786-35	195 - 1st Floor - Room 144A - Wall Socket - Plaster/Render	Plaster/Brick	No Asbestos Detected
30786-36	196 - 1st Floor - Room 144A - Wall Socket - Mortar Line	Plaster/Brick	No Asbestos Detected
30786-37	197 - 1st Floor - Stair 2 - Plaster Finish to Beam	Plaster/Brick	No Asbestos Detected
30786-38	198 - 1st Floor - Stair 2 - Concrete Beam	Plaster/Brick	No Asbestos Detected
30786-39	199 - 1st Floor - Stair 1 - Plaster Finish to Beam	Plaster/Brick	No Asbestos Detected
30786-40	200 - 1st Floor - Stair 1 - Concrete Beam	Plaster/Brick	No Asbestos Detected
30786-41	201 - Ground - Ceiling - Plaster - Finish	Plaster/Brick	No Asbestos Detected
30786-42	202 - Ground - Room 19 - Ceiling - Asphalt - Concrete - Overfil	Plaster/Brick	No Asbestos Detected
30786-43	203 - Ground - Room 19 - Ceiling - Wall - Plaster & Render	Plaster/Brick	No Asbestos Detected
30786-44	204 - Ground - Room 19 - Wall - Mortar Line	Plaster/Brick	No Asbestos Detected
30786-45	205 - Ground - Room 19 - Plaster & Render	Plaster/Brick	No Asbestos Detected
30786-46	206 - Ground - Room 19 - Wall - Mortar Line	Plaster/Brick	No Asbestos Detected
30786-47	207 - Ground - Room 19 - Wall - Plaster & Render	Plaster/Brick	No Asbestos Detected





# LAB UK Limited

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**Report For : - The Old War Office Whitehall Place Whitehall London SW1A 2HB**  
**Samples analysed between 17 September 2012 and 18 September 2012**

Sample No	Sample Location/Description	Material Type (See # Note)	Asbestos Fibre Type
30786-48	208 - Ground - Room 19 - Wall - Martar Line	Plaster/Brick	No Asbestos Detected
30786-49	209 - Ground - Room 19 - Wall - Plaster & Render	Plaster/Brick	No Asbestos Detected
30786-50	210 - Ground - Room 19 - Mortar Line	Plaster/Brick	No Asbestos Detected
30786-51	211 - Ground - Room 24 - Ceiling - Plaster & Finish	Plaster/Brick	No Asbestos Detected
30786-52	212 - Ground - Room 24 - Ceiling - Asphalt - Concrete - Overflow	Plaster/Brick	No Asbestos Detected
30786-53	213 - Ground - Room 24 - Wall - Plaster & Render	Plaster/Brick	No Asbestos Detected
30786-54	214 - Ground - Room 24 - Wall - Mortar Line	Plaster/Brick	No Asbestos Detected
30786-55	215 - Ground - Room 24 - Plaster & Render	Plaster/Brick	No Asbestos Detected
30786-56	216 - Ground - Room 24 - Wall - Mortar Line	Plaster/Brick	No Asbestos Detected
30786-57	217 - Ground - Room 24 - Wall - Plaster & Render	Plaster/Brick	No Asbestos Detected
30786-58	218 - Ground - Room 24 - Wwall - Mortar Line	Plaster/Brick	No Asbestos Detected
30786-59	219 - Ground - Room 24 - Wall - Plaster & Render	Plaster/Brick	No Asbestos Detected
30786-60	220 - Ground - Room 24 - Wall Mortar Line	Plaster/Brick	No Asbestos Detected
30786-61	221 - Ground - Room 24 - Ceiling - Plaster & Finish	Plaster/Brick	No Asbestos Detected
30786-62	222 - Ground - Room 27 - Ceiling - Asphalt & Concrete Overfill	Plaster/Brick	No Asbestos Detected
30786-63	223 - Ground - Room 27 - Wall - Plaster & Render	Plaster/Brick	No Asbestos Detected
30786-64	224 - Ground - Room 27 - Wall - Mortar Line	Plaster/Brick	No Asbestos Detected
30786-65	225 - Ground - Room 27 - Wall - Plaster & Render	Plaster/Brick	No Asbestos Detected
30786-66	226 - Ground - Room 27 - Wall - Mortar Line	Plaster/Brick	No Asbestos Detected
30786-67	228 - Ground - Room 27 -Wall - Mortar Line	Plaster/Brick	No Asbestos Detected
30786-68	227 - Ground - Room 30 - Ceiling - Asphalt - Concrete Overfill	Plaster/Brick	No Asbestos Detected
30786-69	229 - Ground - Room 30 - Wall - Plaster	Plaster/Brick	No Asbestos Detected
30786-70	230 - Ground - Room 30 - Wall - Mortar Line	Plaster/Brick	No Asbestos Detected
30786-71	231 - Ground - Room 30 - Wall - Plaster & Render	Plaster/Brick	No Asbestos Detected
30786-72	232 - Ground - Room 30 - Wall - Mortar Line	Plaster/Brick	No Asbestos Detected
30786-73	233 - Ground - Room 30 - Wall - Plaster & Render	Plaster/Brick	No Asbestos Detected
30786-74	234 - Ground - Room 30 - Wall - Mortar Line	Plaster/Brick	No Asbestos Detected
30786-75	235 - Ground - Room 30 - Wall - Plaster	Plaster/Brick	No Asbestos Detected
30786-76	236 - Ground - Room 30 - Wall - Mortar Line	Plaster/Brick	No Asbestos Detected
30786-77	237 - Ground - WES 368 - High Level Beam - Plaster Finish	Plaster/Brick	No Asbestos Detected
30786-78	238 - Ground - WES 368 - High Level Beam - Concrete	Plaster/Brick	No Asbestos Detected
30786-79	239 - Ground - WES 368 - Stair 4 - High Level Beam - Plaster Finish	Plaster/Brick	No Asbestos Detected
30786-80	240 - Ground - Stair 4 - High Level Beam - Concrete	Plaster/Brick	No Asbestos Detected
30786-81	241 - Ground - WMEH - Fire Place - Fire Brick	Plaster/Brick	No Asbestos Detected
30786-82	242 - Ground - WMEH - Fire Place - Mortar	Plaster/Brick	No Asbestos Detected
30786-83	243 - Ground - WMEH - Fire Place - Fire Brick	Plaster/Brick	No Asbestos Detected
30786-84	244 - Ground - WMEH - Fire Place - Mortar	Plaster/Brick	No Asbestos Detected



# LAB UK Limited

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## Report For : - The Old War Office Whitehall Place Whitehall London SW1A 2HB

Information: Asbestos types come with both common and technical names, listed below are the 3 most common types of asbestos with both their technical and common names. This report uses technical names.

Chrysotile = White Asbestos. Amosite = Brown Asbestos. Crocidolite = Blue Asbestos.

Sample(s) of material referenced above, have been examined with a stereo microscope, polarised light and dispersion staining technique as described in the Company's MAAM 04 Document that incorporates methods set out in the HSG 248.

Opinions/Interpretations are not covered by UKAS Accreditation.

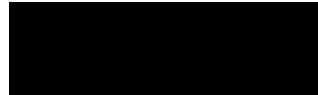
This Company cannot guarantee the quality or the accuracy of the sample details where supplied by a third party. The referenced sample(s) have been tested/examined and certified in accordance with the terms of the contract/order applicable and unless otherwise stated, conform fully to the standards/specifications quoted. This does not however guarantee the balance of production from which the test sample(s) have been taken from, to be of an equal quality.

# Note: The Material type associated to each sample is purely a subjective opinion of the analyst based on asbestos content and visual appearance of the sample at the time of analysis. This company cannot be held responsible for inaccuracies based on this subjective opinion which falls out side the scope of our UKAS accreditation.

