

South East Reserve Forces and Cadet's Association

**Replacement of Existing ACF Building with
New Build Combined ACF/ATC Unit
CANTERBURY**

Revision: -

Date: 09 December 2013

SC Architecture

RIBA 
Chartered Practice

T: 023 8026 9222
W: www.sc-architecture.co.uk

Design and Access Statement

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Figure 3 – Existing ACF Building



Figure 4 – Barracks Buildings



Figure 5 – Store Buildings



Figure 6 – Housing on Grange Road

The barracks as a whole comprises various buildings associated with the primary regimental occupants of the site, the 3rd Battalion Princess Of Wales Regiment (TA). To the front of the existing ACF (North West) building lies Block H (stores), and beyond this a large grassed area for training/sports. To the rear (South East) lies an assortment of barracks and teaching buildings (figure 4).

2.4 Area Character

Sturry Road is a main arterial road (A28) that runs between Margate and Canterbury. Adjacent to the barracks site a mixture of retail and residential properties and units may be found, with a large expanse of woodland, Timpson Wood, to the South of the site. Predominant materials within the barracks are red and brown brick with clay and concrete tiles to roofs. Storage blocks are clad with a mixture of profiled metal cladding styles (figures 5, 6).

2.5 Planning Policy

The application site is located within a designated Urban Area but outside of any conservation or other special character areas (see figure 7). Based on Local Policy the proposal to replace the existing ACF with an ATC/ACF building thus appears non contentious.

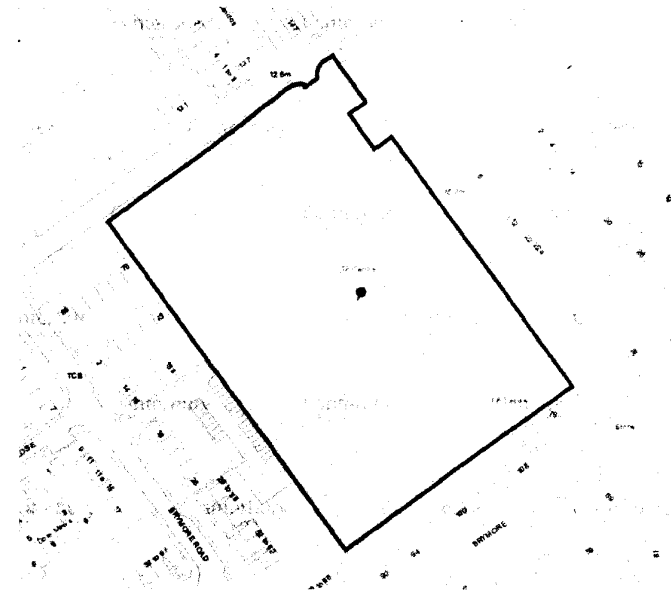


Figure 7 – Local Plan Extract

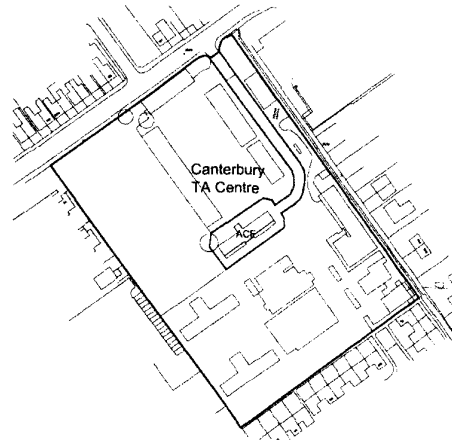


Figure 1 – Site Location Plan (application site highlighted in red)

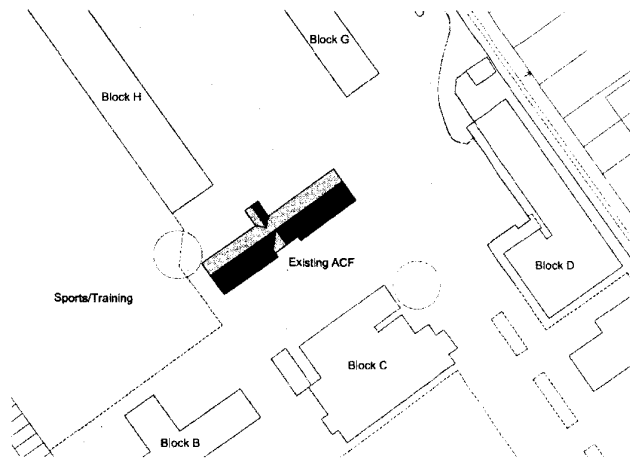


Figure 2 – Site As Existing

1. Introduction

1.1 The Application

This planning application is for the redevelopment of an existing Army Cadet Force (ACF) site to enable it to serve both ACF and Air Training Corp (ATC) detachments

1.2 The Applicant

The applicant is the South East Reserve Forces and Cadet's Association (SERFCA), who, on behalf of the MOD, manage the estates of the Reserve Forces (Territorial Army), ACF and ATC within the region

1.3 Background

SERFCA have undertaken a number of rationalisation studies with a view to maximising the efficient use of their land and facilities. As part of this process it has been identified that there will be substantial benefits in collocating the Canterbury ATC unit, who currently occupy a building on Cossington Road, with the Canterbury ACF unit, who occupy the application site.

1.4 Applicants Agent

This application has been produced by SC Architecture on behalf of SERFCA

1.5 Planning Consultations

Due to the simple and non-controversial nature of the proposals the decision was taken to expedite the process by going straight to application

2. Context

2.1 The Requirement

The new build accommodation will provide dedicated office, storage and lecture accommodation for each of the ACF and ATC units, along with a shared hall and ancillary facilities including WCs and servery. The building will be occupied by the ATC and AFC units on alternative nights so the level of occupancy on any individual night will remain unchanged with the collocation of the units

2.2 Site Location

The application site is located at Leros Barracks, Strurry Road (figure 1) within the town of Canterbury, Kent. The site falls within the boundaries of Canterbury City Council. The site postcode is CT1 1HR.

2.3 Site Description

The site (figure 2) comprises a traditional built masonry hut, with rendered walls and a pitched roof located at the centre of Leros Barracks. The condition of the existing ACF building is extremely poor (figure 3).

DELEGATED REPORT

APPLICATION NUMBER : CA/13/02314/FUL

PROPOSAL : Existing ACF (Army Cadet Force) facility to be demolished and replaced with new Joint ATC (Air Training Corps) and ACF (Army Cadet Force) accommodation.

LOCATION OF SITE : 1st Army Cadet Force Buffs, Sturry Road, Canterbury, CT1 1HR

APPLICATION TYPE : FULL APPLICATION

CASE OFFICER :

DESCRIPTION OF SITE & SURROUNDINGS

1. The application site comprises a building within the Army Cadet Force site on Sturry Road, Canterbury. The building to which this application relates is located within the site and is not prominent from the public highway.

PROPOSED DEVELOPMENT

2. Planning permission is sought for the erection of a replacement building to be used as new ATC and ACF accommodation within the site.

PLANNING HISTORY

None relevant

PLANNING POLICY BACKGROUND

Canterbury District Local Plan First Review:

BE1 - High quality designs, sustainable developments and specific design, amenity and landscape criteria to which the Council will have regard: cross-refers to SPGs.

National Planning Policy Framework (NPPF):
Section 7 - Requiring good design

CONSULTATION RESPONSES

None received

OFFICER ASSESSMENT

3. The existing building to be demolished is of limited architectural value and I consider its demolition would be acceptable in principle. The proposed replacement building is considered to be acceptable in design terms and the proposal would have a minimal impact on the street scene and on neighbour amenity. The scheme is therefore in accordance with Development Plan policy highlighted above and I recommend the application for approval.

AUTHORISED BY

RECOMMENDATION : ***GRANTED***

- 1 Unless otherwise agreed in writing by the local planning authority the development shall only be carried out in accordance with drawings 3644.00, 3644.03, 3644.04 and 3644.05 received on 11th December 2013 and materials as specified on these drawings.

REASON: To ensure the development is in accordance with the permission given.

CA/13/02314/FUL

Our Ref:
Case Officer
Telephone:
Email:
WebSite:
Your ref:
Date:

Council Contact Centre 01227 862 178
development.management@canterbury.gov.uk
<http://www.canterbury.gov.uk>

12 December 2013

SC Architecture Ltd
Anchor House
School Lane
Chandlers Ford
Hampshire
SO53 4DY

Dear

Application No: CA/13/02314/FUL
Proposal: Existing ACF (Army Cadet Force) facility to be demolished and replaced with new Joint ATC (Air Training Corps) and ACF (Army Cadet Force) accommodation.
Location: 1st Army Cadet Force Buffs, Sturry Road, Canterbury, CT1 1HR

I acknowledge receipt of your application in respect of the above proposal which was received on 11 December 2013.

If you have not received a decision by **05 February 2014** you are entitled to treat this application as if it had been refused and appeal to the Secretary of State for Communities and Local Government. This can be done by completing a form obtainable from the Planning Inspectorate, 3/10b Kite Wing, Temple Quay House, 2 The Square, Temple Quay, Bristol, BS1 6PN.

If you wish to discuss the progress of your application **please contact the Council's Contact Centre on the number listed above.**

Yours sincerely

Planning and Regeneration



development.control@canterbury.gov.uk / 01227 862 178

Military Road
Canterbury
CT1 1YW

Application for Planning Permission. Town and Country Planning Act 1990

Publication of applications on planning authority websites.

Please note that the information provided on this application form and in supporting documents may be published on the Authority's website. If you require any further clarification, please contact the Authority's planning department.

1. Applicant Name, Address and Contact Details

| | | |
|-------------------|--------------------------|-------------------------------|
| Title: Mr | First name: _____ | Surname: _____ |
| Company name | SERFCA | |
| Street address: | Seely House Shoe Lane | |
| Town/City | Aldershot | |
| County: | Hampshire | |
| Country: | England | |
| Postcode: | GU11 2HJ | |
| Telephone number: | Country Code: +44 | National Number: 01252 357605 |
| Mobile number: | Country Code: _____ | National Number: _____ |
| Fax number: | Country Code: _____ | National Number: _____ |
| Email address: | @sc-architecture.co.uk | |

Are you an agent acting on behalf of the applicant? Yes No

2. Agent Name, Address and Contact Details

| | | |
|-------------------|---|-------------------------------|
| Title: Mr | First Name: _____ | Surname: _____ |
| Company name: | SC Architecture Ltd | |
| Street address: | Anchor House School Lane Chandlers Ford | |
| Town/City | Hampshire | |
| County: | Hampshire | |
| Country: | England | |
| Postcode: | SO53 4DY | |
| Telephone number: | Country Code: _____ | National Number: 02380 269222 |
| Mobile number: | Country Code: _____ | National Number: _____ |
| Fax number: | Country Code: _____ | National Number: _____ |
| Email address: | @sc-architecture.co.uk | |

3. Description of the Proposal

Please describe the proposed development including any change of use:

Existing ACF facility to be demolished and replaced with new Joint ATC (Air Training Corps) and ACF (Army Cadet Force) accommodation.

Has the building, work or change of use already started? Yes No

4. Site Address Details

Full postal address of the site (including full postcode where available)

| | | | |
|-----------------|----------------------------|---------|----------------------|
| House: | <input type="text"/> | Suffix: | <input type="text"/> |
| House name: | 1st Army Cadet Force Buffs | | |
| Street address: | Sturry Road | | |
| Town/City: | Canterbury | | |
| County: | Kent | | |
| Postcode: | CT1 1HR | | |

Description of location or a grid reference (must be completed if postcode is not known):

| | |
|-----------|--------|
| Eastings: | 615970 |
| Northing: | 158867 |

Description:

5. Pre-application Advice

Has assistance or prior advice been sought from the local authority about this application?

Yes No

6. Pedestrian and Vehicle Access, Roads and Rights of Way

Is a new or altered vehicle access proposed to or from the public highway?

Yes No

Is a new or altered pedestrian access proposed to or from the public highway?

Yes No

Are there any new public roads to be provided within the site?

Yes No

Are there any new public rights of way to be provided within or adjacent to the site?

Yes No

Do the proposals require any diversions/extinguishments and/or creation of rights of way?

Yes No

7. Waste Storage and Collection

Do the plans incorporate areas to store and aid the collection of waste?

Yes No

If Yes, please provide details:

As Existing

Have arrangements been made for the separate storage and collection of recyclable waste?

Yes No

If Yes, please provide details:

As Existing

8. Authority Employee/Member

With respect to the Authority, I am:

- (a) a member of staff
- (b) an elected member
- (c) related to a member of staff
- (d) related to an elected member

Do any of these statements apply to you?

Yes No

9. Materials

Please state what materials (including type, colour and name) are to be used externally (if applicable):

Walls - description:

Description of existing materials and finishes:

Traditional masonry - rendered

Description of proposed materials and finishes:

Plastisol coated steel. Colour: Albatross (RAL 240 80 05)

Roof - description:

Description of existing materials and finishes:

Clay tiles

Description of proposed materials and finishes:

Powder coated profiled metal roof. Colour: Alaska Grey

9. (Materials continued)

Windows - description:

Description of existing materials and finishes:

Wood, Single glazed

Description of proposed materials and finishes:

Powder coated aluminium windows, Double Glazed, Colour: Anthracite

Doors - description:

Description of existing materials and finishes:

Wood, Gloss Painted.

Description of proposed materials and finishes:

Powder coated aluminium, Colour: Anthracite

Boundary treatments - description:

Description of existing materials and finishes:

n/a

Description of proposed materials and finishes:

n/a

Vehicle access and hard standing - description:

Description of existing materials and finishes:

tarmac/concrete

Description of proposed materials and finishes:

As existing

Lighting - add description

Description of existing materials and finishes:

n/a

Description of proposed materials and finishes:

PIR Security Lighting

Are you supplying additional information on submitted plan(s)/drawing(s)/design and access statement?

If Yes, please state references for the plan(s)/drawing(s)/design and access statement:

3644.05; D&A

Yes No

10. Vehicle Parking

Please provide information on the existing and proposed number of on-site parking spaces:

| Type of vehicle | Existing number of spaces | Total proposed (including spaces retained) | Difference in spaces |
|--|---------------------------|--|----------------------|
| Cars | 0 | 0 | 0 |
| Light goods vehicles/public carrier vehicles | 0 | 0 | 0 |
| Motorcycles | 0 | 0 | 0 |
| Disability spaces | 0 | 0 | 0 |
| Cycle spaces | 0 | 0 | 0 |
| Other (e.g. Bus) | 0 | 0 | 0 |
| Short description of Other | | | |

11. Foul Sewage

Please state how foul sewage is to be disposed of:

Mains sewer

Package treatment plant

Unknown

Septic tank

Cess pit

Other

As Existing

Are you proposing to connect to the existing drainage system?

Yes No

Unknown

12. Assessment of Flood Risk

Is the site within an area at risk of flooding? (Refer to the Environment Agency's Flood Map showing flood zones 2 and 3 and consult Environment Agency standing advice and your local planning authority requirements for information as necessary.)

Yes No

If Yes, you will need to submit an appropriate flood risk assessment to consider the risk to the proposed site.

Is your proposal within 20 metres of a watercourse (e.g. river, stream or beck)?

Yes No

Will the proposal increase the flood risk elsewhere?

Yes No

How will surface water be disposed of?

Sustainable drainage system

Main sewer

Pond/lake

Soakaway

Existing watercourse

13. Biodiversity and Geological Conservation

To assist in answering the following questions refer to the guidance notes for further information on when there is a reasonable likelihood that any important biodiversity or geological conservation features may be present or nearby and whether they are likely to be affected by your proposals.

Having referred to the guidance notes, is there a reasonable likelihood of the following being affected adversely or conserved and enhanced within the application site, OR on land adjacent to or near the application site:

a) Protected and priority species

Yes, on the development site Yes, on land adjacent to or near the proposed development No

b) Designated sites, important habitats or other biodiversity features

Yes, on the development site Yes, on land adjacent to or near the proposed development No

c) Features of geological conservation importance

Yes, on the development site Yes, on land adjacent to or near the proposed development No

14. Existing Use

Please describe the current use of the site:

ACF Training Hall

Is the site currently vacant?

Yes No

Does the proposal involve any of the following?

If yes, you will need to submit an appropriate contamination assessment with your application.

Land which is known to be contaminated?

Yes No

Land where contamination is suspected for all or part of the site?

Yes No

A proposed use that would be particularly vulnerable to the presence of contamination?

Yes No

15. Trees and Hedges

Are there trees or hedges on the proposed development site?

Yes No

And/or: Are there trees or hedges on land adjacent to the proposed development site that could influence the development or might be important as part of the local landscape character?

Yes No

If Yes to either or both of the above, you may need to provide a full Tree Survey, at the discretion of your local planning authority. If a Tree Survey is required, this and the accompanying plan should be submitted alongside your application. Your local planning authority should make clear on its website what the survey should contain, in accordance with the current 'BS5837: Trees in relation to design, demolition and construction - Recommendations'.

16. Trade Effluent

Does the proposal involve the need to dispose of trade effluents or waste?

Yes No

17. Residential Units

Does your proposal include the gain or loss of residential units?

Yes No

18. All Types of Development: Non-residential Floorspace

Does your proposal involve the loss, gain or change of use of non-residential floorspace?

Yes No

| Use class/type of use | Existing gross internal floorspace (square metres) | Gross internal floorspace to be lost by change of use or demolition (square metres) | Total gross new internal floorspace proposed (including changes of use) (square metres) | Net additional gross internal floorspace following development (square metres) |
|-----------------------|--|---|---|--|
| | | | | |

25. Certificates (Certificate A)

Certificate of Ownership - Certificate A

Town and Country Planning (Development Management Procedure) (England) Order 2010 Certificate under Article 12

I certify/The applicant certifies that on the day 21 days before the date of this application nobody except myself/the applicant was the owner (owner is a person with a freehold interest or leasehold interest with at least 7 years left to run) of any part of the land to which the application relates, and that none of the land to which the application relates is, or is part of, an agricultural holding ("agricultural holding" has the meaning given by reference to the definition of "agricultural tenant" in section 65(8) of the Act).

Title: Mr First name: Surname:

Person role: Agent Declaration date: 09/12/2013 Declaration made

26. Declaration

I/we hereby apply for planning permission/consent as described in this form and the accompanying plans/drawings and additional information. I/we confirm that, to the best of my/our knowledge, any facts stated are true and accurate and any opinions given are the genuine opinions of the person(s) giving them.

Date 09/12/2013

18. All Types of Development: Non-residential Floorspace (continued)

| | | | | | | | |
|--------|-------------------------------------|-------|-------|-------|-------|-------|------|
| A1 | Shops Net Tradable Area | 0.0 | 0.0 | 0.0 | 0.0 | 0.0 | 0.0 |
| A2 | Financial and professional services | 0.0 | 0.0 | 0.0 | 0.0 | 0.0 | 0.0 |
| A3 | Restaurants and cafes | 0.0 | 0.0 | 0.0 | 0.0 | 0.0 | 0.0 |
| A4 | Drinking establishments | 0.0 | 0.0 | 0.0 | 0.0 | 0.0 | 0.0 |
| A5 | Hot food takeaways | 0.0 | 0.0 | 0.0 | 0.0 | 0.0 | 0.0 |
| B1 (a) | Office (other than A2) | 0.0 | 0.0 | 0.0 | 0.0 | 0.0 | 0.0 |
| B1 (b) | Research and development | 0.0 | 0.0 | 0.0 | 0.0 | 0.0 | 0.0 |
| B1 (c) | Light industrial | 0.0 | 0.0 | 0.0 | 0.0 | 0.0 | 0.0 |
| B2 | General industrial | 0.0 | 0.0 | 0.0 | 0.0 | 0.0 | 0.0 |
| B8 | Storage or distribution | 0.0 | 0.0 | 0.0 | 0.0 | 0.0 | 0.0 |
| C1 | Hotels and halls of residence | 0.0 | 0.0 | 0.0 | 0.0 | 0.0 | 0.0 |
| C2 | Residential institutions | 0.0 | 0.0 | 0.0 | 0.0 | 0.0 | 0.0 |
| D1 | Non-residential institutions | 0.0 | 0.0 | 0.0 | 0.0 | 0.0 | 0.0 |
| D2 | Assembly and leisure | 0.0 | 0.0 | 0.0 | 0.0 | 0.0 | 0.0 |
| Other | Please Specify | 217.0 | 217.0 | 217.0 | 217.0 | 274.0 | 57.0 |
| | Total | 217.0 | 217.0 | 217.0 | 217.0 | 274.0 | 57.0 |

For hotels, residential institutions and hostels, please additionally indicate the loss or gain of rooms:

| Use Class | Types of use | Existing rooms to be lost by change of use or demolition | Total rooms proposed (including changes of use) | Net additional rooms |
|-----------|--------------|--|---|----------------------|
|-----------|--------------|--|---|----------------------|

19. Employment

If known, please complete the following information regarding employees:

| | Full-time | Part-time | Equivalent number of full-time |
|--------------------|-----------|-----------|--------------------------------|
| Existing employees | 0 | 0 | 0 |
| Proposed employees | 0 | 0 | 0 |

20. Hours of Opening

If known, please state the hours of opening for each non-residential use proposed:

| Use | Monday to Friday Start Time End Time | Saturday Start Time End Time | Sunday and Bank Holidays Start Time End Time | Not Known |
|-----|--|------------------------------------|--|--------------|
|-----|--|------------------------------------|--|--------------|

21. Site Area

What is the site area?

1,555 sq.metres

22. Industrial or Commercial Processes and Machinery

Please describe the activities and processes which would be carried out on the site and the end products including plant, ventilation or air conditioning. Please include the type of machinery which may be installed on site:

n/a

Is the proposal for a waste management development? Yes No

23. Hazardous Substances

Is any hazardous waste involved in the proposal? Yes No

24. Site Visit

Can the site be seen from a public road, public footpath, bridleway or other public land? Yes No

If the planning authority needs to make an appointment to carry out a site visit, whom should they contact? (Please select only one)

The agent The applicant Other person

CANTERBURY CITY COUNCIL

DECISION NOTICE



Correspondence Address:

SC Architecture Ltd
Anchor House
School Lane
Chandlers Ford
Hampshire
SO53 4DY

RECEIVED 13 MAR 2014

Town and Country Planning Act 1990
Town and Country Planning (Development Management Procedure) (England)
Order 2010 (as amended)

Application Number: CA/13/02314/FUL
Location: 1st Army Cadet Force Buffs, Sturry Road, Canterbury, CT1 1HR
Proposal: Existing ACF (Army Cadet Force) facility to be demolished and replaced with new Joint ATC (Air Training Corps) and ACF (Army Cadet Force) accommodation.

Take notice that **Canterbury City Council**, the district planning authority under the Town and Country Planning Act 1990, has **GRANTED** your application, as described above, subject to the following conditions/reasons:

- 1 Unless otherwise agreed in writing by the local planning authority the development shall only be carried out in accordance with drawings 3644.00, 3644.03, 3644.04 and 3644.05 received on 11th December 2013 and materials as specified on these drawings.

REASON: To ensure the development is in accordance with the permission given.

This permission relates only to that required under the Town and Country Planning Acts and does not include any consent or approval under any other enactment or under the Building Regulations. Any other consent or approval which is necessary must be obtained from the appropriate authority.

Canterbury City Council
Military Road
CANTERBURY
CT1 1YW

www.canterbury.gov.uk
Telephone: 01227 862 000 (main switchboard)
Fax: 01227 862 020

CV 007113 CANTERBURY 3

Printed on recycled paper



1 VESTOR LN PH

NOTES TO APPLICANT

- 1 Applicants are reminded of hazards caused by asbestos materials especially during demolition and removal works and attention is drawn to the Asbestos Licensing Regulations 1983. Licensed Contractors only are permitted to remove asbestos which must be transferred to a licensed site. For further advice the Council's Chief Environmental Health Officer should be contacted.

- 2 In accordance with paragraphs 186 and 187 of the National Planning Policy Framework (NPPF) Canterbury City Council takes a positive and proactive approach to development proposals focused on solutions. Canterbury City Council works with applicants and or their agents in a positive and proactive manner by:
 - offering a pre-application advice service;
 - where appropriate updating applicants/agents of any issues that may arise in the processing of their application;
 - by adhering to the requirements of the Customer Charter.

In this case, the proposal was found to be acceptable and was approved.

Signed:

Date of Issue: 10 March 2014

Head of Planning and Regeneration

Application Ref: CA/13/02314/FUL

PB2

NOTES

1. This permission is confined to planning permission under the Town and Country Planning Acts and does not obviate the necessity of compliance with any other enactment, bye-law, or other provision whatsoever or of obtaining from the appropriate authority or authorities any permission, consent, approval or authorisation which may be required.

2. Appeals to the Secretary of State

If you are aggrieved by the decision of your local planning authority to grant permission for the proposed development subject to conditions, then you can appeal to the Secretary of State under section 78 of the Town and Country Planning Act 1990.

If you want to appeal, then you must do so within six months of the date of this decision.

Appeals must be made using a form which you can get from the Secretary of State at Temple Quay House, 2 The Square, Temple Quay, Bristol BS1 6PN (Tel: 0303 444 5000) or online at www.planningportal.gov.uk/pccs.

The Secretary of State can allow a longer period for giving notice of an appeal but will not normally be prepared to use this power unless there are special circumstances which excuse the delay in giving notice of appeal.

The Secretary of State need not consider an appeal if it seems to the Secretary of State that the local planning authority could not have granted planning permission for the proposed development or could not have granted it without the conditions they imposed, having regard to the statutory requirements, to the provisions of any development order and to any directions given under a development order.

In practice, the Secretary of State does not refuse to consider appeals solely because the local planning authority based its decision on a direction given by him.

3. Purchase Notice

If either the local planning authority or the Secretary of State for the Environment, Transport and the Regions grants permission to develop land subject to conditions, the owner may claim that he can neither put the land to a reasonably beneficial use, in its existing state nor can he render the land capable of a reasonably beneficial use by the carrying out of any development which has been or would be permitted.

In these circumstances, the owner may serve a purchase notice on the council. This notice will require the Council to purchase his interest in the land in accordance with the provisions of Part VI of the Town and Country Planning Act 1990.

4. If this permission will result in the provision

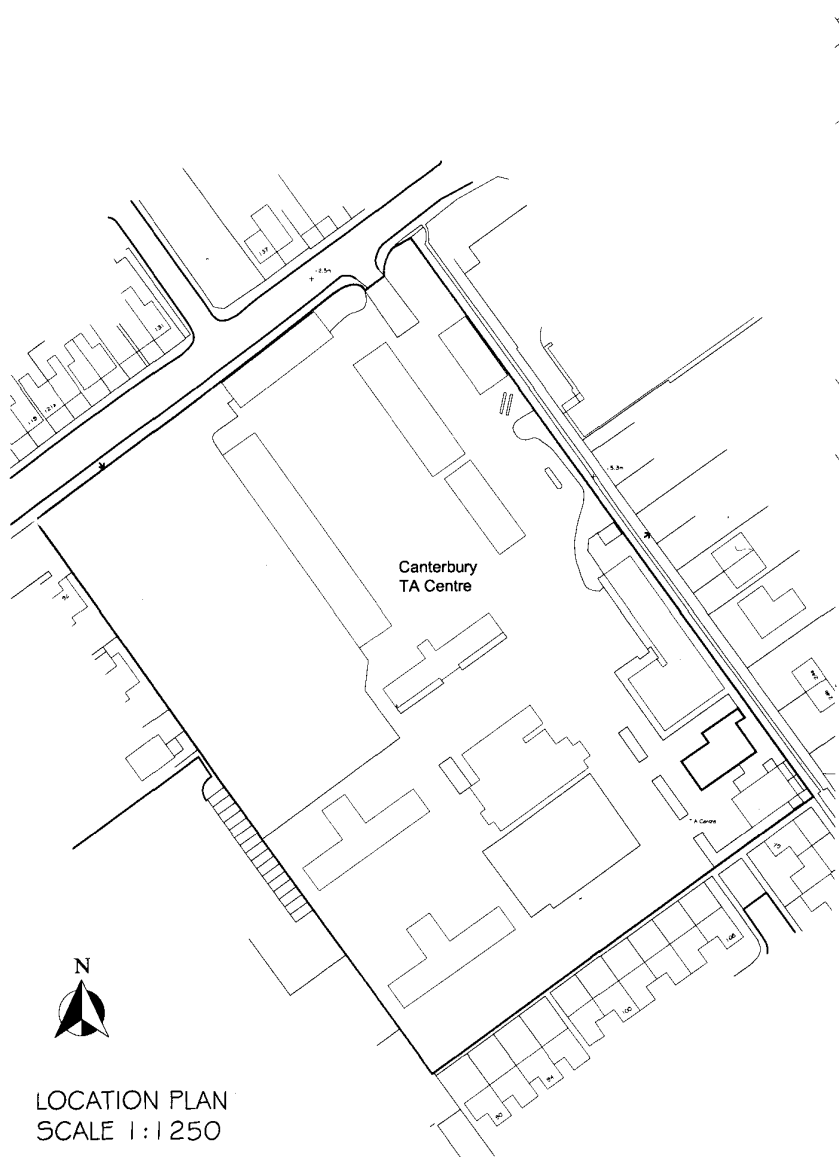
- (a) of a building or premises to which section 4 of the Chronically Sick and Disabled Persons Act 1970 applies (buildings or premises to which the public are to be admitted whether on payment or otherwise); or
- (b) of any of the following being in each case premises in which persons are employed to work:
 - (i) office premises, shop premises and railway premises to which the Offices, Shop and Railway Premises Act 1963 applies;
 - (ii) premises which are deemed to be such premises for the purposes of that Act; or
 - (iii) factories as defined by section 175 of the Factories Act 1961.

Section 76 of the Town and Country Planning Act 1990 requires that attention be drawn to:-

- (i) the Code of Practice for Access for the Disabled to Buildings (BS 5810:1979); or any prescribed document replacing that code;
- (ii) in the case of (a) above, to sections 4 and 7 of the Chronically Sick and Disabled Persons Act 1970, and
- (iii) in the case of (b) above, to sections 7 and 8A of the 1970 Act.

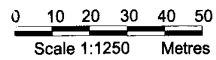
5. If this permission relates to or includes the erection or extension of a building, notice is hereby given of the provisions of section 53 of the County of Kent Act 1981 set out below:-

- (1) Except as provided in sub-section (2) below, where plans for the erection or extension of a building are deposited with a district council in accordance with building regulations, the district council shall reject the plans unless after consultation with the fire authority they are satisfied that the plans show -
 - (a) that there will be adequate means of access for the fire brigade to the building or, as the case may be, to the building as extended; and
 - (b) that the building or, as the case may be, the extension of the building will not render inadequate existing means of access for the fire brigade to a neighbouring building.
- (2) No requirement concerning means of access to a building or to a neighbouring building shall be made under this section in the case of a building to be erected or extended in pursuance of a planning permission granted upon an application made under the Act of 1990 unless notice of the provisions of this section is endorsed on or accompanies the planning permission.
- (3) Section 64(2) and section 65(2) to (5) of the Act of 1936 (notice of rejection or passing of plans and enforcement of requirements) shall apply as if this section were a section of the Act of 1936.
- (4) Any person aggrieved by the action of the district council in rejecting plans under this section may appeal to a magistrates' court.
- (5) In this section references to the adequacy or inadequacy of means of access for the fire brigade shall be construed as references to a means of access adequate or, as the case may be, inadequate for use for fire fighting purposes by members of one or more fire brigades and their appliances.

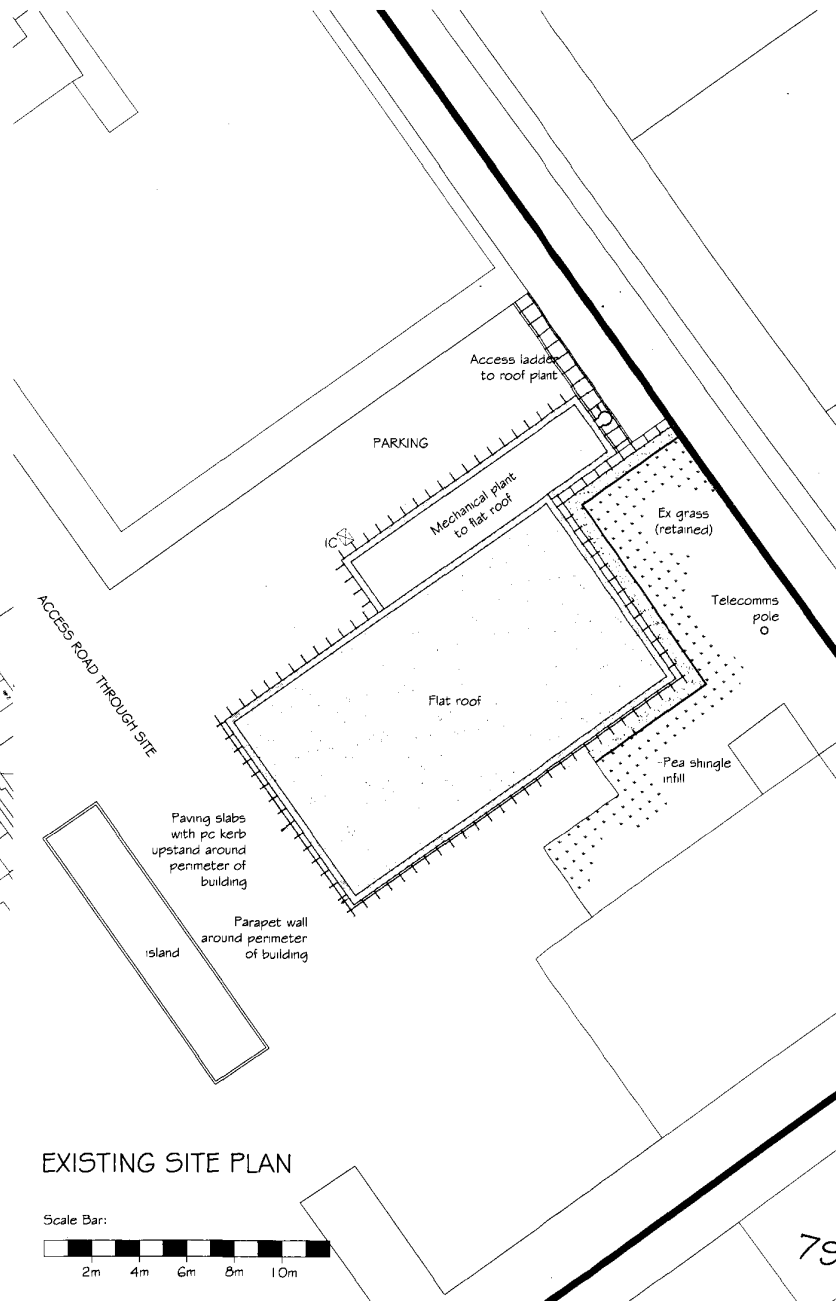


LOCATION PLAN
SCALE 1:1250

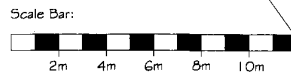
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Original Drawing Size: A3