Site Comments: -



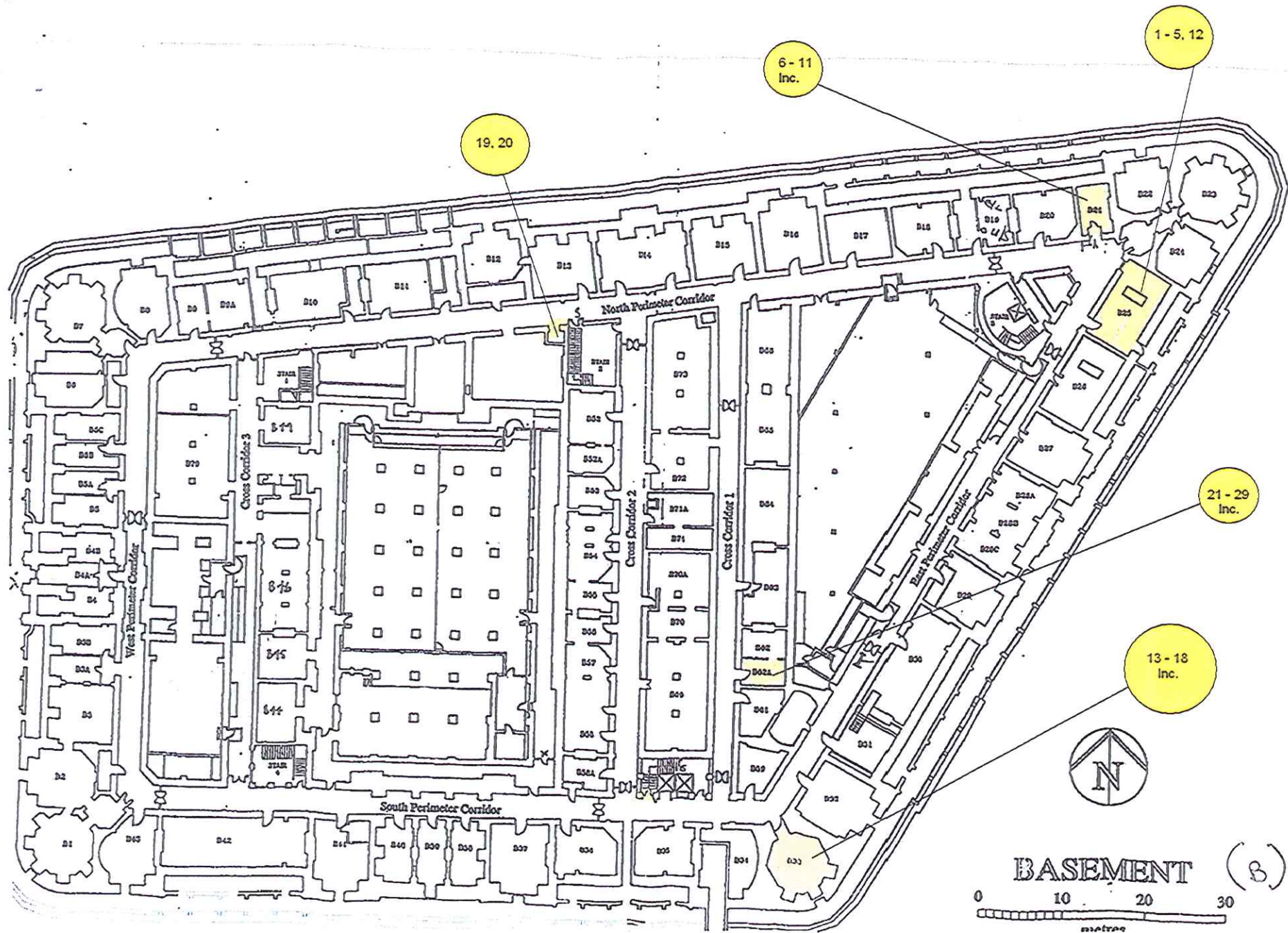
Analysts Signature and Reported by:  
[Redacted] (Technical Director)