EXISTING SITE PLAN



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SC Architecture
Anchor House, School Lane
Chandlers Ford, Eastleigh
Hampshire SO53 4DY

T: 023 8026 9222
E: info@sc-architecture.co.uk
W: www.sc-architecture.co.uk

Project Title:
Leros Barracks
Canterbury ARC
Sturry Road
Extension to Band Room

Drawing Title:
Existing
Location & Site Plan

Drawing No.:
3644-100

Revision: -

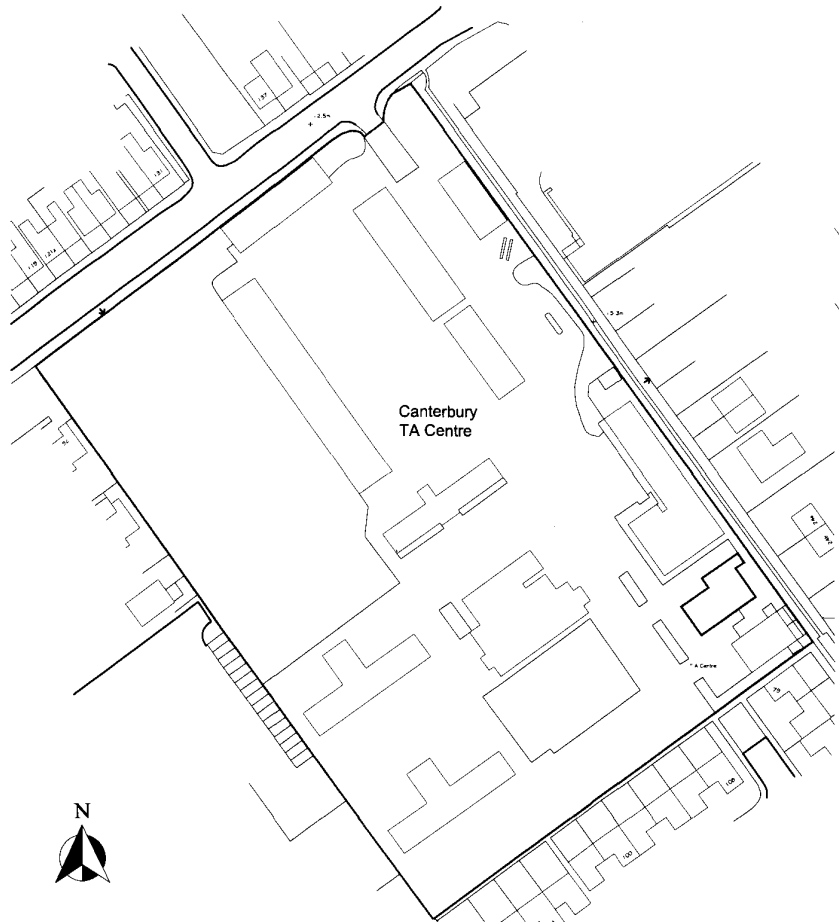
Date: April '14

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Drawn: SDW

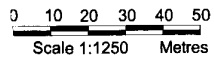
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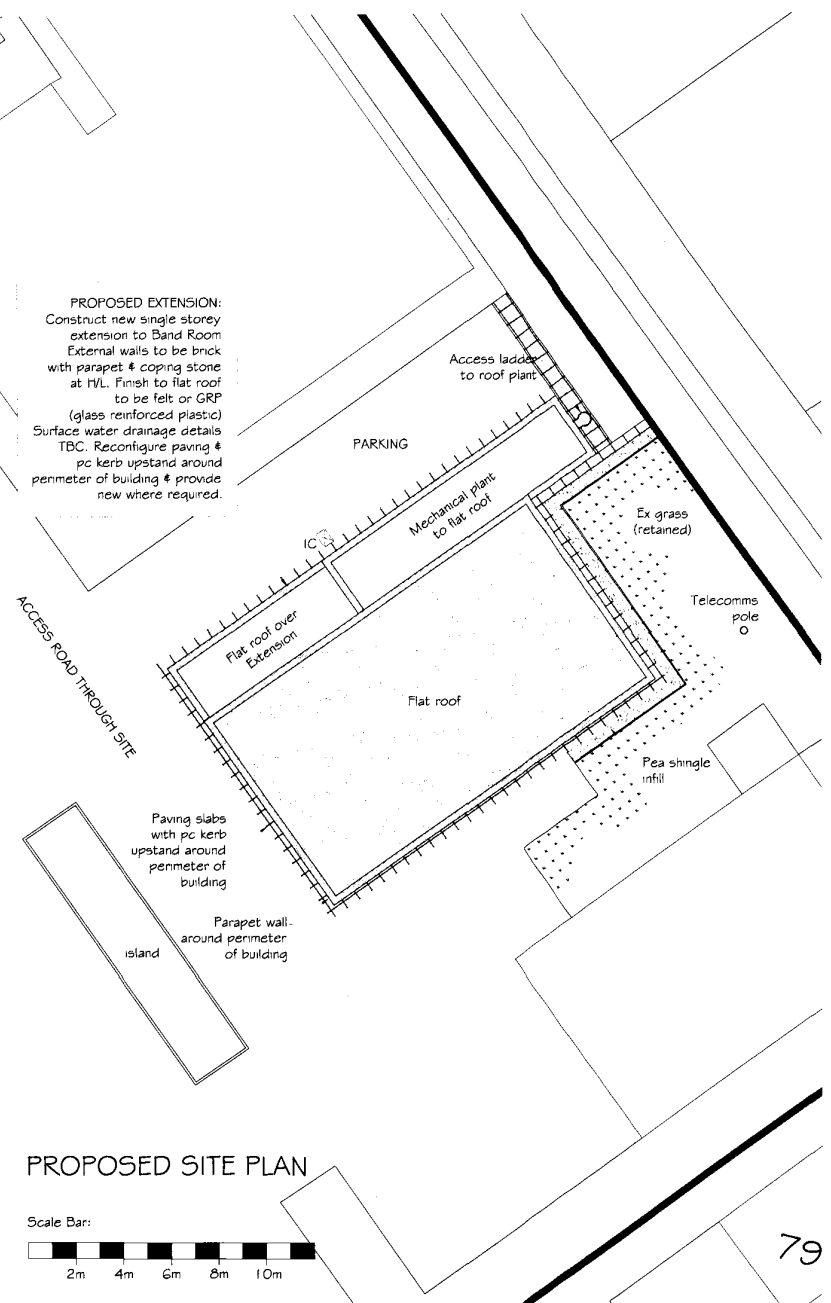
LOCATION PLAN
SCALE 1:1250

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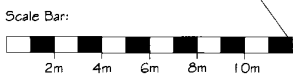


Original Drawing Size: A3

PROPOSED EXTENSION:
Construct new single storey extension to Band Room
External walls to be brick with parapet & coping stone at I/L. Finish to flat roof to be felt or GRP (glass reinforced plastic)
Surface water drainage details TBC. Reconfigure paving & pc kerb upstand around perimeter of building & provide new where required.



PROPOSED SITE PLAN



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SC Architecture
Anchor House, School Lane
Chandlers Ford, Eastleigh
Hampshire SO53 4DY

T: 023 8026 9222
E: info@sc-architecture.co.uk
W: www.sc-architecture.co.uk

Project Title:
Leros Barracks
Canterbury ARC
Sturry Road
Extension to Band Room

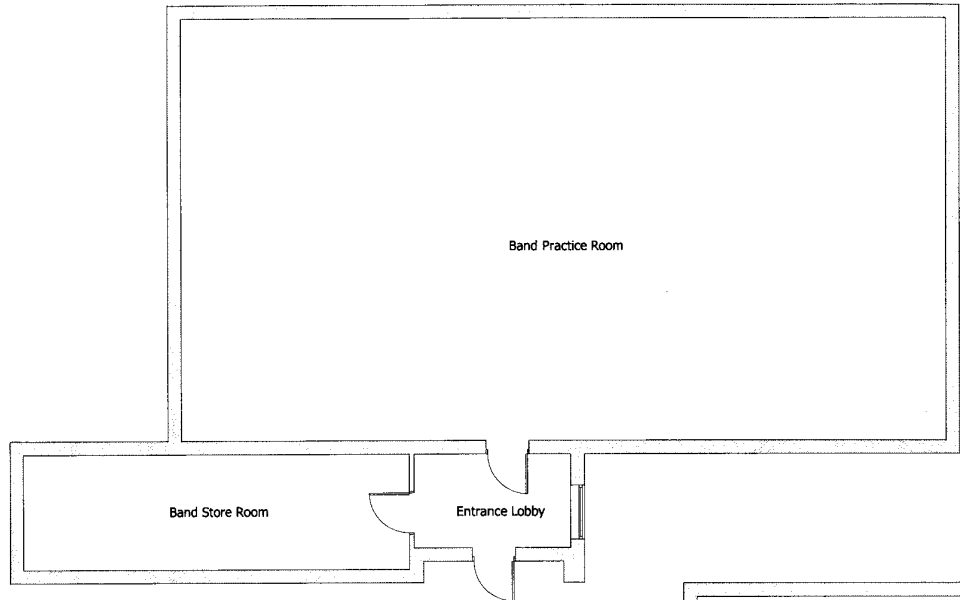
Drawing Title:
Proposed
Location & Site Plan

Drawing No.:
3644-101

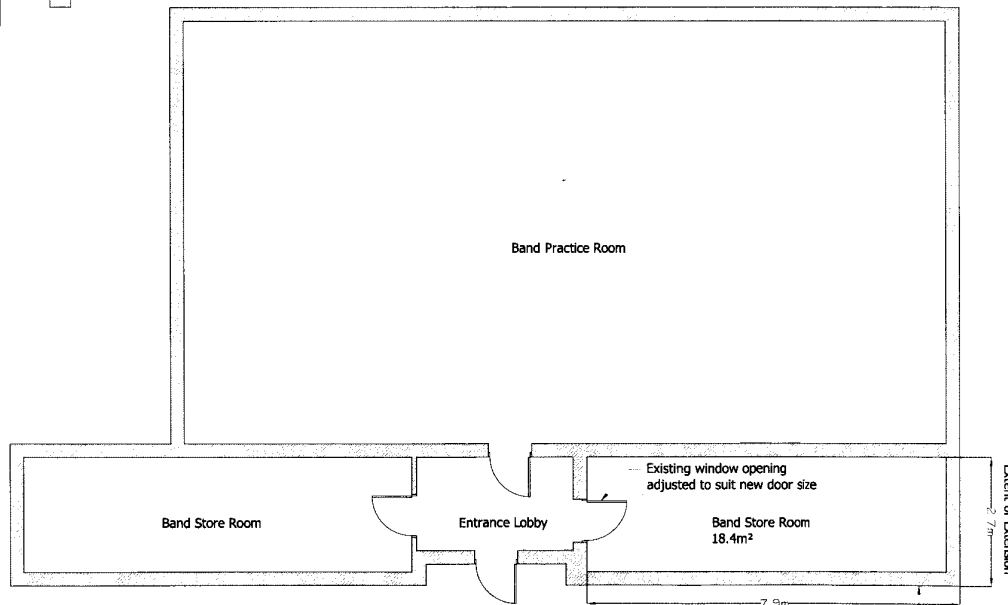
Revision: -
Date: April '14
Scale: 1:200 @ A3
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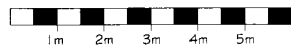


Floor Plan AS EXISTING
Scale 1:100 : A3



Floor Plan AS PROPOSED
Scale 1:100 : A3

Scale Bar:



Original Drawing Size: A3

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SC Architecture
Anchor House, School Lane
Chandlers Ford, Eastleigh
Hampshire SO53 4DU

T: 023 8026 9222
E: info@sc-architecture.co.uk
W: www.sc-architecture.co.uk

Project Title:
Leros Barracks
Canterbury ARC
Sturry Road
Extension to Band Room

Drawing Title:
Existing & Proposed
Floorplans

Drawing No.:
3644-102

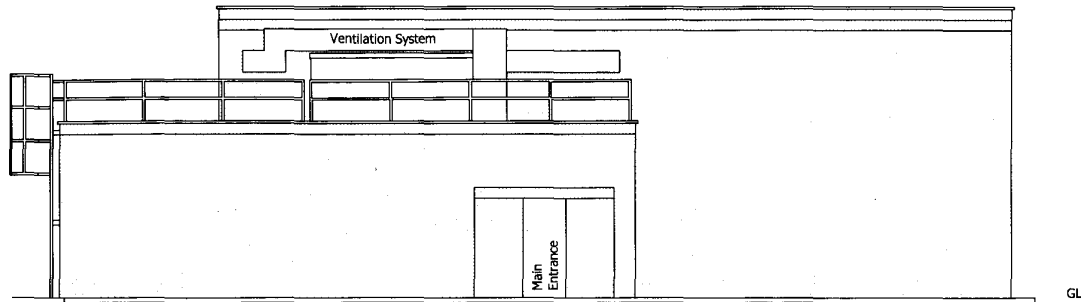
Revision: -
Date: April '14

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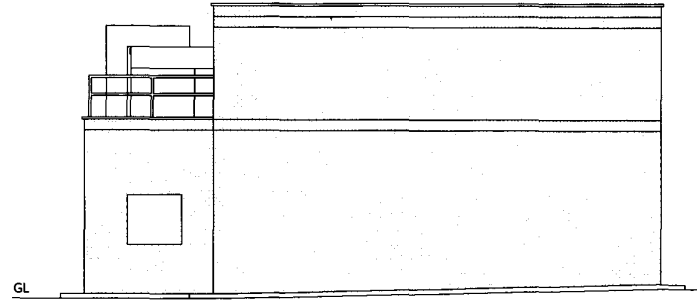
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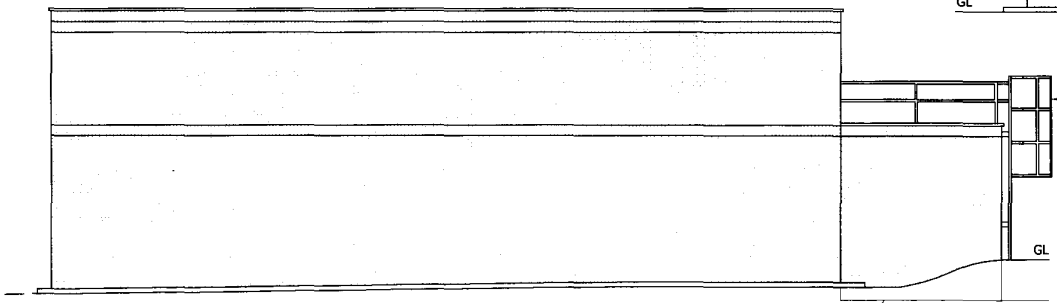
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Existing Front Elevation (North West)

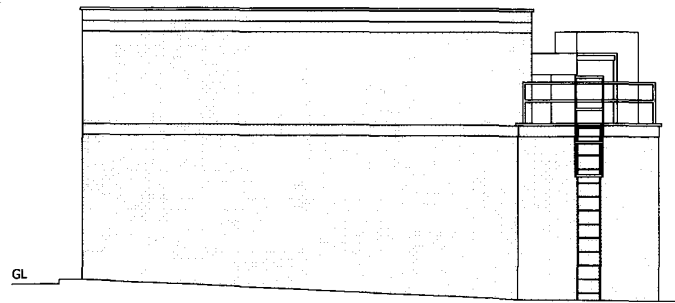


Existing Side Elevation (South West)

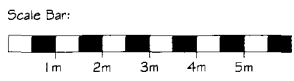


Existing Rear Elevation (South East)

Dashed line denotes ground levels beyond



Existing Side Elevation (North East)



Original Drawing Size: A3

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SC Architecture
 Anchor House, School Lane
 Chandlers Ford, Eastleigh
 Hampshire SO53 4DJ

T: 023 8026 9222
 E: info@sc-architecture.co.uk
 W: www.sc-architecture.co.uk

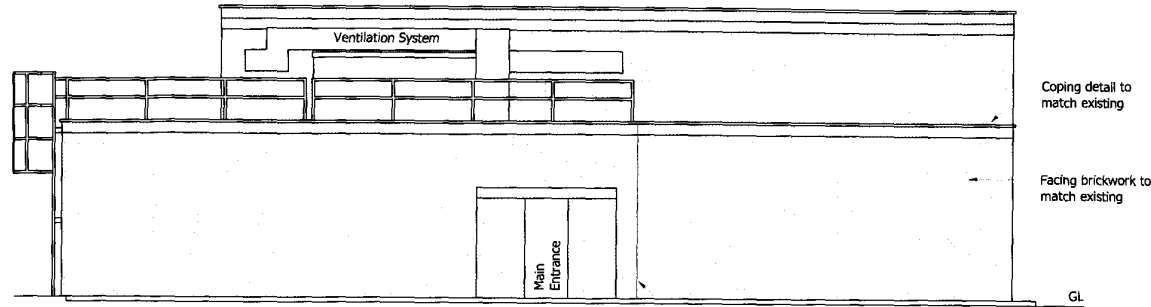
Project Title:
 Leros Barracks
 Canterbury ARC
 Sturry Road
 Extension to Band Room

Drawing Title:
 Existing
 Elevations

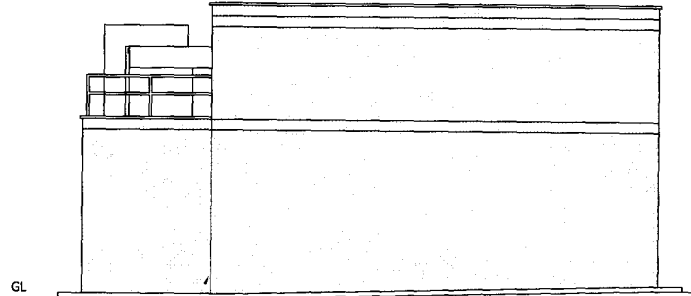
Drawing No.:
3644-103

Revision: -
 Date: April '14
 Scale: 1:100 @ A3
 Drawn: SDW
 Checked: MS

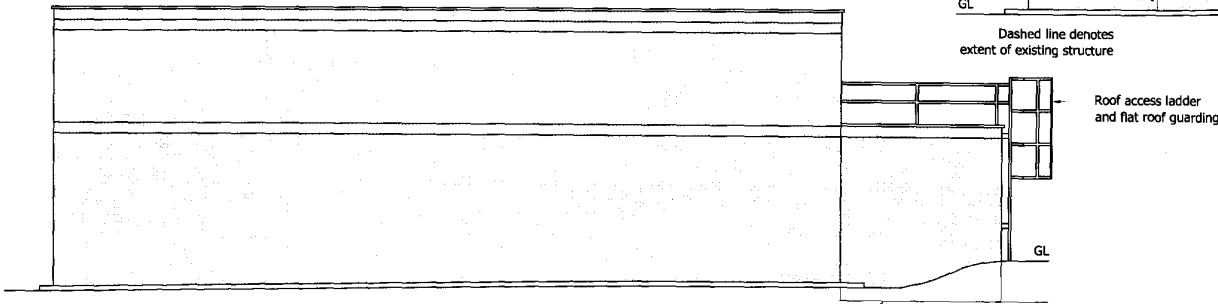
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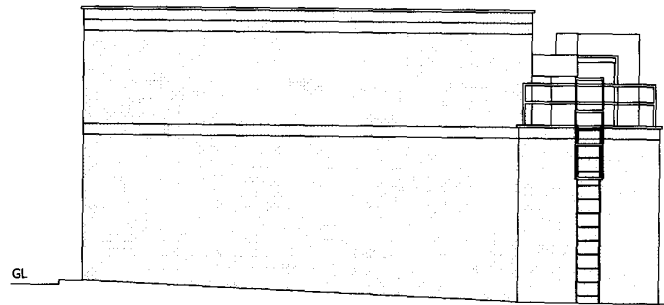
Proposed Front Elevation (North West) Dashed line denotes extent of existing structure



Proposed Side Elevation (South West) Dashed line denotes extent of existing structure

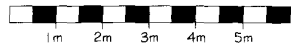


Proposed Rear Elevation (South East) NO CHANGE Dashed line denotes ground levels beyond



Proposed Side Elevation (North East) NO CHANGE

Scale Bar:



Original Drawing Size: A3

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SC Architecture

Anchor House, School Lane
Chandlers Ford, Eastleigh
Hampshire SO53 4EJ

T: 023 8026 9222
E: info@sc-architecture.co.uk
W: www.sc-architecture.co.uk

Project Title:
**Leros Barracks
Canterbury ARC
Sturry Road
Extension to Band Room**

Drawing Title:
**Proposed
Elevations**

Drawing No.:
3644-104

Revision: -

Date: April '14

Scale: 1:100 @ A3

Drawn: SDW

Checked: MS

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South East
Reserve Forces and
Cadet's Association

**Band Store Extension
Leros Barracks
CANTERBURY**

Revision: -
Date: 17 April 2014

SC Architecture

RIBA 
Chartered Practice

T: 023 8026 9222
W: www.sc-architecture.co.uk

Design and Access Statement

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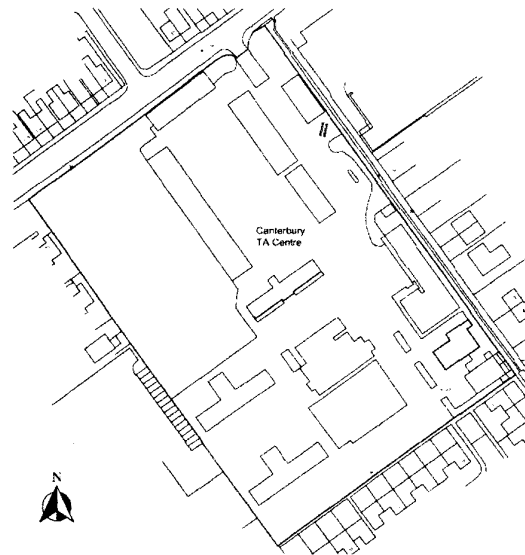


Figure 1 – Site Location Plan (application site highlighted in red)

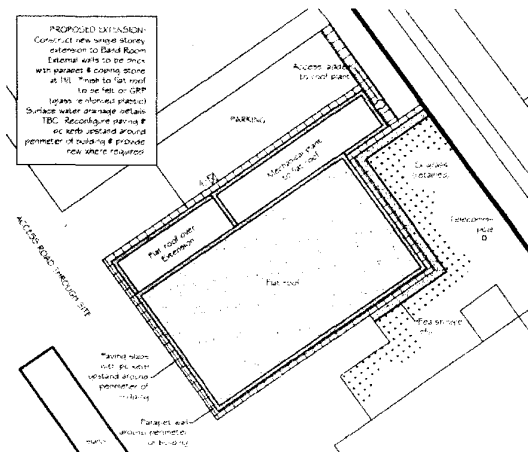


Figure 2 – Site As Existing

1. Introduction

1.1 The Application

This planning application is for the extension of an existing Army Cadet Force (ACF) and Air Training Corp (ATC) Band Practice building to house an additional Band Store room.

1.2 The Applicant

The applicant is the South East Reserve Forces and Cadet's Association (SERFCA), who, on behalf of the MOD, manage the estates of the Reserve Forces (Army Reserve), ACF and ATC within the region

1.3 Background

SERFCA have undertaken a number of rationalisation studies with a view to maximising the efficient use of their land and facilities. As part of this process it has been identified that an additional band store room is required to house ATC and ACF instruments and associated band equipment.

1.4 Applicants Agent

This application has been produced by SC Architecture on behalf of SERFCA

1.5 Planning Consultations

Due to the simple and non-controversial nature of the proposals the decision was taken to expedite the process by going straight to application

2. Context

2.1 The Requirement

The new build accommodation will provide an additional band store room to the building.

2.2 Site Location

The application site is located at Leros Barracks, Sturry Road (see figure 1) within the town of Canterbury, Kent. The site falls within the boundaries of Canterbury City Council. The site postcode is CT1 1HR.

2.3 Site Description

The site comprises a masonry built building, with a flat roof located at the rear of the Leros Barracks site. The existing building is in good condition and is used for band practice and storage (see figure 2).

The barracks as a whole comprises various buildings associated with the primary regimental occupants of the site, the 3rd Battalion Princess Of Wales Regiment (AR). To the front of the band store building lies Block D which houses Quartermaster stores and offices. To the rear (South East) Block E may be found, which houses offices and teaching rooms.



Figure 3 – Barracks Buildings



Figure 4 – Storage Building

2.4 Area Character

Sturry Road is a main arterial road (A28) that runs between Margate and Canterbury. Adjacent to the barracks site a mixture of retail and residential properties and units may be found, with a large expanse of woodland, Timpson Wood, to the South of the site. Predominant materials within the barracks are red and brown brick with clay and concrete tiles to roofs. Storage blocks are clad with a mixture of profiled metal cladding styles (see figures 3, 4).

2.5 Planning Policy

The application site is located within a designated Urban Area but outside of any conservation or other special character areas (see figure 5). Based on Local Policy the proposal to add a band storage area thus appears non contentious.

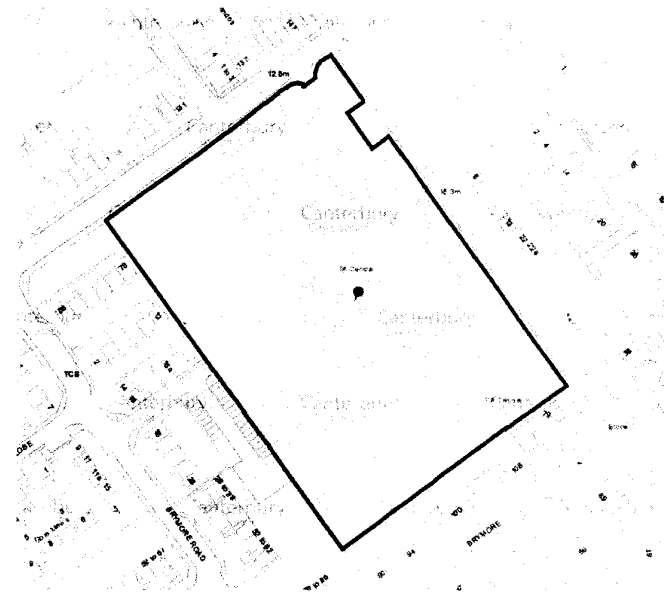


Figure 5 – Local Plan Extract

3. Survey / Investigation

3.1 Flood Risk

The Environment Agency flood risk maps were reviewed (extract at figure 6) and it was identified that the site does not lie within Flood Zones 2 or 3 and therefore no further flood risk assessment work has been undertaken.

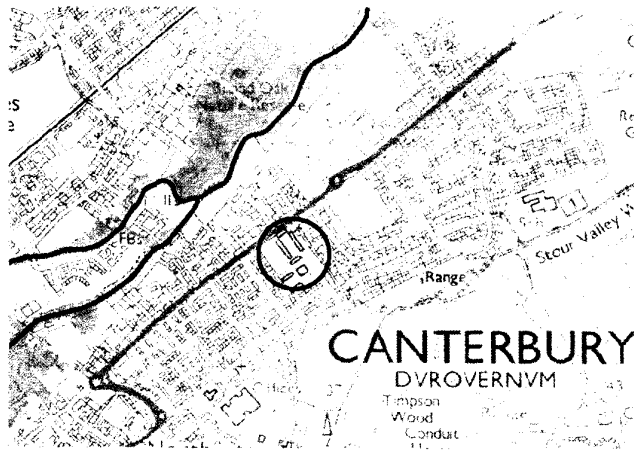


Figure 6 – Flood Map (extract). Site in red

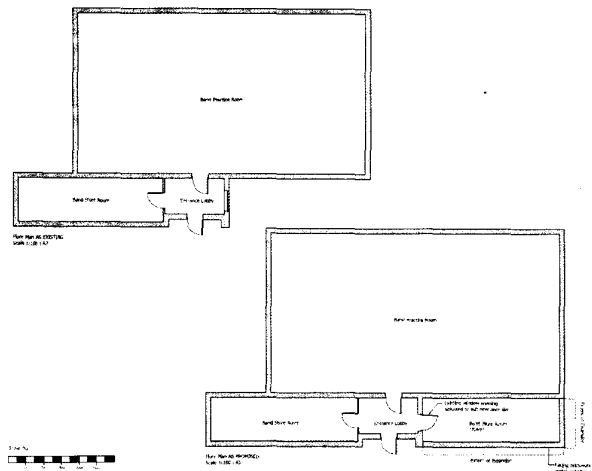


Figure 7 – Existing & Proposed Plans

3.2 Ecology

Due to the low ecological value of the existing managed grass landscaping/training field, it is not anticipated that the site is home to any valuable or protected species. A full ecological survey has therefore been deemed unnecessary.

3.3 Arboricultural

There are some significant trees within the site. However, most of these are located to the Sturry Road frontage and to the side of the barracks towards to the rear of the site. A detailed arboricultural report has been deemed unnecessary as these trees are located a significant distance from the proposal.

3.4 Transport

The additional facilities will not have an impact on transport infrastructure.

3.5 Noise Impact

No noise related issues are anticipated, as the building's extant use is for band practice.

3.6 Utilities

The existing utilities serving the site will be adequate for the proposed extension.

4. Proposals

4.1 Amount

The proposals involve the addition of approximately 18.4m² of accommodation to the extant band store.

4.2 Layout

The additional area will be located as an infill element to the existing building, which is positioned to the rear of the site near to Block D and Block E (see figure 7).

4.3 Scale

The new extension will protrude from the existing building at a scale (height and width) to match the existing store room to the east side of the entrance. The length of the extension terminates to meet the external wall of the existing building.

4.4 Appearance

Details are to match and be in-line with existing finishes. The flat roof will be covered with felt or glass reinforced plastic to match the existing conditions (see figure 8).

4.5 Landscaping

A precast curb will be constructed to the perimeter of the new extension to match the existing curb/hardstanding conditions.

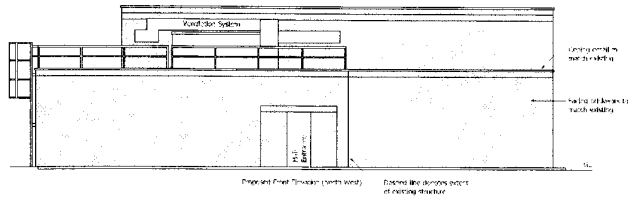


Figure 8 – Typical Elevations PROPOSED

4.6 Access & Inclusion

The proposed extension will be at the same finished floor level as the existing building.

4.7 Sustainability

Due to the size of the building no measures over and above those required by building regulations are anticipated. However, all schemes for RFCA's are developed with a view to obtaining a 'very good' rating on the MOD's DREAM assessment procedure, which is broadly equivalent to BREEAM.

4.8 Foul and Surface Water Drainage

There are no foul connections within the building. The new extension is being sited on an area of existing non-permeable hardstanding and as such no new soakaways or other means of storm water dispersal are therefore anticipated.

Our Ref: CAV14/00830/FUL
Case Officer
Telephone: 01227 862 178
Email: development.management@canterbury.gov.uk
WebSite: http://www.canterbury.gov.uk
Your ref:
Date: 08 May 2014

SC Architecture Ltd
Anchor House
School Lane
Chandlers Ford
Hampshire
SO53 4DY

Application No: CAV14/00830/FUL
Proposal: Single-storey side extension to existing band practice building to create a further band store room.
Location: 1st Army Cadet Force Buffs, Sturry Road, Canterbury, CT1 1HR

I acknowledge receipt of your application in respect of the above proposal which was received on 02 May 2014.

Your application has been checked to make sure everything is in order and if for any reason it is later found to be invalid you will be told as soon as possible.

If you have not received a decision by **27 June 2014** I will let you know why and ask you for more time to deal with it. Should you not agree you are entitled to treat this application as if it had been refused and appeal to the Secretary of State for Transport, Local Government and the Regions. This can be done by completing a form obtainable from the Planning Inspectorate, 3/07 Kite Wing, Temple Quay House, 2 The Square, Temple Quay, Bristol, BS1 6PN.

If you wish to discuss the progress of your application **please contact the Council's Contact Centre on the number listed above.**

Yours sincerely

Head of Planning

CANTERBURY CITY COUNCIL

DECISION NOTICE



Correspondence Address:

SC Architecture Ltd
Anchor House
School Lane
Chandlers Ford
Hampshire
SO53 4DY

RECEIVED 19 JUN 2014

**Town and Country Planning Act 1990
Town and Country Planning (Development Management Procedure) (England)
Order 2010 (as amended)**

Application Number: CA/14/00830/FUL

Location: 1st Army Cadet Force Buffs, Sturry Road, Canterbury, CT1 1HR
Proposal: Single-storey side extension to existing band practice building to create a further band store room.

Take notice that **Canterbury City Council**, the district planning authority under the Town and Country Planning Act 1990, has **GRANTED** your application, as described above, subject to the following conditions/reasons:

- 1 The development to which this permission relates must be begun not later than the expiration of three years beginning with the date on which this permission is granted.

REASON: In pursuance of Section 91(1) of the Town and Country Planning Act 1990 as amended by Section 51 of the Planning and Compulsory Purchase Act 2004.

- 2 Unless otherwise agreed in writing by the local planning authority the development shall only be carried out in accordance with drawings 3644-101 Rev C, 3644-102 and 3644-104 received on 2nd May 2014.

REASON: To ensure the development is in accordance with the permission given.

This permission relates only to that required under the Town and Country Planning Acts and does not include any consent or approval under any other enactment or under the Building Regulations. Any other consent or approval which is necessary must be obtained from the appropriate authority.



Canterbury City Council
Military Road
CANTERBURY
CT1 1YW

www.canterbury.gov.uk
Telephone: 01227 862 000 (main switchboard)
Fax: 01227 862 020

DX 997113 CANTERBURY3



WE STORE PEOPLE

NOTES TO APPLICANT

1

In accordance with paragraphs 186 and 187 of the National Planning Policy Framework (NPPF) Canterbury City Council takes a positive and proactive approach to development proposals focused on solutions. Canterbury City Council works with applicants and or their agents in a positive and proactive manner by:

- offering a pre-application advice service;
- where appropriate updating applicants/agents of any issues that may arise in the processing of their application;
- by adhering to the requirements of the Customer Charter.

In this case, the proposal was found to be acceptable and was approved.