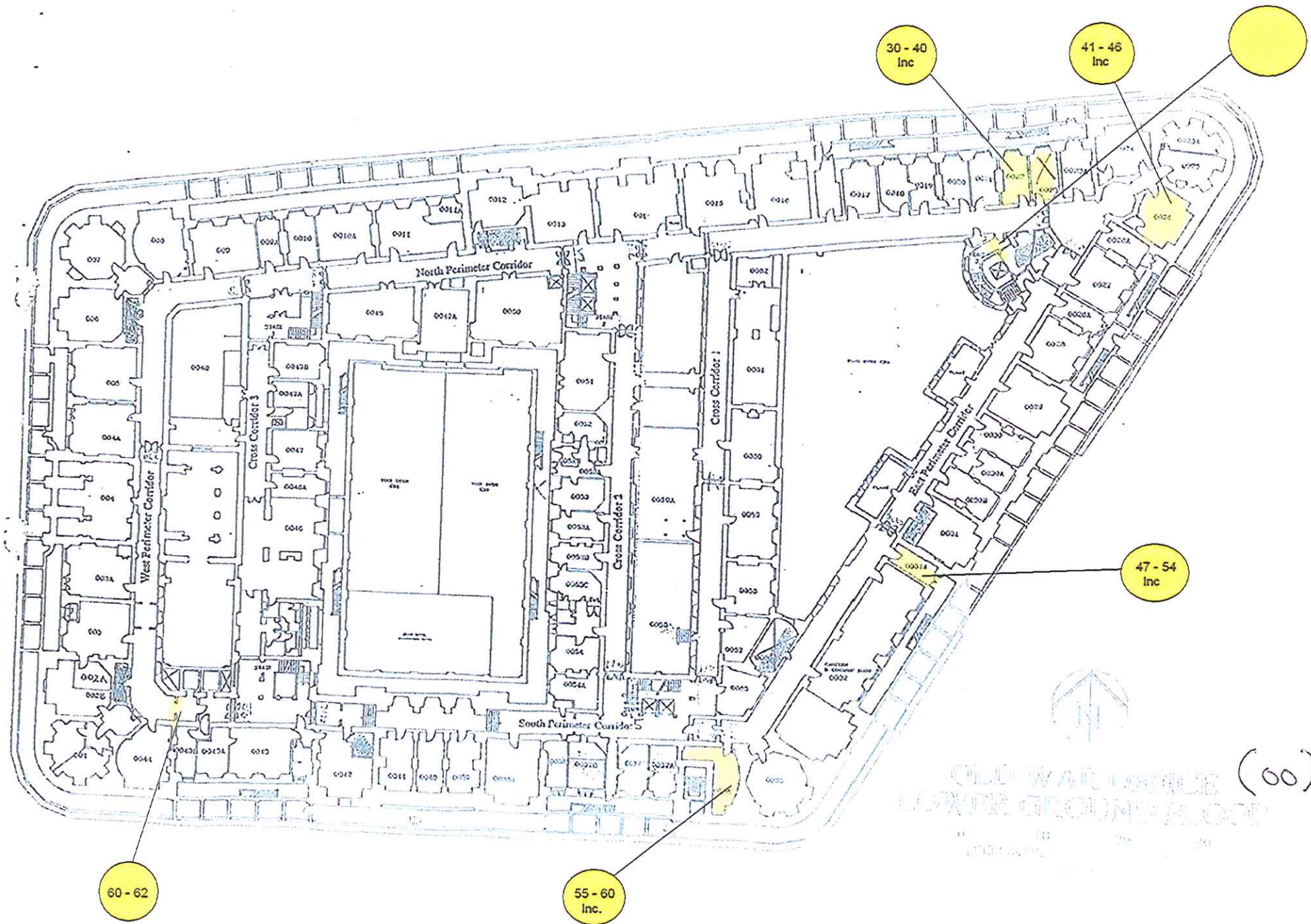


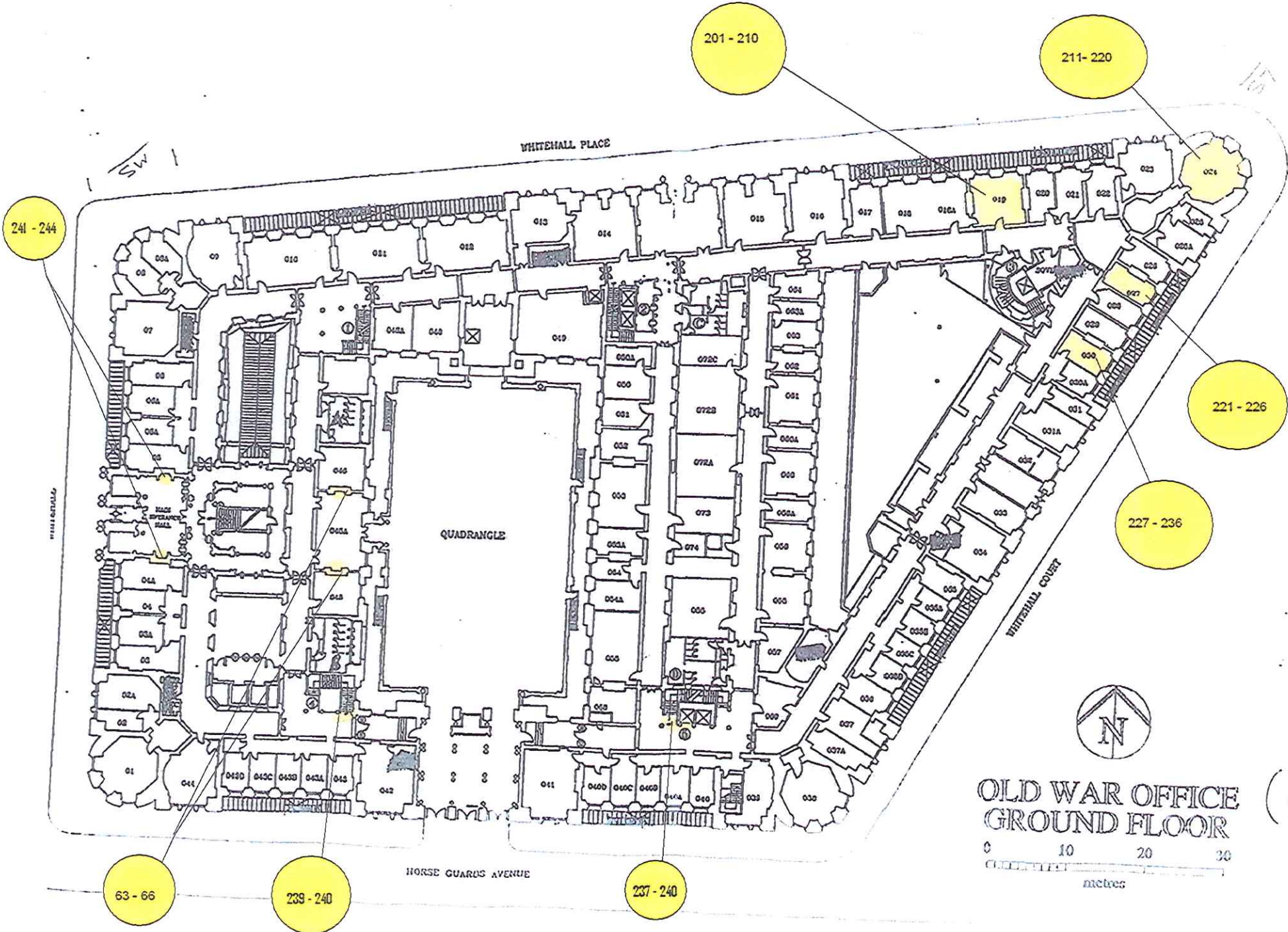
Analysts Signature and Reported by:  
[Redacted] (Assistant Bulk ID Manager)

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Client:	<b>Skanska</b>	Project No.	<b>SD724P/86213</b>
Site Address	<b>Old War Office, Horse Guards Avenue, London</b>	Page No.:	<b>Page 265 of 267</b>



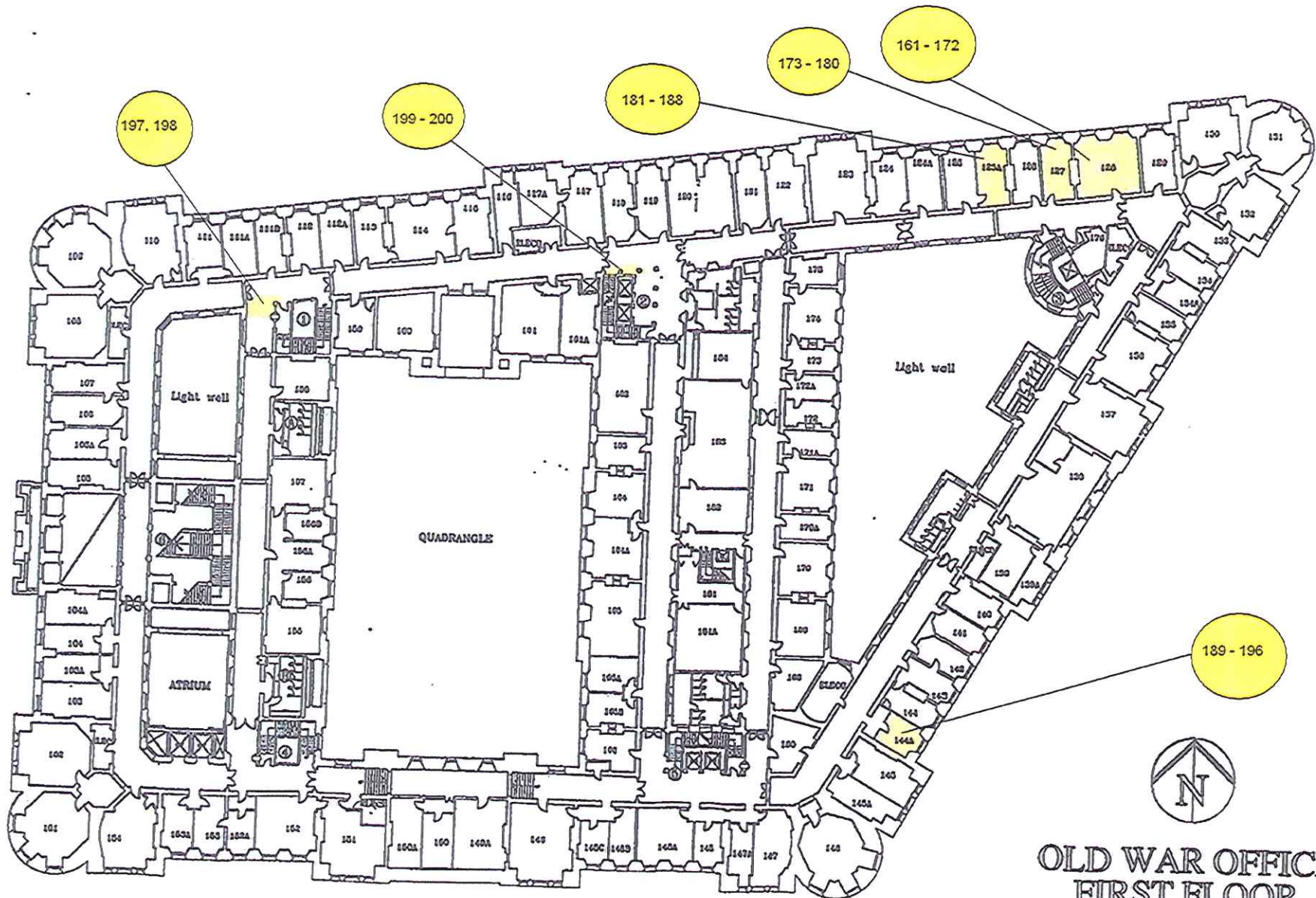





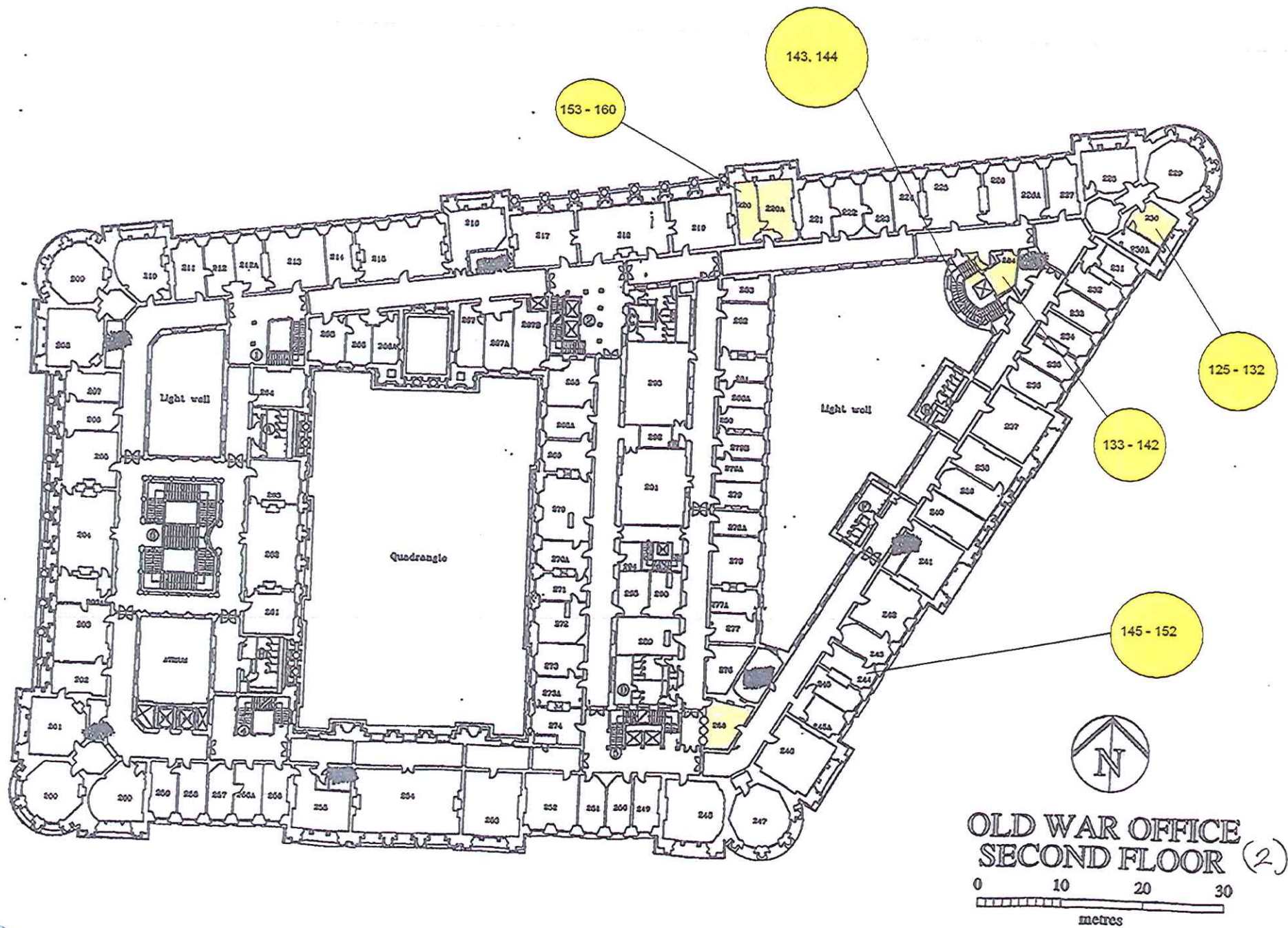
OLD WAR OFFICE  
GROUND FLOOR



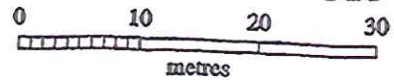
(6)



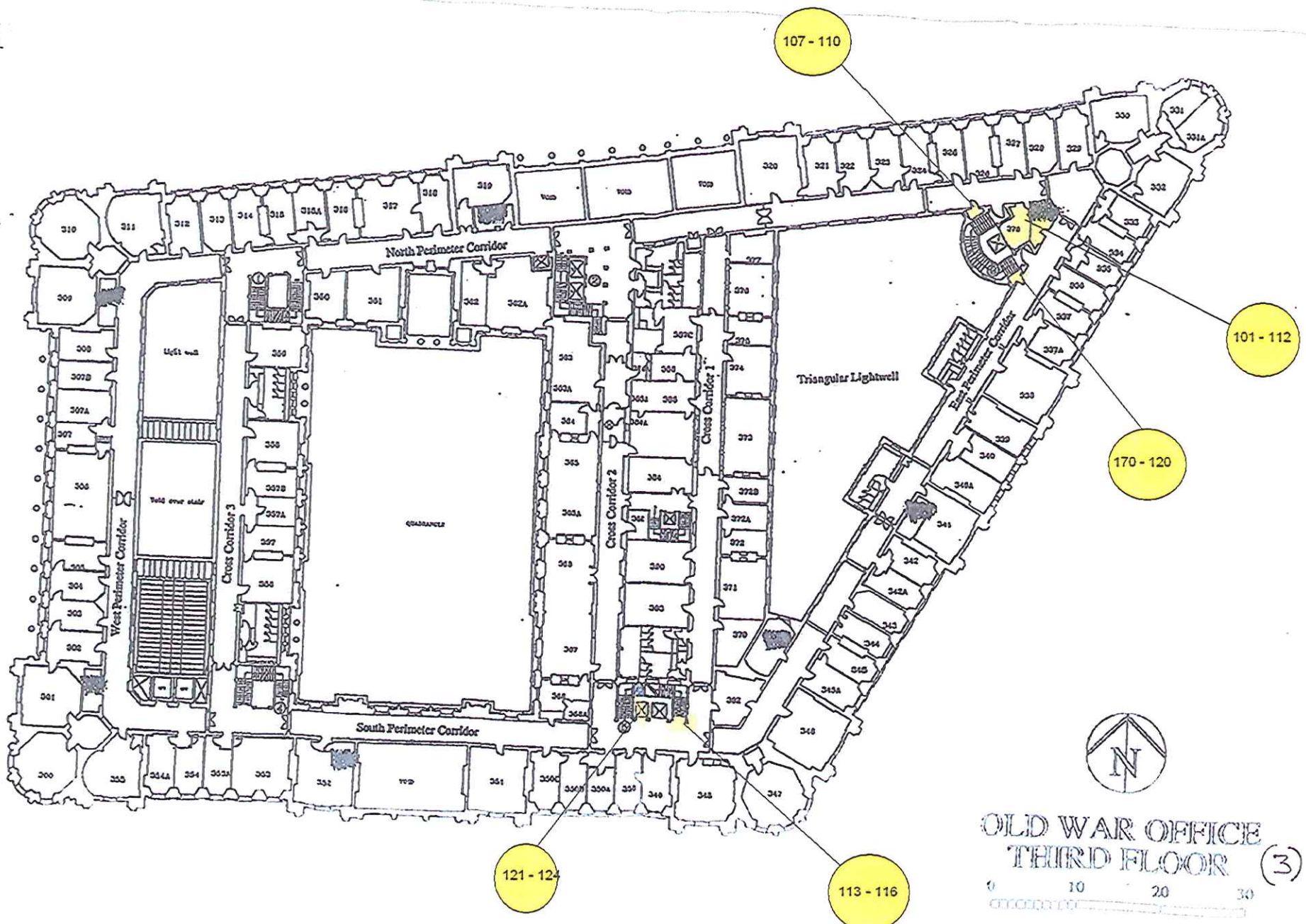
  
**OLD WAR OFFICE**  
**FIRST FLOOR** (1)  
 0 10 20 30  
 metres



OLD WAR OFFICE  
SECOND FLOOR (2)