Signed:

Date of Issue: 16 June 2014

Head of Planning and Regeneration

Application Ref: CA/14/00830/FUL

PB2

NOTES

1. This permission is confined to planning permission under the Town and Country Planning Acts and does not obviate the necessity of compliance with any other enactment, bye-law, or other provision whatsoever or of obtaining from the appropriate authority or authorities any permission, consent, approval or authorisation which may be required.

2. Appeals to the Secretary of State

If you are aggrieved by the decision of your local planning authority to grant permission for the proposed development subject to conditions, then you can appeal to the Secretary of State under section 78 of the Town and Country Planning Act 1990.

If you want to appeal, then you must do so within six months of the date of this decision.

Appeals must be made using a form which you can get from the Secretary of State at Temple Quay House, 2 The Square, Temple Quay, Bristol BS1 6PN (Tel: 0303 444 5000) or online at www.planningportal.gov.uk/pas.

The Secretary of State can allow a longer period for giving notice of an appeal but will not normally be prepared to use this power unless there are special circumstances which excuse the delay in giving notice of appeal.

The Secretary of State need not consider an appeal if it seems to the Secretary of State that the local planning authority could not have granted planning permission for the proposed development or could not have granted it without the conditions they imposed, having regard to the statutory requirements, to the provisions of any development order and to any directions given under a development order.

In practice, the Secretary of State does not refuse to consider appeals solely because the local planning authority based its decision on a direction given by him.

3. Purchase Notice

If either the local planning authority or the Secretary of State for the Environment, Transport and the Regions grants permission to develop land subject to conditions, the owner may claim that he can neither put the land to a reasonably beneficial use in its existing state nor can he render the land capable of a reasonably beneficial use by the carrying out of any development which has been or would be permitted.

In these circumstances, the owner may serve a purchase notice on the council. This notice will require the Council to purchase his interest in the land in accordance with the provisions of Part VI of the Town and Country Planning Act 1990.

4. If this permission will result in the provision

- (a) of a building or premises to which section 4 of the Chronically Sick and Disabled Persons Act 1970 applies (buildings or premises to which the public are to be admitted whether on payment or otherwise); or
- (b) of any of the following being in each case premises in which persons are employed to work:
 - (i) office premises, shop premises and railway premises to which the Offices, Shop and Railway Premises Act 1963 applies;
 - (ii) premises which are deemed to be such premises for the purposes of that Act; or
 - (iii) factories as defined by section 175 of the Factories Act 1961.

Section 76 of the Town and Country Planning Act 1990 requires that attention be drawn to:-

- (i) the Code of Practice for Access for the Disabled to Buildings (BS 5810:1979); or any prescribed document replacing that code;
- (ii) in the case of (a) above, to sections 4 and 7 of the Chronically Sick and Disabled Persons Act 1970; and
- (iii) in the case of (b) above, to sections 7 and 8A of the 1970 Act.

5. If this permission relates to or includes the erection or extension of a building, notice is hereby given of the provisions of section 53 of the County of Kent Act 1981 set out below:-

- (1) Except as provided in sub-section (2) below, where plans for the erection or extension of a building are deposited with a district council in accordance with building regulations, the district council shall reject the plans unless after consultation with the fire authority they are satisfied that the plans show -
 - (a) that there will be adequate means of access for the fire brigade to the building or, as the case may be, to the building as extended; and
 - (b) that the building or, as the case may be, the extension of the building will not render inadequate existing means of access for the fire brigade to a neighbouring building.
- (2) No requirement concerning means of access to a building or to a neighbouring building shall be made under this section in the case of a building to be erected or extended in pursuance of a planning permission granted upon an application made under the Act of 1990 unless notice of the provisions of this section is endorsed on or accompanies the planning permission.
- (3) Section 64(2) and section 65(2) to (5) of the Act of 1936 (notice of rejection or passing of plans and enforcement of requirements) shall apply as if this section were a section of the Act of 1936.
- (4) Any person aggrieved by the action of the district council in rejecting plans under this section may appeal to a magistrates' court.
- (5) In this section references to the adequacy or inadequacy of means of access for the fire brigade shall be construed as references to a means of access adequate or, as the case may be, inadequate for use for fire fighting purposes by members of one or more fire brigades and their appliances.



Application for Planning Permission. Town and Country Planning Act 1990

Publication of applications on planning authority websites.

Please note that the information provided on this application form and in supporting documents may be published on the Authority's website. If you require any further clarification, please contact the Authority's planning department.

1. Applicant Name, Address and Contact Details

| | | | | | |
|-------------------|--------------------------|-----------------|------------------|----------|--|
| Title: | Mr | First name: | | Surname: | |
| Company name: | SERFCA | | | | |
| Street address: | Seely House Shoe Lane | | | | |
| Town/City: | Aldershot Hants | | | | |
| Country: | United Kingdom | | | | |
| Postcode: | GU11 2HJ | | | | |
| Telephone number: | Country Code | National Number | Extension Number | | |
| Mobile number: | | 01252 357605 | | | |
| Fax number: | | | | | |
| Email address: | | | | | |

Are you an agent acting on behalf of the applicant? Yes No

2. Agent Name, Address and Contact Details

| | | | | | |
|-------------------|---|-----------------|------------------|----------|--|
| Title: | Mr | First Name: | | Surname: | |
| Company name: | SC Architecture Ltd | | | | |
| Street address: | Anchor House School Lane Chandlers Ford | | | | |
| Town/City: | Hampshire | | | | |
| Country: | United Kingdom | | | | |
| Postcode: | SO53 4DY | | | | |
| Telephone number: | Country Code | National Number | Extension Number | | |
| Mobile number: | | 02380 269222 | | | |
| Fax number: | | | | | |
| Email address: | sc-architecture.co.uk | | | | |

3. Description of the Proposal

Please describe the proposed development including any change of use:

Single story side extension to existing band practice building to create a further band store room.

Has the building, work or change of use already started? Yes No

4. Site Address Details

Full postal address of the site (including full postcode where available)

| | | | |
|-----------------|----------------------------|---------|----------------------|
| House: | <input type="text"/> | Suffix: | <input type="text"/> |
| House name: | 1st Army Cadet Force Buffs | | |
| Street address: | Sturry Road | | |
| Town/City: | Canterbury | | |
| County: | Kent | | |
| Postcode: | CT1 1HR | | |

Description of location or a grid reference (must be completed if postcode is not known):

| | |
|-----------|--------|
| Easting: | 615970 |
| Northing: | 158867 |

Description:

5. Pre-application Advice

Has assistance or prior advice been sought from the local authority about this application? Yes No

6. Pedestrian and Vehicle Access, Roads and Rights of Way

Is a new or altered vehicle access proposed to or from the public highway? Yes No

Is a new or altered pedestrian access proposed to or from the public highway? Yes No

Are there any new public roads to be provided within the site? Yes No

Are there any new public rights of way to be provided within or adjacent to the site? Yes No

Do the proposals require any diversions/extinguishments and/or creation of rights of way? Yes No

7. Waste Storage and Collection

Do the plans incorporate areas to store and aid the collection of waste? Yes No

Have arrangements been made for the separate storage and collection of recyclable waste? Yes No

8. Authority Employee/Member

With respect to the Authority, I am:

- (a) a member of staff
- (b) an elected member
- (c) related to a member of staff
- (d) related to an elected member

Do any of these statements apply to you? Yes No

9. Materials

Please state what materials (including type, colour and name) are to be used externally (if applicable):

Walls - description:

Description of existing materials and finishes:

Brick Work

Description of proposed materials and finishes:

Brick Work to match

Roof - description:

Description of existing materials and finishes:

Flat roof

Description of proposed materials and finishes:

Flat roof - high performance felt

Are you supplying additional information on submitted plan(s)/drawing(s)/design and access statement?

If Yes, please state references for the plan(s)/drawing(s)/design and access statement:

Yes No

3644_100
3644_101
3644_102
3644_103
3644_104
3644_D&A

10. Vehicle Parking

Please provide information on the existing and proposed number of on-site parking spaces:

| Type of vehicle | Existing number of spaces | Total proposed (including spaces retained) | Difference in spaces |
|--|---------------------------|--|----------------------|
| Cars | 0 | 0 | 0 |
| Light goods vehicles/public carrier vehicles | 0 | 0 | 0 |
| Motorcycles | 0 | 0 | 0 |
| Disability spaces | 0 | 0 | 0 |
| Cycle spaces | 0 | 0 | 0 |
| Other (e.g. Bus) | 0 | 0 | 0 |
| Short description of Other | | | |

11. Foul Sewage

Please state how foul sewage is to be disposed of:

Mains sewer Package treatment plant Unknown
 Septic tank Cess pit

Other

In/a

Are you proposing to connect to the existing drainage system? Yes No Unknown

12. Assessment of Flood Risk

Is the site within an area at risk of flooding? (Refer to the Environment Agency's Flood Map showing flood zones 2 and 3 and consult Environment Agency standing advice and your local planning authority requirements for information as necessary.) Yes No

If Yes, you will need to submit an appropriate flood risk assessment to consider the risk to the proposed site.

Is your proposal within 20 metres of a watercourse (e.g. river, stream or beck)? Yes No

Will the proposal increase the flood risk elsewhere? Yes No

How will surface water be disposed of?

Sustainable drainage system Main sewer Pond/lake
 Soakaway Existing watercourse

13. Biodiversity and Geological Conservation

To assist in answering the following questions refer to the guidance notes for further information on when there is a reasonable likelihood that any important biodiversity or geological conservation features may be present or nearby and whether they are likely to be affected by your proposals.

Having referred to the guidance notes, is there a reasonable likelihood of the following being affected adversely or conserved and enhanced within the application site, OR on land adjacent to or near the application site:

- a) Protected and priority species
 Yes, on the development site Yes, on land adjacent to or near the proposed development No
- b) Designated sites, important habitats or other biodiversity features
 Yes, on the development site Yes, on land adjacent to or near the proposed development No
- c) Features of geological conservation importance
 Yes, on the development site Yes, on land adjacent to or near the proposed development No

14. Existing Use

Please describe the current use of the site:

Army Reserve Centre (ARC)

Is the site currently vacant? Yes No

Does the proposal involve any of the following?

If yes, you will need to submit an appropriate contamination assessment with your application.

Land which is known to be contaminated? Yes No

Land where contamination is suspected for all or part of the site? Yes No

A proposed use that would be particularly vulnerable to the presence of contamination? Yes No

15. Trees and Hedges

Are there trees or hedges on the proposed development site? Yes No

And/or: Are there trees or hedges on land adjacent to the proposed development site that could influence the development or might be important as part of the local landscape character? Yes No

If Yes to either or both of the above, you may need to provide a full Tree Survey, at the discretion of your local planning authority. If a Tree Survey is required, this and the accompanying plan should be submitted alongside your application. Your local planning authority should make clear on its website what the survey should contain, in accordance with the current 'BS5837: Trees in relation to design, demolition and construction - Recommendations'.

16. Trade Effluent

Does the proposal involve the need to dispose of trade effluents or waste? Yes No

17. Residential Units

Does your proposal include the gain or loss of residential units? Yes No

18. All Types of Development: Non-residential Floorspace

Does your proposal involve the loss, gain or change of use of non-residential floorspace?

Yes No

| Use class/type of use | Existing gross internal floorspace (square metres) | Gross internal floorspace to be lost by change of use or demolition (square metres) | Total gross new internal floorspace proposed (including changes of use) (square metres) | Net additional gross internal floorspace following development (square metres) |
|--|--|---|---|--|
| A1 Shops Net Tradable Area | 0.0 | 0.0 | 0.0 | 0.0 |
| A2 Financial and professional services | 0.0 | 0.0 | 0.0 | 0.0 |
| A3 Restaurants and cafes | 0.0 | 0.0 | 0.0 | 0.0 |
| A4 Drinking establishments | 0.0 | 0.0 | 0.0 | 0.0 |
| A5 Hot food takeaways | 0.0 | 0.0 | 0.0 | 0.0 |
| B1 (a) Office (other than A2) | 0.0 | 0.0 | 0.0 | 0.0 |
| B1 (b) Research and development | 0.0 | 0.0 | 0.0 | 0.0 |
| B1 (c) Light industrial | 0.0 | 0.0 | 0.0 | 0.0 |
| B2 General industrial | 0.0 | 0.0 | 0.0 | 0.0 |
| B8 Storage or distribution | 0.0 | 0.0 | 0.0 | 0.0 |
| C1 Hotels and halls of residence | 0.0 | 0.0 | 0.0 | 0.0 |
| C2 Residential institutions | 0.0 | 0.0 | 0.0 | 0.0 |
| D1 Non-residential institutions | 0.0 | 0.0 | 0.0 | 0.0 |
| D2 Assembly and leisure | 0.0 | 0.0 | 0.0 | 0.0 |
| Other Please Specify | 171.3 | 0.0 | 192.5 | 192.5 |
| Total | 171.3 | 0.0 | 192.5 | 192.5 |

For hotels, residential institutions and hostels, please additionally indicate the loss or gain of rooms:

| Use Class | Types of use | Existing rooms to be lost by change of use or demolition | Total rooms proposed (including changes of use) | Net additional rooms |
|-----------|--------------|--|---|----------------------|
| | | | | |

19. Employment

If known, please complete the following information regarding employees:

| | Full-time | Part-time | Equivalent number of full-time |
|--------------------|-----------|-----------|--------------------------------|
| Existing employees | 0 | 0 | 0 |
| Proposed employees | 0 | 0 | 0 |

20. Hours of Opening

If known, please state the hours of opening (e.g. 15:30) for each non-residential use proposed:

| Use | Monday to Friday Start Time End Time | Saturday Start Time End Time | Sunday and Bank Holidays Start Time End Time | Not Known End Time |
|-------|--|------------------------------------|--|-------------------------------------|
| Other | | | | <input checked="" type="checkbox"/> |

21. Site Area

What is the site area? sq.metres

22. Industrial or Commercial Processes and Machinery

Please describe the activities and processes which would be carried out on the site and the end products including plant, ventilation or air conditioning. Please include the type of machinery which may be installed on site:

Is the proposal for a waste management development? Yes No

23. Hazardous Substances

Is any hazardous waste involved in the proposal? Yes No

24. Site Visit

Can the site be seen from a public road, public footpath, bridleway or other public land? Yes No
If the planning authority needs to make an appointment to carry out a site visit, whom should they contact? (Please select only one)

The agent The applicant Other person

25. Certificates (Certificate A)

Certificate of Ownership - Certificate A

Town and Country Planning (Development Management Procedure) (England) Order 2010 Certificate under Article 12

I certify/The applicant certifies that on the day 21 days before the date of this application nobody except myself/the applicant was the owner (owner is a person with a freehold interest or leasehold interest with at least 7 years left to run) of any part of the land to which the application relates, and that none of the application relates is, or is part of, an agricultural holding ("agricultural holding" has the meaning given by reference to the definition of "agricultural tenant" in section 65(8) of the Act).

Title: First name: Surname:

Person role: Declaration date: Declaration made

26. Declaration

I/we hereby apply for planning permission/consent as described in this form and the accompanying plans/drawings and additional information. I/we confirm that, to the best of my/our knowledge, any facts stated are true and accurate and any opinions given are the genuine opinions of the person(s) giving them.

Date

2.8.5 SD01 – Form 1

DELEGATION OF CORE WORKS/WORK SERVICES – PROJECT FIRE OFFICER

The following Core Works/Work Services (*please state whether Core Works or Work Services*) have been issued, and the point of contact is as follows:

1. Works Serial Number: Tbc
2. Title: New Joint Cadet Centre & Band Practice Room Extension
3. Address of Works: Leros Barracks; Canterbury
4. Description: New Joint Cadet Centre (ACF/ ATC)

5. RPC Area:

6. Main Contact Points:

DE Project Manager:

Project Fire Officer:

Name: (SERFCA)

Name: Group Manager

Address: Seely House, Shoe Lane,
Aldershot

Address: DFRMO SE Fire Safety
Advisor,
Building 19/20
DFTDC Manston
Ramsgate
Kent

Post Code: GU11 2HJ

Post Code: CT12 5BS

Tel No; 01622766806
07943829813

Tel No:
Mobile:
Fax No.

Fax No:

E-mail:

E-mail: 2X-DFRMO-

Please keep the RFSM informed of the key stages in this project.

All Core Works must be notified to the Regional Fire Safety Manager using this form as the method of notification in electronic format to the contact details below.

Regional Fire Safety Manager: Divisional Officer

Address: MOD DFRMO, RFSM South Area, Building N215, HMNB Devonport, Plymouth,
Devon, PL2 2BG

Telephone:

E-mail:

Alternate:

Date Delegated:

TO BE PERMANENTLY AFFIXED TO THE INSIDE COVER OF:
MOD FIRE OFFICER'S FILES
WORKS SERVICE MANAGERS FILES

CERTIFICATE A

RESTRICTION OF FIRE PROTECTION WORKS SERVICES FWD STAGE FOR NEW PROJECTS

Project: New Joint Cadet Centre and Band Practice Room Extension, Leros Barracks, Canterbury.

Project Drawing Numbers: 3644-116

Project Report Dated: 20 Jun 14

1. This document certifies that the means of escape, structural and engineering fire precautions for this project annotated on the above-mentioned project drawings are of an acceptable standard.
2. No additional precautions are to be recommended unless there is a:
 - a. Retrospective statutory or MOD Directive.
 - b. Significant change in design or occupancy.
 - c. Statutory Bar rule.