107 - 110

101 - 112

170 - 120

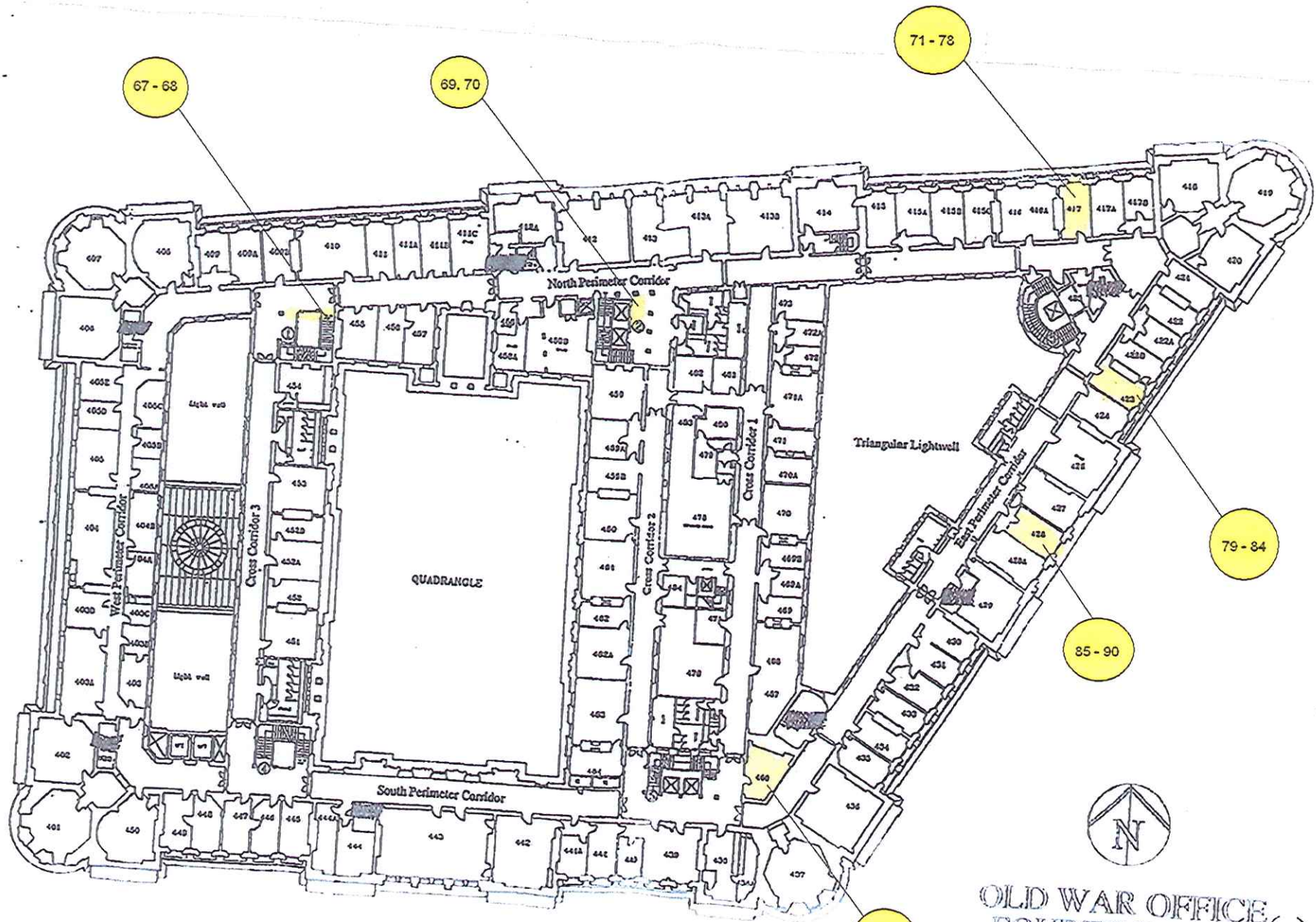
121 - 124

113 - 116



OLD WAR OFFICE  
THIRD FLOOR (3)





OLD WAR OFFICE  
FOURTH FLOOR (4)

1 10 20 30  
CORRIDOR 1

## 1. MATERIAL ASSESSMENT AND ALGORITHMS

### Material Assessment

The material assessment is an assessment of the condition of the ACM, or the presumed ACM, and the likelihood of it releasing fibres in the event of it being disturbed in some way. This material assessment will give a good initial guide to the priority for management, as it will identify the materials, which will most readily release airborne fibres if disturbed. However, there are other factors to take into account when prioritising action. HSG 264 recommends the use of an algorithm to carry out the material assessment, and contains an example. The algorithm is a numerical way of taking into account several influencing factors, giving each factor considered a score. These scores can then be totalled to give a material assessment score. The use of algorithms is not infallible, but the assessment process is clear for all to see, so if discrepancies arise, it should be possible to track back through the assessment process to find the root of the error. The algorithm shown in HSG 264 considers four parameters that determine the risk from ACM: that is the ability to release fibres if disturbed. These four parameters are:

- Product type;
- Extent of damage;
- Surface treatment;
- Asbestos type

Each of the parameters is scored and added to give a total score between 2 and 12:

Materials with scores of 10 or more should be regarded as **High Risk** with a significant potential to release fibres if disturbed;

Those with a score between 7 and 9 are regarded as **Medium Risk**;

Materials with a score between 5 and 6 are **Low Risk**; and

Scores of 4 or less are **Very Low Risk**.

## 2. MATERIAL ASSESSEMENT The material assessment looks at the type and condition of the asbestos containing material and the ease with which it will release fibres if disturbed.

The material assessment is produced by the application of the following algorithm.

### **Product Type** (or debris from product)

- 1 Point - Asbestos reinforced composites (plastics, resins, mastics, roofing felts, vinyl floor tiles, semi-rigid paints or decorative finishes, asbestos cement
- 2 Points - Asbestos insulating board, millboard, other low density insulation boards, asbestos textiles, gaskets, ropes and woven textiles, asbestos felt paper
- 3 Points - Thermal insulation (eg: pipe and boiler lagging) sprayed asbestos, loose asbestos, asbestos mattresses and packing

### **Extent of Damage / Deterioration**

- 0 Points - Good condition: no visible damage
- 1 Point - Low damage; a few scratches or surface marks; broken edges on boards, tiles etc
- 2 Points - Medium damage: significant breakage or materials or several small areas where asbestos has been damaged revealing loose asbestos fibres
- 3 Points - High damage or demolition of materials, sprays and thermal insulation. Visible asbestos debris

### **Surface Treatment**

- 0 Points - Composite materials containing asbestos: reinforced plastics, resins, vinyl tiles
- 1 Point - Enclosed sprays and lagging, asbestos insulating board (with exposed face painted or encapsulated), asbestos cement sheets etc
- 2 Points - Unsealed asbestos insulating board, or encapsulated laggings and sprays

Client:	<b>Skanska</b>	Project No.	<b>SD724P/86213</b>
Site Address	<b>Old War Office, Horse Guards Avenue, London</b>	Page No.:	<b>Page 266 of 267</b>

3 Points - Unsealed lagging and sprays

**Asbestos Type**

- 1 Point - Chrysotile
- 2 Points - Amphibole asbestos excluding Crocidolite
- 3 Points - Crocidolite

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Client:	<b>Skanska</b>	Project No.	<b>SD724P/86213</b>
Site Address	<b>Old War Office, Horse Guards Avenue, London</b>	Page No.:	<b>Page 267 of 267</b>

O.W.O.B Asbestos Register Basement Moat

Survey/Type And Date	Material Location	Sample Number	Material Type Identified	Product type	Condition	Last Insp Date	Next Insp Date	Material Assessment	Priority Assessment	Risk Assessment	Comments / Action	Notes
Type 2 / June 2003 Re-inspected / September 2004 / Type 2 / Sept 2008	Basement - Moat Whitehall Place	SAS/08/13445 / B31273 & B41274 / F29658 & F29657 / B45256 & B45257 / B47979 & B47978 / F36998 / F39520 / J000553	Chrysotile /Amosite	Encapsulated Insulation residue (Walls & Ceiling)	Wall / Ceiling damage	26-Mar-14	26-Mar-15	6	8	14	Inspect	Bulk sampling report No SAS/08/13445 (19/8/08) NADIS ] PPM air sampling report No AC-08-808 15/8/08 ] PPM air sampling 25/3/09 report No LM/09/249 ] PPM air sampling done report No A2257 & A2258 10/6/10 ] PPM air sampling 17/2/11 report No A8848/11 AMP:2010-42/121 ] Bulk sampling taken 17/2/11 NADIS report No B31273 & B41274 ] PPM inspection AMP:2010-42/121 & air sampling report No A8848/11 17/2/11 damage found AMP:190 encapsulation repairs 25/11/11 ] PPM inspection AMP:2011-38/121 air quality report No A8241/11 & A8242/11Bulk sampling carried out report No F29658 & F29657 (NADIS) ] PPM inspection AMP: 2012-12-121 17/3/12 & air quality report No A8539/12 & A8538/12 bulk samples B45256 & B45257. Damage found in corr B19 on ceiling. Repairs complete 3/7/12 air sampling report No A2425 & A2424 ] PPM inspection AMP:2012-38/121 (27-9-12) air quality report No A8802/12, bulk samples taken report No B47978 & B47979. No further action required ] PPM Inspection AMP:2013-12/121 (21/3/13) air quality report No A8091/13 & A8092/13 bulk ample report No F36998, damage found AMP:440 raised for repairs work complete (19/4/13) ] PPM Inspection AMP:2013-39/121 (13/9/13) air quality report No A8455/13 & A8454/13. Bulk sample report No F39520,no asbestos detected ] PPM inspection AMP:2014-12/121 air quality report No AA01 & AA02, bulk sample report No J000553 no asbestos found damage found to ceiling and wall AMP:577 raised 27/3/14. Encapsulation repairs complete 15/5/16 ]
Type 2 / June 2003 Re-inspected / September 2004 / Type 2 / Sept 2008	Basement - Moat - Whitehall	91657/F018/A - SAS/08/13445 / B31273 / B36603 / F29657 / B45256 / B47978 / F36998 / F39519 / J000553	Chrysotile /Amosite	Encapsulated Insulation residue (Walls & Ceiling)	Good	26-Mar-14	26-Mar-15	6	8	14	Inspect	Bulk sampling report No SAS/08/13445 (19/8/08) NADIS ] PPM air sampling report No AC-08-808 15/8/08 ] PPM air sampling 25/3/09 report No LM/09/249 ] Bulk sampling to filter and surrounding area B27 18/3/1 (NADIS). Air sampling around the same area report A2097 AMP:234 ] PPM air sampling done report No A2257 & A2258 10/6/10 ] AMP: 151 Environmental clean of the damaged encapsulation in the area. Whitehall cleaned (22/3/10) certificate of reoccupation No 91657/F018/A. ] PPM air sampling done report No A2257 & A2258 10/6/10 ] PPM air sampling 17/2/11 report No A8848/11 AMP:2010-42/121 ] Bulk sampling taken 17/2/11 NADIS report No B31273 AMP:190 encapsulation repairs 25/11/11 ] PPM inspection AMP:2010-42/121 & air sampling report No A8848/11 17/2/11 damage found AMP:190 will be for the repair works ] PPM inspection AMP:2011-38/121 air quality report No A8241/11 bulk sampling carried out report No F29657 (NADIS) ] PPM inspection AMP: 2012-12-121 17/3/12& air quality report No A8539/12 bulk samples B45256 (NADIS) ] PPM inspection AMP:2012-38/121 (27-9-12) air quality report No A8801/12, bulk samples taken report No B47978. No further action required ] PPM Inspection AMP:2013-12/121 (21/3/13) air quality report No A8091/13 bulk ample report No F36998 ] PPM Inspection AMP:2013-39/121 (13/9/13) air quality report No A8454/13. Bulk sample report No F39519,no asbestos detected ] PPM inspection AMP:2014-12/121 air quality report No AA01, bulk sample report No J000553 no damage found ]
Type 2 / June 2003 Re-inspected / September 2004 Type 2 / Sept 2008	Basement - Moat- Whitehall Court	SAS/08/13445 / B41274 / F29658 / B45256 & B45257 / B47979 / F36999 / F39520 / J000553	Chrysotile /Amosite	Encapsulated Insulation residue (Walls & Ceiling)	Good	26-Mar-14	26-Mar-15	6	8	14	Inspect	Bulk sampling report No SAS/08/13445 (19/8/08) NADIS ] PPM air sampling report No AC-08-808 15/8/08 ] PPM air sampling 25/3/09 report No LM/09/249 ] PPM air sampling done report No A2257 & A2258 10/6/10 ] PPM air sampling 17/2/11 report No A8848/11 AMP:2010-42/121 ] Bulk sampling taken 17/2/11 NADIS report No B41274 AMP:190 ] PPM inspection AMP:2010-42/121 & air sampling report No A8848/11 17/2/11 damage found AMP:190 encapsulation repairs 25/11/11 ] PPM inspection AMP:2011-38/121 air quality report No A8242/11Bulk sampling carried out report No F29658 (NADIS) ] PPM inspection AMP: 2012-12-121 & air quality report No A8538/12 bulk samples B45257 (NADIS) ] PPM inspection AMP:2012-38/121 (27-9-12) air quality report No A8802/12, bulk samples taken report No B47978. No further action required ] PPM Inspection AMP:2013-12/121 (21/3/13) air quality report No A8092/13 bulk ample report No F36999 ] PPM Inspection AMP:2013-39/121 (13/9/13) air quality report No A8455/13. Bulk sample report No F39520,no asbestos detected ] PPM inspection AMP:2014-12/121 air quality report No AA01, bulk sample report No J000553 no damage found ]
Type 2 / June 2003 Re-inspected / September 2004 Type 2 / Sept 2008	Basement - Moat- Plantroom for B5 a,b,c,d	B47978 / F39520 / J00053	Assumed ACM	Encapsulated Insulation residue (Walls & Ceiling)	Good	26-Mar-14	26-Mar-15	6	8	14	Inspect	AMP: 151 Environmental clean of the damaged encapsulation in the area. Whitehall cleaned (22/3/10) certificate of reoccupation No 91657/F018/A. ] AMP:190 encapsulation repaired & debris removed 25/11/11 ] PPM inspection AMP: 2012-12-121 ] PPM inspection AMP:2012-38/121 (27-9-12) air quality report No A8802/12, bulk samples taken report No B47978. No further action required ] PPM inspection AMP:2014-12/121 air quality report No AA01, bulk sample report No J000553 no damage found ]
Type 2 / June 2003 Re-inspected / September 2004	Basement - Moat Horseguards	B31273 & B41274 / F29658 & F29657 / B45256 & B45257 / B47978 & B47979 / F36999 & F36998 / F39519 / J000553	Assume ACM's	Encapsulated Insulation residue (Walls & Ceiling)	Good	26-Mar-14	26-Mar-15	6	8	14	Inspect	PPM air sampling report No AC-08-808 15/8/08 ] PPM air sampling 25/3/09 report No LM/09/249 ] PPM air sampling done report No A2257 & A2258 10/6/10 ] PPM air sampling 17/2/11 report No A8848/11 AMP:2010-42/121 ] Bulk sampling taken 17/2/11 NADIS report No B31273 & B41274 AMP:190 ] PPM inspection AMP:2010-42/121 & air sampling report No A8848/11 17/2/11 damage found AMP:190 encapsulation repairs 25/11/11 ] PPM inspection AMP:2011-38/121 air quality report No A8241/11 & A8242/11Bulk sampling carried out report No F29658 & F29657 (NADIS) ] PPM inspection AMP: 2012-12-121 17/3/12 & air quality report No A8539/12 bulk samples B45256 & B45257 ] PPM inspection AMP:2012-38/121 (27-9-12) air quality report No A8802/12 & A8801/12, bulk samples taken report No B47978 & B47979. No further action required ] PPM Inspection AMP:2013-12/121 (21/3/13) air quality report No A8091/13 & A8092/13 bulk ample report No F36999 & F36998 ] PPM Inspection AMP:2013-39/121 (13/9/13) air quality report No A8454/13 & A8454/13. Bulk sample report No F39519,no asbestos detected ] PPM inspection AMP:2014-12/121 air quality report No AA01, bulk sample report No J000553 no damage found ]
Type 2 / June 2003 Re-inspected / September 2004 / Type 2 / Sept 2008	Basement - Moat - Rm B19	J000553	Amosit / Chrysotile	Encapsulated Insulation residue (Walls & Ceiling)	Good	26-Mar-14	26-Mar-15	6	8	14	Inspect	AMP:190 encapsulation repaired & debris removed 25/11/11 ] PPM inspection AMP: 2012-12-121 17/3/12 Damaged found to ceiling entrance corr to B19 from moat area. AMP:359 To repairs encapsulation damage ] PPM inspection AMP:2012-38/121 (27-9-12) No further action required ] PPM Inspection AMP:2013-12/121 (21/3/13) ] PPM inspection AMP:2014-12/121 air quality report No AA02, bulk sample report No J000553 asbestos found AMP:578 raised 27/3/14. Environmental clean complete reassurance sampling done, report No AA01, AA02 & AA03 16/5/14 ]