MOD Fire Officer: Appointment SE Fire Safety - Group Manager

Signature: Date: 3 Jul 14

| Endorsements/Waivers | |
|----------------------|-----------|
| Date | Amendment |
| | |

TO BE PERMANENTLY AFFIXED TO THE INSIDE COVER OF:

MOD FIRE OFFICER'S FILES
WORKS SERVICE MANAGERS FILES

CERTIFICATE A

RESTRICTION OF FIRE PROTECTION WORKS SERVICES FWD STAGE FOR NEW PROJECTS

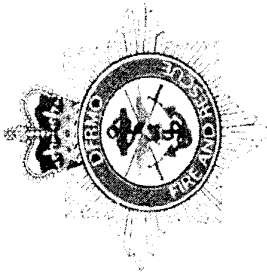
| | |
|--------------------------|--|
| Project: | New Joint Cadet Centre, Leroy Barracks, Canterbury, Kent |
| Project Drawing Numbers: | 2K1407-6/FES Revision A (02/09/2014) 2K1407-6/P Revision A (27/08/2014) |
| Project Report Dated: | 20 Jun 14 |

1. This document certifies that the means of escape, structural and engineering fire precautions for this project annotated on the above-mentioned project drawings are of an acceptable standard.
2. No additional precautions are to be recommended unless there is a:
 - a. Retrospective statutory or MOD Directive.
 - b. Significant change in design or occupancy.
 - c. Statutory Bar rule.

| | | |
|----------------------------------|--------------------|--|
| DFRMO Fire Officer's Name | Appointment | Fire Safety Inspector, DFRMO Group Manager, South Area |
| Signature | Date | 18 Sep 14 |

| Endorsements/Waivers | |
|-----------------------------|------------------|
| Date | Amendment |
| | |

DEFENCE FIRE RISK MANAGEMENT ORGANISATION



**Group Manager
Fire Safety Inspector
Building 19/20
DFTDC Manston
Ramsgate
Kent CT12 5 BS
Tel: 95236 6336 Civil 01843 823351 Ext: 6336**

ACCEPTANCE CERTIFICATE

PROJECT IDENTIFICATION: Band Room Extension, Leros Barracks, Canterbury

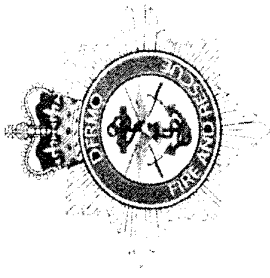
INSPECTION DATE: 10 Feb 15

Following the inspection of the above it is confirmed that the Project Fire Officer has no fire safety objections to the building being taken into use.

SIGNE

APPOINTMENT: Fire Safety Inspector

DEFENCE FIRE RISK MANAGEMENT ORGANISATION



Group Manager
Fire Safety Inspector
Building 19/20
DFTDC Manston
Ramsgate
Kent CT12 5 BS
Tel: 95236 6336 Civil 01843 823351 Ext: 6336

ACCEPTANCE CERTIFICATE

PROJECT IDENTIFICATION: New Joint Cadet Centre, Leros Barracks, Canterbury

INSPECTION DATE: 10 Feb 15

Following the inspection of the above it is confirmed that the Project Fire Officer has no fire safety objections to the building being taken into use.

SIGNED: ✓

APPOINTMENT: Fire Safety Inspector

TO BE PERMANENTLY AFFIXED TO THE INSIDE COVER OF:
MOD FIRE OFFICER'S FILES
WORKS SERVICE MANAGERS FILES

CERTIFICATE A

RESTRICTION OF FIRE PROTECTION WORKS SERVICES FWD STAGE FOR NEW PROJECTS

Project: New Joint Cadet Centre and Band Practice Room Extension, Leros Barracks, Canterbury.

Project Drawing Numbers: 3644-116

Project Report Dated: 20 Jun 14

1. This document certifies that the means of escape, structural and engineering fire precautions for this project annotated on the above-mentioned project drawings are of an acceptable standard.
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 - a. Retrospective statutory or MOD Directive.
 - b. Significant change in design or occupancy.
 - c. Statutory Bar rule.

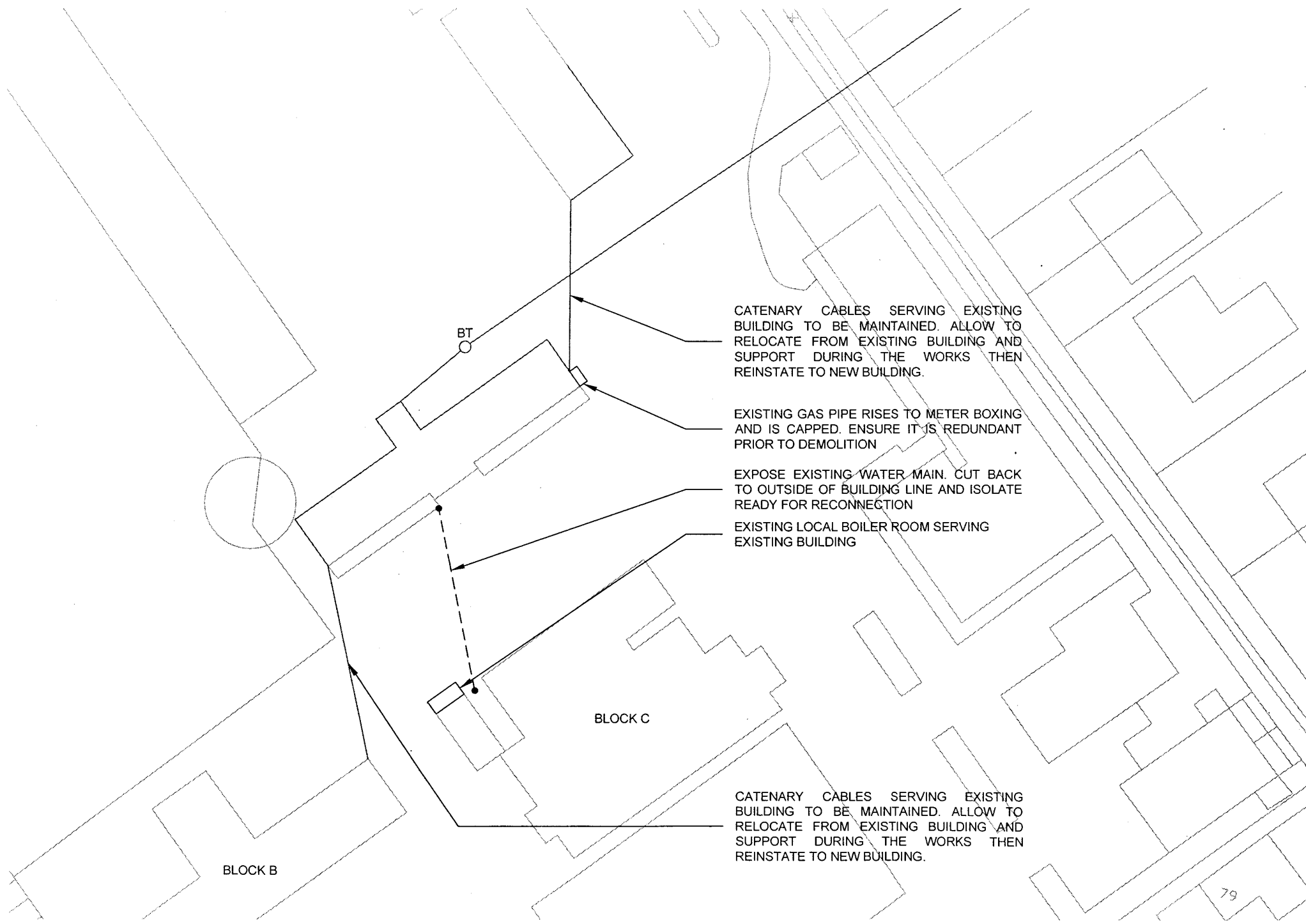
MOD Fire Officer:

Appointment SE Fire Safety - Group Manager

Signature:

Date: 3 Jul 14

| Endorsements/Waivers | |
|----------------------|-----------|
| Date | Amendment |
| | |



CATENARY CABLES SERVING EXISTING BUILDING TO BE MAINTAINED. ALLOW TO RELOCATE FROM EXISTING BUILDING AND SUPPORT DURING THE WORKS THEN REINSTATE TO NEW BUILDING.

EXISTING GAS PIPE RISES TO METER BOXING AND IS CAPPED. ENSURE IT IS REDUNDANT PRIOR TO DEMOLITION

EXPOSE EXISTING WATER MAIN. CUT BACK TO OUTSIDE OF BUILDING LINE AND ISOLATE READY FOR RECONNECTION

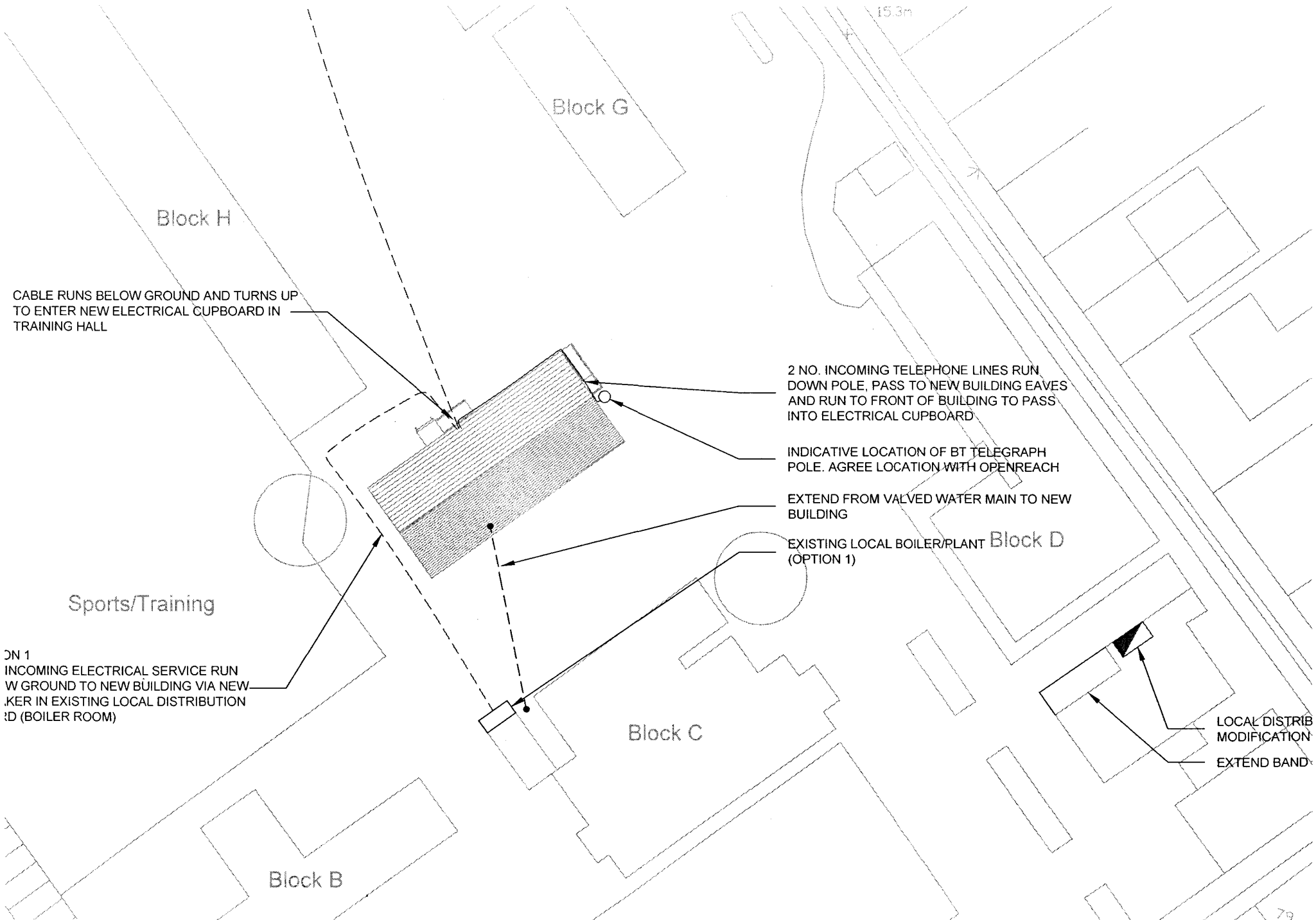
EXISTING LOCAL BOILER ROOM SERVING EXISTING BUILDING

CATENARY CABLES SERVING EXISTING BUILDING TO BE MAINTAINED. ALLOW TO RELOCATE FROM EXISTING BUILDING AND SUPPORT DURING THE WORKS THEN REINSTATE TO NEW BUILDING.

BT

BLOCK C

BLOCK B



Block G

Block H

CABLE RUNS BELOW GROUND AND TURNS UP TO ENTER NEW ELECTRICAL CUPBOARD IN TRAINING HALL

2 NO. INCOMING TELEPHONE LINES RUN DOWN POLE, PASS TO NEW BUILDING EAVES AND RUN TO FRONT OF BUILDING TO PASS INTO ELECTRICAL CUPBOARD

INDICATIVE LOCATION OF BT TELEGRAPH POLE. AGREE LOCATION WITH OPENREACH

EXTEND FROM VALVED WATER MAIN TO NEW BUILDING

EXISTING LOCAL BOILER/PLANT Block D (OPTION 1)

Sports/Training

DN 1 INCOMING ELECTRICAL SERVICE RUN W GROUND TO NEW BUILDING VIA NEW CUPBOARD IN EXISTING LOCAL DISTRIBUTION BUILDING (BOILER ROOM)

Block C

LOCAL DISTRIB MODIFICATION

EXTEND BAND

Block B

15.3m

ICF Store
3.5m²

ATC Store
13.5m²

ATC Office
13.5m²

4 tier rocking

ARMS CHEST
PAD

Training Hall
60.0m²

Dis WC
3.3m²

Servery
6.3m²

Services

DATA CABLES TO OFFICE PATCH PANELS
ABOVE CEILING

NEW INCOMING BT SERVICE DISTRIBUTION
POINT AT LL

DATA CABLES TO OFFICE PATCH PANELS
ABOVE CEILING

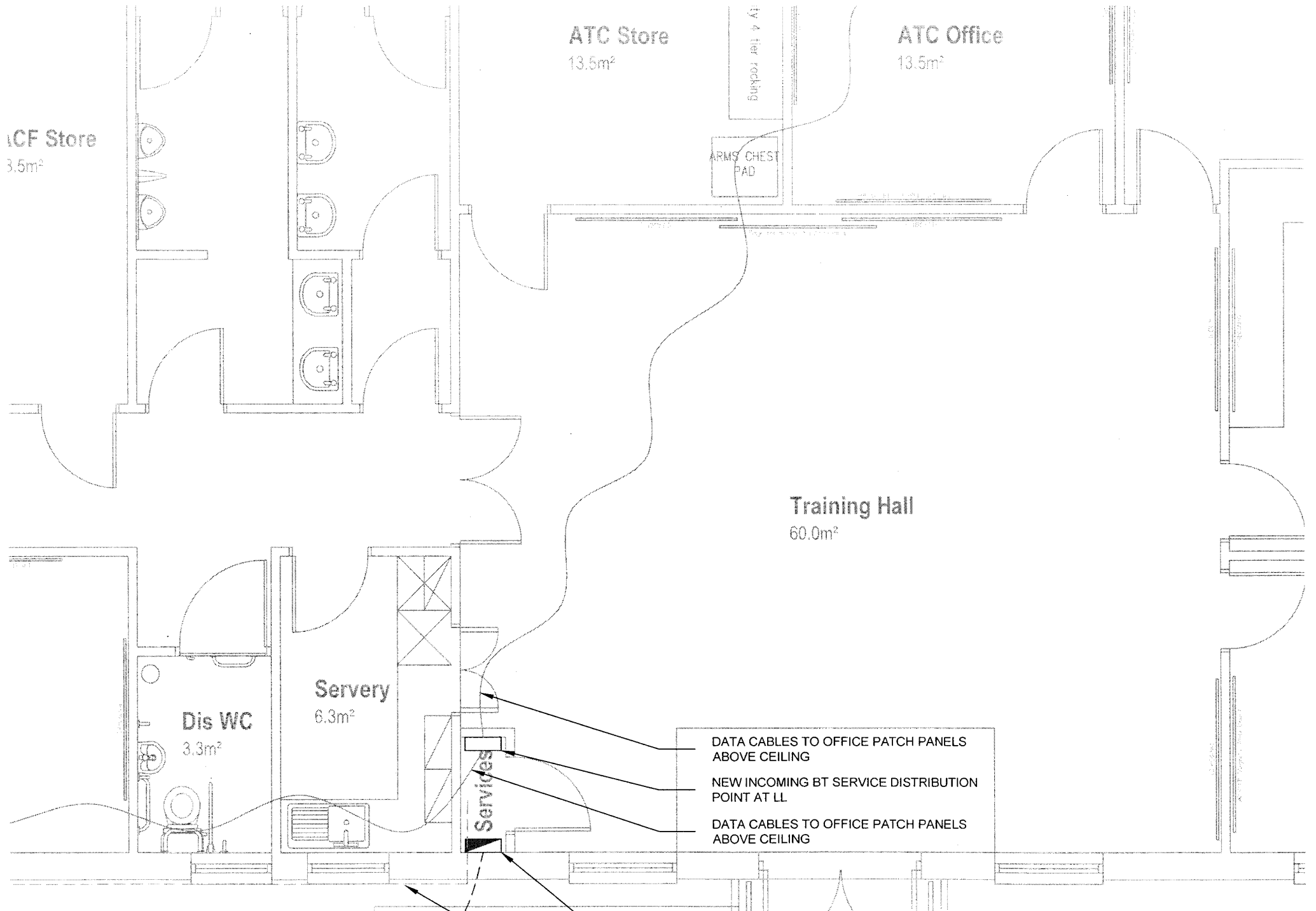
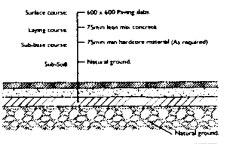


TABLE 101

| PHI Location | Cover Grade | Test Load |
|----------------------|-------------|-----------|
| Highway | A15 | 15 |
| Primary street | B125 | 125 |
| Parking courts | C150 | 150 |
| Carriageway | D400 | 400 |
| Articulated Overhead | E400 | 400 |
| Articulated Overhead | F400 | 400 |



| TYPE | CONCRETE PAVING SLAB |
|-------------|----------------------|
| COLOUR | TBC by Client |
| DRAIN CLASS | Impermeable |
| LOADING | PEDESTRIAN |

PATHS & PATIO CONSTRUCTION (Scale 1:50)

MINI STRENGTH TRIPPING SLAB

High-strength concrete tripping slab shall be produced, laid and finished in accordance with the relevant provisions of BS 8203 Part 2 and the following provisions. Proportions for weight shall be used. 1 part cement, 1 part normal sand and 2 parts light weight coarse aggregate.