Type 2 / June 2003 Re-inspected / September 2004 / Type 2 / Sept 2009	Basement - Moat Entrance - B35 / B36	F25967 / F36998 / F39519 / J000553	Assume ACM's	Encapsulated Insulation residue (Walls & Ceiling)	Good	26-Mar-14	26-Mar-15	6	8	14	Inspect	Bulk sampling 12/11/10 walls & Floor area (NADIS) AMP:253 ] AMP:190 encapsulation repaired & debris removed 25/11/11 ] PPM inspection AMP: 2012-12-121 17/3/12 ] PPM Inspection AMP:2013-12/121 (21/3/13) air quality report No A8091/13 bulk ample report No F36998 ] PPM Inspection AMP:2013-39/121 (13/9/13) air quality report No A8454/13. Bulk sample report No F39519,no asbestos detected ] PPM inspection AMP:2014-12/121 air quality report No AA01, bulk sample report No J000553 no damage found. ]
Type 2 / June 2003 Re-inspected / September 2004	Basement - Moat - Rear Rm B34	172A	Chrysotile	Gasket - (on WDH pipework)	Good			3	3	6	Inspect	District Heating Pipe managed by Cofely.
Type 2 / June 2003 Re-inspected / September 2004	Basement - Moat - Rear Rm B25	171vis	Chrysotile - (Presumed)	Gasket - (on WDH pipework)	Good			3	3	6	Inspect	District Heating Pipe managed by Cofely

**Building History**

Survey/Type And Date	Sample Location	Sample Number	Material Type Identified	Product type		Last Insp Date	Next Insp Date	Material Assessment	Priority Assessment	Risk Assessment	Comments / Action	Notes
Type 2 / June 2003 Re-inspected / September 2004	Basement - Moat - rear - Rm B36	160A / 162A	NADIS	Insulation Debris - (around pipework & hangers)	N/A	8-May-03	N/A	0	0	0	N/A	
Type 2 / June 2003 Re-inspected / September 2004	Basement - Moat - rear - Rm B35	161A	NADIS	Insulation Debris - (on pipework)	N/A	8-May-03	N/A	0	0	0	N/A	
Type 2 / June 2003 Re-inspected / September 2004	Basement - Moat - rear - Rm B37	163A	NADIS	Insulation Debris - (on pipework high level)	N/A	8-May-03	N/A	0	0	0	N/A	
Type 2 / June 2003 Re-inspected / September 2004	Basement - Moat - rear - Rm B05A & B05B	169A	NADIS	Insulation Debris - (on cable tray)	N/A	8-May-03	N/A	0	0	0	N/A	
Type 2 / June 2003 Re-inspected / September 2004	Basement - Moat - rear - Rm B05C & B05D	170A	NADIS	Insulation Debris - (on cable tray)	N/A	8-May-03	N/A	0	0	0	N/A	
Type 2 / June 2003 Re-inspected / September 2004	Basement - Moat Rear of B27 (HV5)	B36603	NADIS	Dust- Debris (on filter and surrounding area)	N/A	23-Mar-10	N/A	0	0	0	N/A	Air test and bulk sampling carried out report No A2097 & B36603. 23/3/10 (AMP:234).
Type 2 / June 2003 Re-inspected / September 2004	Basement - Moat - All areas	vis	None	None	N/A	3-Sep-04	N/A	0	0	0	N/A	non-asbestos fibrous material present
Type 2 / Sept 2008	Basement - Moat - Rear - Rm B01	14 / 17 / 18 / 32 / 40 / 64	NADIS	Debris - residue on wall & cable + pipe bracket	N/A	29-Sep-08	N/A	0	0	0	N/A	
Type 2 / Sept 2008	Basement - Moat - Rear - Rm B02	33 / 34 / 41 / 42 / 43 / 44 / 62 / 63	NADIS	Debris - residue on wall & cable + soil pipe bracket	N/A	30-Sep-08	N/A	0	0	0	N/A	
Type 2 / Sept 2008	Basement - Moat - Rear - Rm B03	35 / 45	NADIS	Debris - residue on wall, floor & cable bracket	N/A	30-Sep-08	N/A	0	0	0	N/A	
Type 2 / Sept 2008	Basement - Moat - Rear - Rm B03A	46 / 47	NADIS	Debris - residue on floor & cable bracket	N/A	30-Sep-08	N/A	0	0	0	N/A	
Type 2 / Sept 2008	Basement - Moat - Rear - Rm B03B	48 / 52	NADIS	Debris - residue on wall and soil pipe	N/A	30-Sep-08	N/A	0	0	0	N/A	
Type 2 / Sept 2008	Basement - Moat - Rear - Rm B04	49 / 50	NADIS	Debris - residue on floor & cable bracket	N/A	30-Sep-08	N/A	0	0	0	N/A	
Type 2 / Sept 2008	Basement - Moat - Rear - Rm B04B	36	NADIS	Debris - residue on wall	N/A	30-Sep-08	N/A	0	0	0	N/A	
Type 2 / Sept 2008	Basement - Moat - Rear - Rm B05	51 / 53 / 60 / 61	NADIS	Debris - residue on wall & cable bracket	N/A	30-Sep-08	N/A	0	0	0	N/A	
Type 2 / Sept 2008	Basement - Moat - Rear - Rm B05C	37 / 54	NADIS	Debris - residue on wall & cable supports	N/A	30-Sep-08	N/A	0	0	0	N/A	
Type 2 / Sept 2008	Basement - Moat - Rear - Rm B06	38 / 55	NADIS	Debris - residue on wall & cable supports	N/A	30-Sep-08	N/A	0	0	0	N/A	
Type 2 / Sept 2008	Basement - Moat - Rear - Rm B07	39 / 56 / 57 / 58 / 59 / 65 / 73 / 74	NADIS	Debris - residue on wall, cable supports 7 soil pipe	N/A	30-Sep-08	N/A	0	0	0	N/A	
Type 2 / Sept 2008	Basement - Moat - Rear - Rm B08	66 / 75	NADIS	Debris - residue on wall & cable hangers	N/A	30-Sep-08	N/A	0	0	0	N/A	
Type 2 / Sept 2008	Basement - Moat - Rear - Rm B09	76	NADIS	Debris - residue on wall & pipe supports	N/A	30-Sep-08	N/A	0	0	0	N/A	
Type 2 / Sept 2008	Basement - Moat - Rear - Rm B09A	67 / 77 / 78	NADIS	Debris - residue on wall & pipe supports	N/A	30-Sep-08	N/A	0	0	0	N/A	
Type 2 / Sept 2008	Basement - Moat - Rear - Rm B10	68 / 79 / 80 / 81 / 82	NADIS	Debris - residue on wall & pipe / cable supports	N/A	30-Sep-08	N/A	0	0	0	N/A	
Type 2 / Sept 2008	Basement - Moat - Rear - Rm B11	69 / 83	NADIS	Debris - residue on wall & pipe supports	N/A	30-Sep-08	N/A	0	0	0	N/A	
Type 2 / Sept 2008	Basement - Moat - Rear - Rm B12	70 / 84 / 85	NADIS	Debris - residue on wall, floor & cable	N/A	30-Sep-08	N/A	0	0	0	N/A	
Type 2 / Sept 2008	Basement - Moat - Rear - Rm B13	71 / 86	NADIS	Debris - residue on trunking & pipe supports	N/A	30-Sep-08	N/A	0	0	0	N/A	
Type 2 / Sept 2008	Basement - Moat - Rear - Rm B14	72 / 88 / 89 / 98	NADIS	Debris - residue on wall, cable support & tray	N/A	1-Oct-08	N/A	0	0	0	N/A	
Type 2 / Sept 2008	Basement - Moat - Rear - Rm B15	90 / 99	NADIS	Debris - residue on wall, cable support	N/A	1-Oct-08	N/A	0	0	0	N/A	
Type 2 / Sept 2008	Basement - Moat - Rear - Rm B17	91	NADIS	Debris - residue on wall	N/A	1-Oct-08	N/A	0	0	0	N/A	
Type 2 / Sept 2008	Basement - Moat - Rear - Rm B18	92 / 102	NADIS	Debris - residue on wall & cable support	N/A	1-Oct-08	N/A	0	0	0	N/A	
Type 2 / Sept 2008	Basement - Moat - Rear - Rm B19	93 / 103	NADIS	Debris - residue on wall & cable support	N/A	1-Oct-08	N/A	0	0	0	N/A	
Type 2 / Sept 2008	Basement - Moat - Rm B19	185 / 186	NADIS	Debris - residue on wall	N/A	7-Oct-08	N/A	N/A	0	N/A	N/A	
Type 2 / Sept 2008	Basement - Moat - Rear - Rm B20	94 / 104 / 105	NADIS	Debris - residue on wall & pipe / cable supports	N/A	1-Oct-08	N/A	0	0	0	N/A	
Type 2 / Sept 2008	Basement - Moat - Rear - Rm B21	95 / 106	NADIS	Debris - residue on wall & cable supports	N/A	1-Oct-08	N/A	0	0	0	N/A	
Type 2 / Sept 2008	Basement - Moat - Rear - Rm B22	107	NADIS	Debris - residue on wall & cable supports	N/A	1-Oct-08	N/A	0	0	0	N/A	
Type 2 / Sept 2008	Basement - Moat - Rear - Rm B23	96 / 108 / 109 / 110 / 123 / 124 / 125	NADIS	Debris - residue on wall & pipe / cable supports	N/A	1-Oct-08	N/A	0	0	0	N/A	
Type 2 / Sept 2008	Basement - Moat - Rear - Rm B24	111	NADIS	Debris - residue on wall	N/A	1-Oct-08	N/A	0	0	0	N/A	
Type 2 / Sept 2008	Basement - Moat - Rear - Rm B25	112 / 126	NADIS	Debris - residue on wall & cable supports	N/A	1-Oct-08	N/A	0	0	0	N/A	
Type 2 / Sept 2008	Basement - Moat - Rear - Rm B26	113 / 127 / 128 / 129	NADIS	Debris - residue on wall & pipe / cable supports	N/A	2-Oct-08	N/A	0	0	0	N/A	
Type 2 / Sept 2008	Basement - Moat - Rear - Rm B27	114 / 130	NADIS	Debris - residue on wall & cable supports	N/A	2-Oct-08	N/A	0	0	0	N/A	
Type 2 / Sept 2008	Basement - Moat - Rear - Rm B28	115 / 116 / 131 / 132 / 133 / 134 / 150	NADIS	Debris - residue on wall, floor & pipe / cable supports	N/A	2-Oct-08	N/A	0	0	0	N/A	
Type 2 / Sept 2008	Basement - Moat - Rear - Rm B29	117 / 135 / 136	NADIS	Debris - residue on wall & pipe / cable supports	N/A	2-Oct-08	N/A	0	0	0	N/A	
Type 2 / Sept 2008	Basement - Moat - Rear - Rm B30	118 / 137 / 138	NADIS	Debris - residue on wall & pipe / cable supports	N/A	2-Oct-08	N/A	0	0	0	N/A	
Type 2 / Sept 2008	Basement - Moat - Rear - Rm B31	119 / 139 / 140 / 141 / 149	NADIS	Debris - residue on wall & pipe / cable supports	N/A	2-Oct-08	N/A	0	0	0	N/A	
Type 2 / Sept 2008	Basement - Moat - Rear - Rm B32	120 / 142	NADIS	Debris - residue on wall & cable supports	N/A	2-Oct-08	N/A	0	0	0	N/A	
Type 2 / Sept 2008	Basement - Moat - Rear - Rm B33	121 / 143	NADIS	Debris - residue on wall & pipe / cable supports	N/A	2-Oct-08	N/A	0	0	0	N/A	
Type 2 / Sept 2008	Basement - Moat - Rear - Rm B34	122 / 145 / 146 / 147 / 148	NADIS	Debris - residue on wall & pipe / cable supports	N/A	2-Oct-08	N/A	0	0	0	N/A	
Type 2 / Sept 2008	Basement - Moat - Rear - Rm B35	01 / 02 / 03 / 04 / 05 / 31	NADIS	Debris - residue on wall & cable bracket	N/A	29-Sep-08	N/A	0	0	0	N/A	
Type 2 / Sept 2008	Basement - Moat - Rear - Rm B36	06 / 07 / 29 / 30	NADIS	Debris - residue on wall & cable + pipe bracket	N/A	29-Sep-08	N/A	0	0	0	N/A	
Type 2 / Sept 2008	Basement - Moat - Rear - Rm B37	27 / 28	NADIS	Debris - residue on wall pipe bracket	N/A	29-Sep-08	N/A	0	0	0	N/A	
Type 2 / Sept 2008	Basement - Moat - Rear - Rm B38	08 / 25 / 26	NADIS	Debris - residue on wall & cable + pipe bracket	N/A	29-Sep-08	N/A	0	0	0	N/A	
Type 2 / Sept 2008	Basement - Moat - Rear - Rm B39	09	NADIS	Debris - residue on wall	N/A	29-Sep-08	N/A	0	0	0	N/A	
Type 2 / Sept 2008	Basement - Moat - Rear - Rm B40	10 / 20	NADIS	Debris - residue on wall & cable bracket	N/A	29-Sep-08	N/A	0	0	0	N/A	
Type 2 / Sept 2008	Basement - Moat - Rear - Rm B41	11 / 24	NADIS	Debris - residue on wall pipe bracket	N/A	29-Sep-08	N/A	0	0	0	N/A	
Type 2 / Sept 2008	Basement - Moat - Rear - Rm B42	12 / 21 / 22 / 23	NADIS	Debris - residue on wall & cable + pipe bracket	N/A	29-Sep-08	N/A	0	0	0	N/A	
Type 2 / Sept 2008	Basement - Moat - Rear - Rm B43	13 / 15 / 16 / 19	NADIS	Debris - residue on wall & cable bracket	N/A	29-Sep-08	N/A	0	0	0	N/A	
Type 2 / Sept 2008	Basement - Moat - Rear Rm B13	87	Amosite	Debris - (Debris to Cable Support & Adjacent Wall)	N/A	23-Mar-11	23-Sep-11	0	0	0	N/A	Asbestos not fully removed see active asbestos register. Duty holder has opted to manage rather than environmentally clean, therefore no occupancy certificate valid. access and work in area is under AP control. AMP:190 encapsulation repaired & debris removed 25/11/11
Type 2 / Sept 2008	Basement - Moat - Rear Rm B23	97	Chrysotile	Debris - (Debris to Cable Tray from Wall / Debris to Wall)	N/A	23-Mar-11	23-Sep-11	0	0	0	N/A	Asbestos not fully removed see active asbestos register. Duty holder has opted to manage rather than environmentally clean, therefore no occupancy certificate valid. access and work in area is under AP control. AMP:190 encapsulation repaired & debris removed 25/11/11
Type 2 / Sept 2008	Basement - Moat - Rear Rm B16	100 / 101	Amosite	Debris - (Debris to Pipe Support & Adjacent Wall)	N/A	23-Mar-11	23-Sep-11	0	0	0	N/A	Asbestos not fully removed see active asbestos register. Duty holder has opted to manage rather than environmentally clean, therefore no occupancy certificate valid. access and work in area is under AP control. AMP:190 encapsulation repaired & debris removed 25/11/11
Type 2 / Sept 2008	Basement - Moat - Rear Rm B33	144	Amosite	Debris - (Debris to Pipe Support & Adjacent Wall)	N/A	23-Mar-11	23-Sep-11	0	0	0	N/A	Asbestos not fully removed see active asbestos register. Duty holder has opted to manage rather than environmentally clean, therefore no occupancy certificate valid. access and work in area is under AP control. AMP:190 encapsulation repaired & debris removed 25/11/11