RELEASED COVER SLAB

Where inspection chamber is located in area of block paving a shall be fitted with a recessed cover to accommodate paving blocks.

MANHOLE COVERS & FRAMES (M)

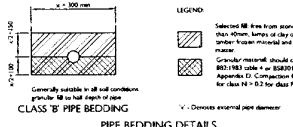
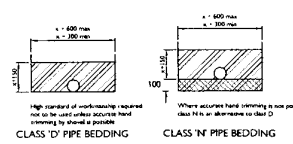
Manhole cover and frames shall comply with the relevant provisions of BS EN 124, BS 790 and Highway Agency Circular Document 141 (2002). They shall be of a non-slip design which does not rely on the use of rubber inserts.

All manhole covers shall be the non-slipding type and shall have dove-tails.

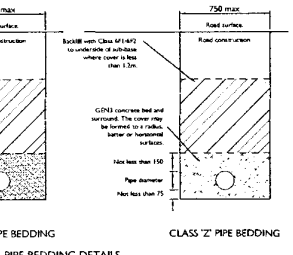
Refer to TABLE 101 for frame details.

Refer to Technical Schedule/Drainage Drawing for cover grades.

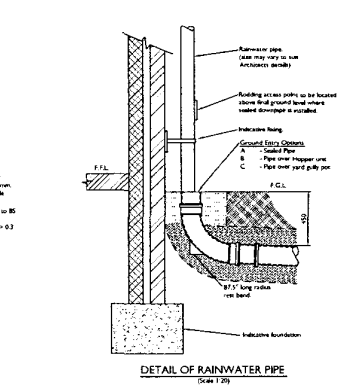
| PIPE BORE BEDDING CLASS | Limits of cover for standard strength rigid pipe in any width of trench | | |
|-------------------------|---|---------------|---------|
| | Block and spigot | Light traffic | |
| | MIN. MAX. | MIN. MAX. | |
| 100mm | D or H | 0.4 0.2 | 0.7 0.1 |
| | F | 0.3 0.8 | 0.5 0.5 |
| | B | 0.2 0.4 | 0.4 0.4 |
| 150mm | D or H | 0.4 0.2 | 0.7 0.1 |
| | F | 0.4 0.8 | 0.5 0.5 |
| | B | 0.4 0.4 | 0.4 0.4 |
| 225mm | D or H | 0.6 0.3 | 1.2 0.1 |
| | F | 0.6 0.8 | 0.8 0.4 |
| | B | 0.6 0.4 | 0.4 0.4 |



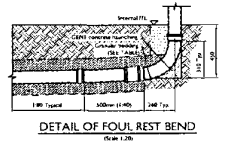
PIPE BEDDING DETAILS (PRIVATE DRAINS) (Scale 1:50)



PIPE BEDDING DETAILS (FOR ADOPTABLE SEWERS OR SEWERS UNDER TRAFFICKED AREAS) (Scale 1:50)



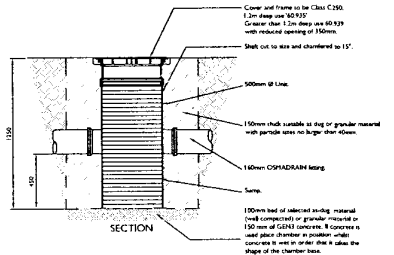
DETAIL OF RAINWATER PIPE (Scale 1:50)



DETAIL OF FOUR REST BED (Scale 1:50)

| TYPE | MACADAM |
|-------------|---------------|
| COLOUR | TBC by Client |
| DRAIN CLASS | Impermeable |
| LOADING | VEHICULAR |

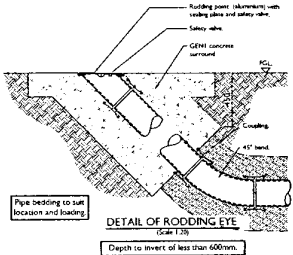
MACADAM CAR PARK (PRIVATE) (Scale 1:50)



POLYPROPYLENE SHALLOW SILT TRAP DETAIL (Scale 1:50)

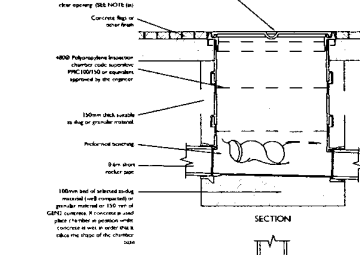
Depth to invert 125mm (standard unit)
Silt Traps installed greater than single unit depth to be extended using Wave suspension chamber shaft units.

| Type | Internal Sizes | | Cover Sizes | |
|--------------------|----------------------------|---------------------|-------------|---------------------|
| | Depth to invert (mm) | Length x Width (mm) | Length (mm) | Circular Width (mm) |
| Rodding Eye | As Drain but Minimum 100mm | | | |
| | Shallow Access | | | |
| Small | 0.6 or less | 150x100 | 150 | 150 |
| Large | 0.6 or less | 225x100 | 225 | 100 |
| Inspection Chamber | 0.6 or less | 190 | 190 | 190 |
| | 1.0 or less | 450x450 | 450 | 450 |
| Manhole | 1.5 or less | 1200x750 | 1050 | 600x600 |
| | Over 1.5 | 1200x750 | 1100 | 600x600 |



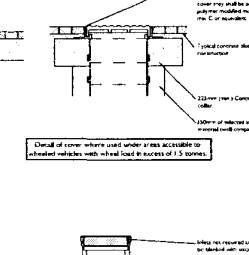
DETAIL OF RODDING EYE (Scale 1:50)

Depth to invert of less than 600mm.



POLYPROPYLENE INSPECTION CHAMBER DETAIL (4800) (Scale 1:50)

Depth to invert of less than 930mm
Depth to invert with concrete collar of less than 610mm



POLYPROPYLENE INSPECTION CHAMBER DETAIL (4800) (Scale 1:50)

Depth to invert of less than 930mm
Depth to invert with concrete collar of less than 610mm

NOTES

- This drawing is to be read in conjunction with all other Opus International Consultants drawings and any other relevant information.
- No dimensions are to be scaled from this drawing, but must be taken from site and/or the details.
- Unless noted otherwise all dimensions are in millimetres and all levels are in metres from the site datum.
- The drawing can not be guaranteed as dimensionally drawn exact. Figured dimensions must be used for setting out and detailing.
- Opus International Consultants logos and company information must be removed from copies if information is reused.
- The Contractor is responsible for the design of all temporary works and is also responsible for the safe maintenance and stability of the existing buildings at all times.

FOUNDATIONS

- The ground at the founding levels shown must be capable of sustaining a net design pressure of 100 kN/m² and shall be to the satisfaction of the Local Authority and/or the Engineer.
- If the ground, at the levels shown, is not capable of sustaining the above pressure, the foundations are to be taken down to a suitable level using Class 1 concrete.
- Ground at founding level must not be allowed to soften, if the ground does soften, the excavation must be dug out for a further 75 mm or to a suitable level to give the required ground pressure whichever is the deeper.
- No excavation is to be left open overnight unless blinding is laid.
- Centre line of foundation is to align with centre line of wall (based on overall wall thickness) unless shown otherwise.

CONCRETE

- Structural mass concrete to be grade GEN3 to BS 8500, strength class C16/20, 20 mm nominal aggregate size. Recycled aggregates to be used where possible.
- All concrete to be properly vibrated.

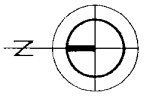
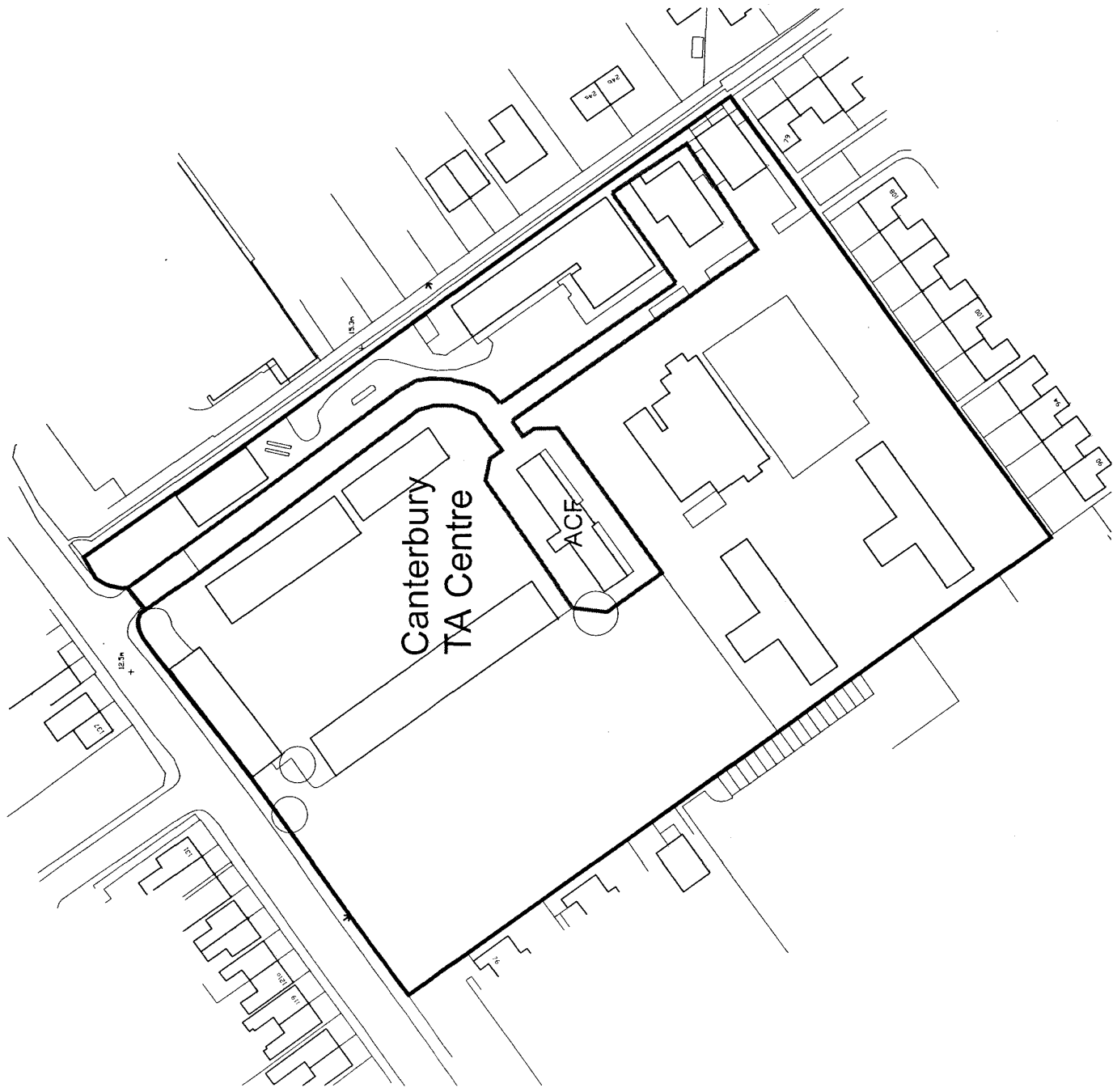
PRELIMINARY

| Version | Author | Checked | Date |
|---------|-------------------|---------|----------|
| P1 | PRELIMINARY ISSUE | A.J.S. | 23.05.14 |

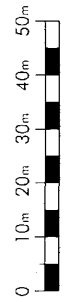


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| D.G.N. | D.M. | A.J.S. | |

| Project | Sheet No. | Scale |
|--|-----------|----------|
| NEW DEVELOPMENT AT LEROS BARRACKS CANTERBURY | 101 | AS SHOWN |



Location Plan
AS EXISTING
Scale 1:1250

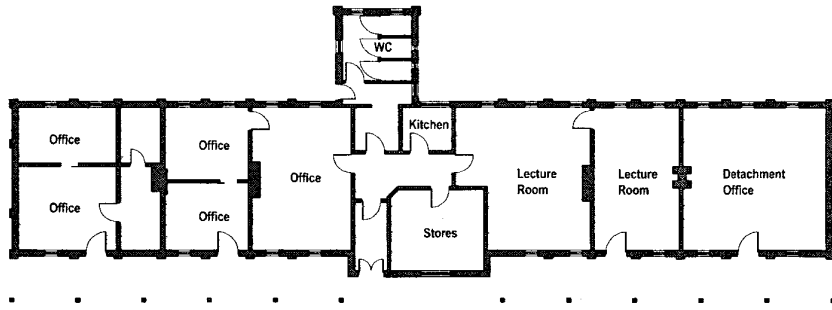


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| No. | Description | Date |
| <p>SC Architecture Anchor House, School Lane Chanelles Ford, Eastleigh Hampshire SO53 4DF</p> | | |
| <p>Project Title: ATC/ ACF Canterbury - Leros Barracks SERFCA</p> | | |
| <p>Drawing Title: Location Plan AS EXISTING</p> | | |
| Date: | Dec '13 | |
| Scale: | 1:1250 | |
| Drawn: | RSS | |
| Checked: | MS | |
| Drawing Number: | 3644.00 | |
| Revisior: | | |
| <p>RIBA # Chartered Practice</p> | | |

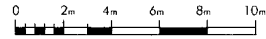
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Floor Plan
AS EXISTING
Scale 1:200



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T: 023 8026 9222
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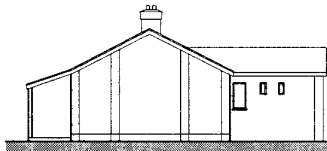
Project Title:
**ACF/ ATC
Canterbury -
Leros Barracks
SERFCA**

Drawing Title:
**Floor Plans &
Elevations
AS EXISTING**

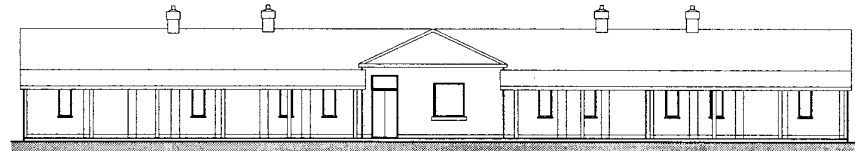
Drawing No.
3644.102

Revision: -
Date: Mar '13
Scale: 1:200
Drawn: RSS
Checked: MS

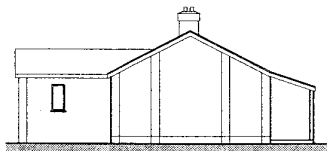
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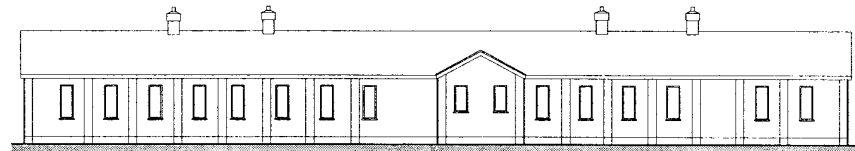
North East Elevation AS EXISTING
Scale 1:200



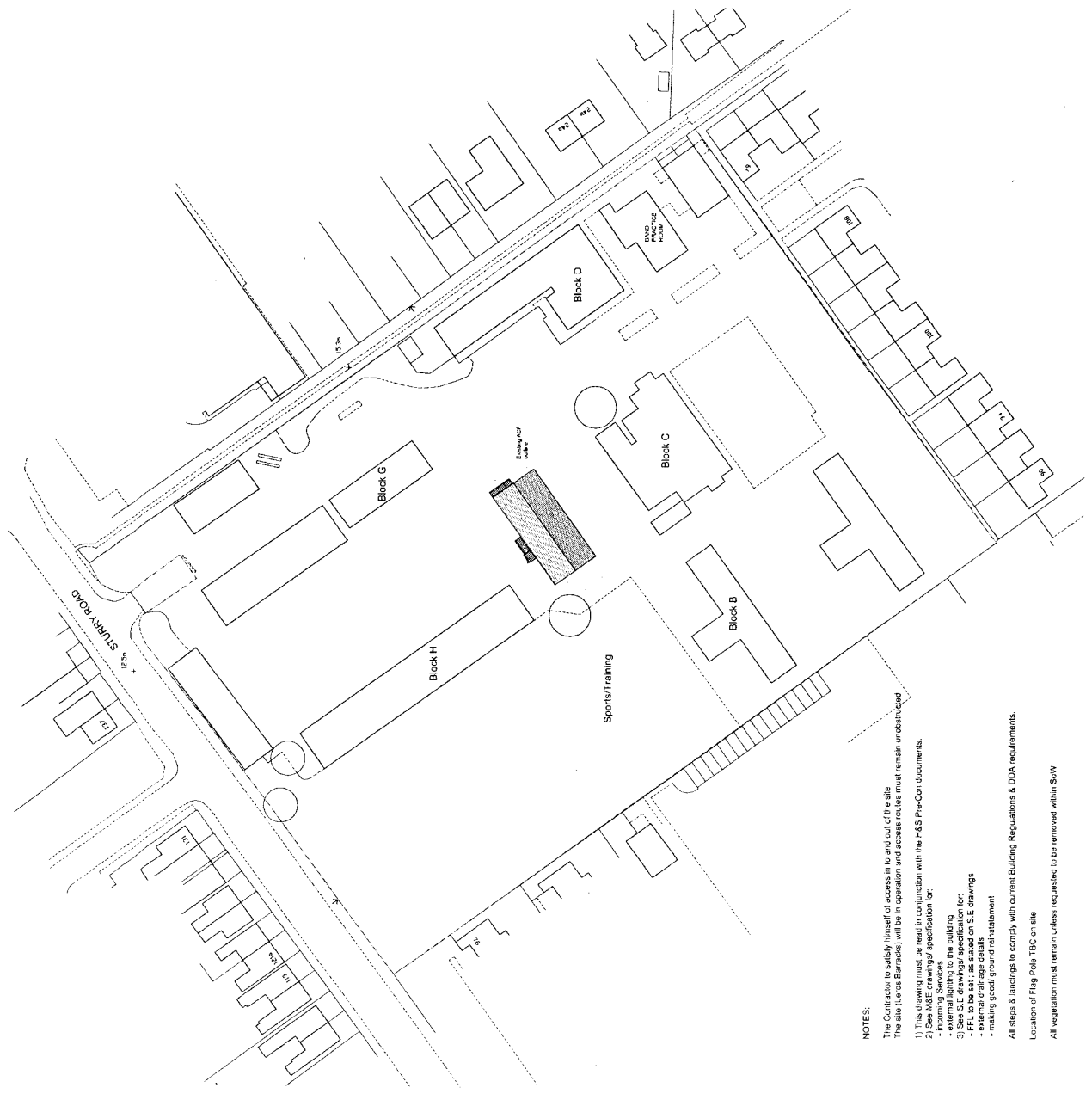
North West Elevation AS EXISTING
Scale 1:200



South West Elevation AS EXISTING
Scale 1:200

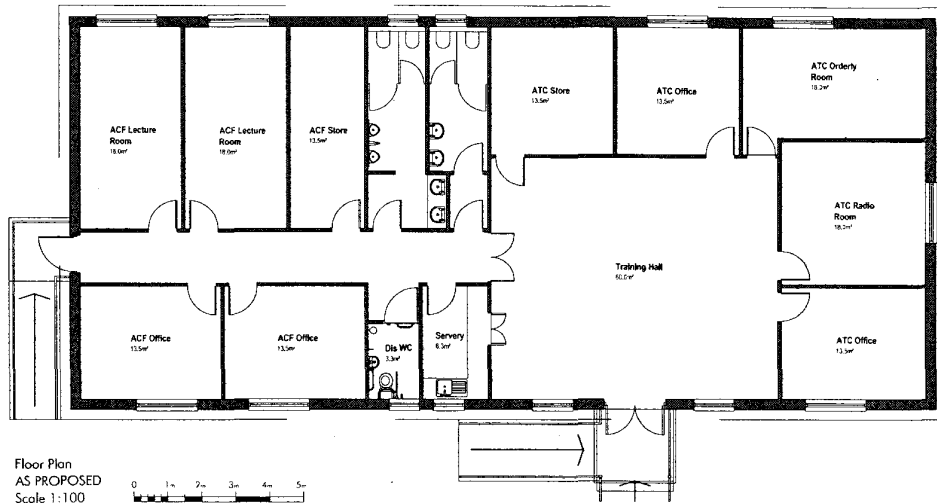


South East Elevation AS EXISTING
Scale 1:200

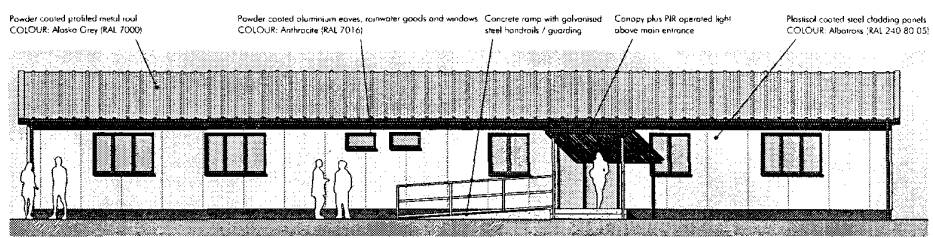


- NOTES:**
- The Contractor to satisfy himself of access in to and out of the site
 The site (Lions Barracks) will be in operation and access routes must remain unobstructed
- 1) This drawing must be read in conjunction with the H&S Pre-Con documents.
 - 2) See M&E drawings/ specification for:
 - incoming Services
 - external drainage
 - external drainage details
 - making good ground reinstatement
 - 3) See S.E drawings/ specification for:
 - F.F.L to be set, as stated on S.E drawings
 - external drainage details
 - making good ground reinstatement
- All steps & landings to comply with current Building Regulations & DDA requirements.
 Location of Flag Pole: TBC on site
 All vegetation must remain unless requested to be removed within SOW

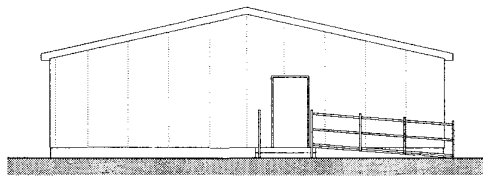
ALL INFORMATION CONTAINED HEREIN IS UNCLASSIFIED EXCEPT WHERE SHOWN OTHERWISE
 DATE 12/00 BY 103



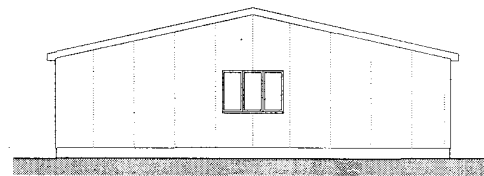
Floor Plan
AS PROPOSED
Scale 1:100



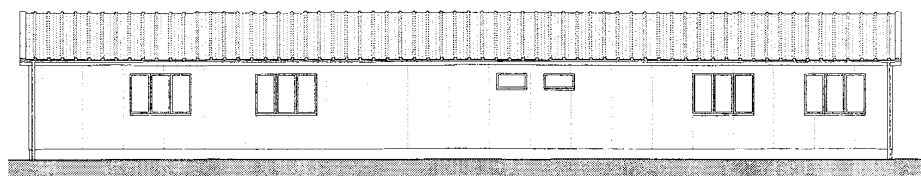
North West Elevation AS PROPOSED Scale 1:100



North East Elevation AS PROPOSED Scale 1:100



South West Elevation AS PROPOSED Scale 1:100



South East Elevation AS PROPOSED Scale 1:100

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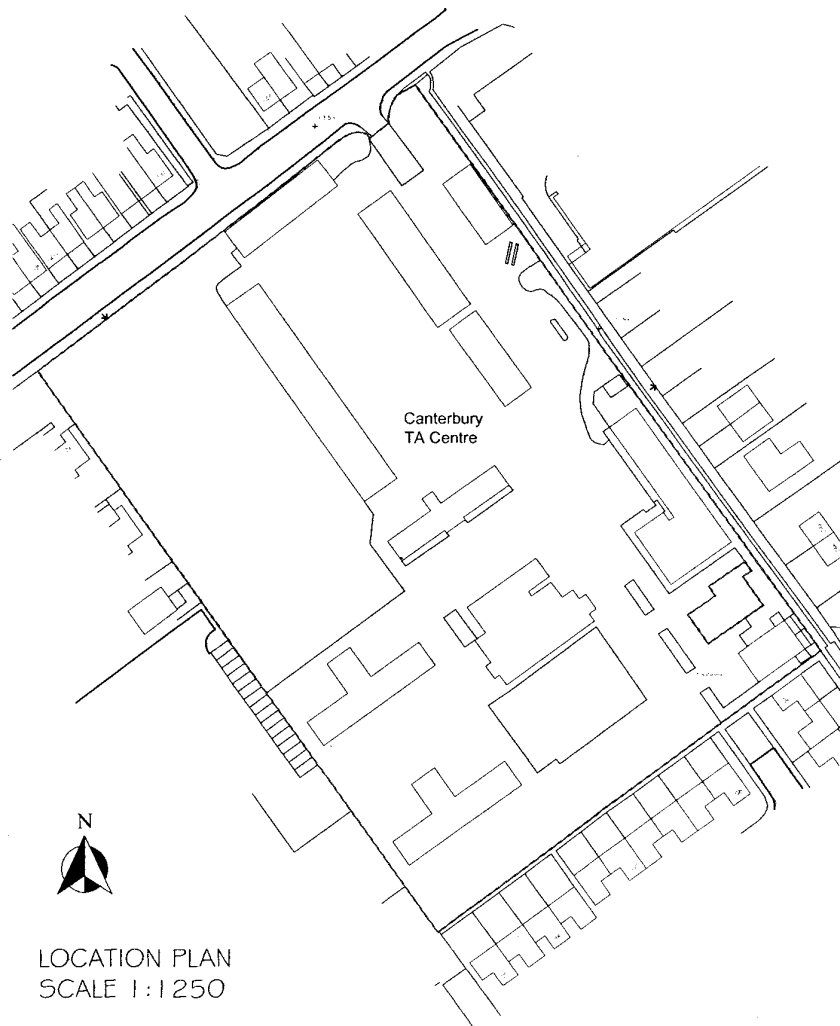
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 Annual House, School Lane
 Chislehurst, Essex
 Hampshire SO52 9JG
 T: 023 8926 9229
 E: info@scarchitecture.co.uk
 W: www.scarchitecture.co.uk

Project Title
**ACF/ATC
 Canterbury - Leros Barracks
 SERFCA**

Working Title
**Floor Plan & Elevations
 AS PROPOSED
 (planning drawing)**

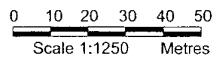
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| Date | Mar 14 | Drawing No. |
| Scale | 1:100 | 3644.104 |
| Author | RS | |
| Checked | MSS | |

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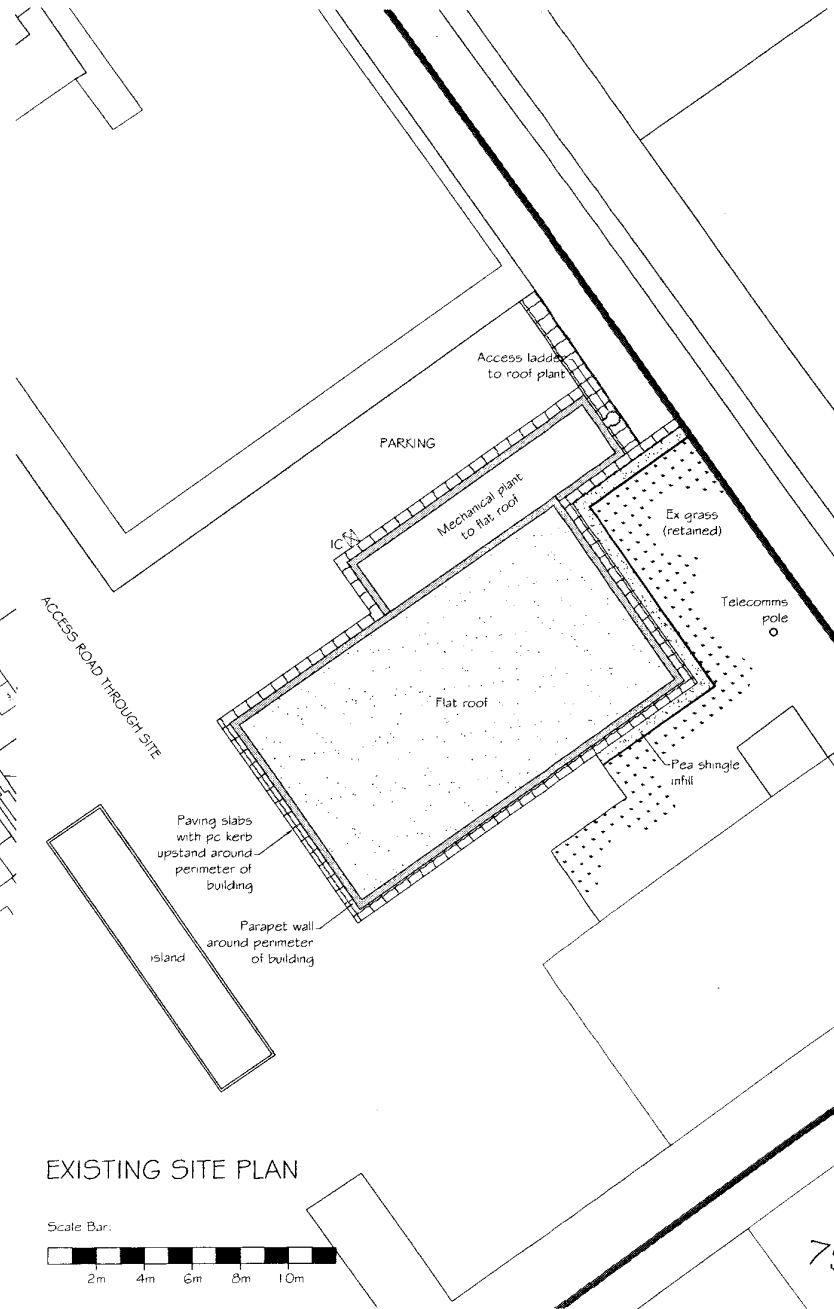


LOCATION PLAN
SCALE 1:1250

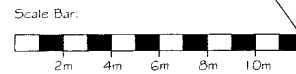
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Original Drawing Size: A3



EXISTING SITE PLAN



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Hampshire SO53 4UB

T: 023 8026 9222
E: info@sc-architecture.co.uk
W: www.sc-architecture.co.uk

Project Title:
**Leros Barracks
Canterbury ARC
Sturry Road
Extension to Band Room**

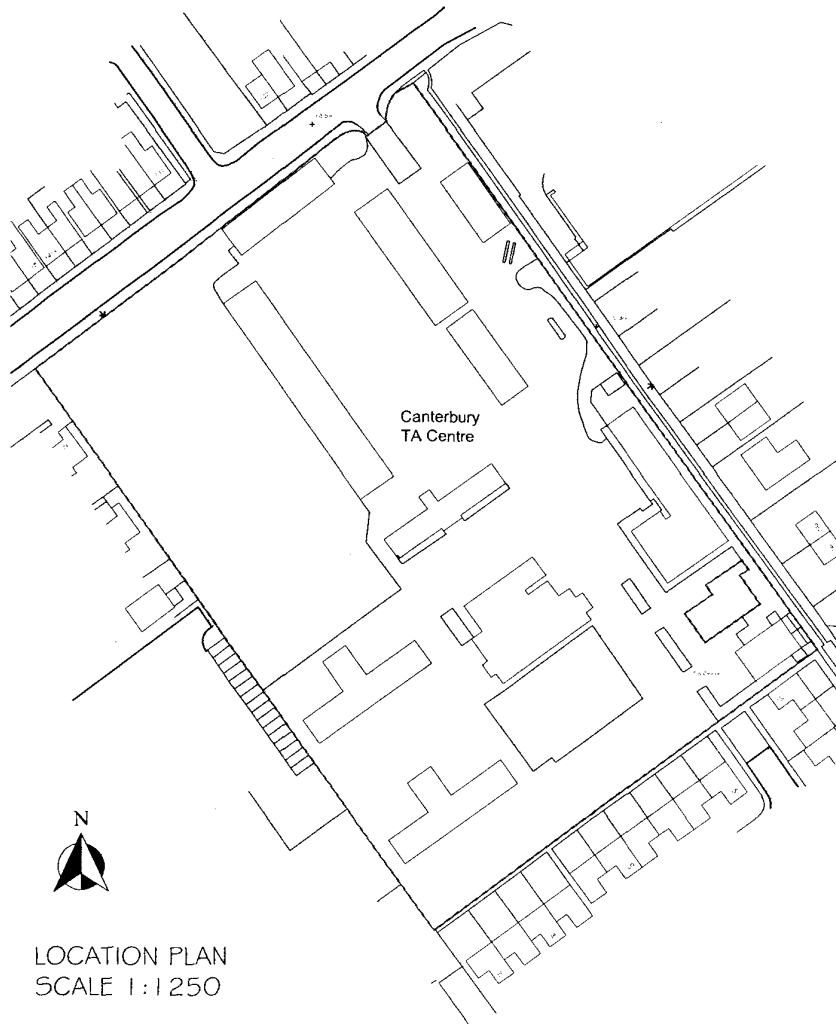
Drawing Title:
**Existing
Location & Site Plan**

Drawing No.:
3644-110

Revision: -
Date: April '14
Scale: 1:200 @ A3
Drawn: SDW
Checked: MS

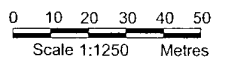
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79

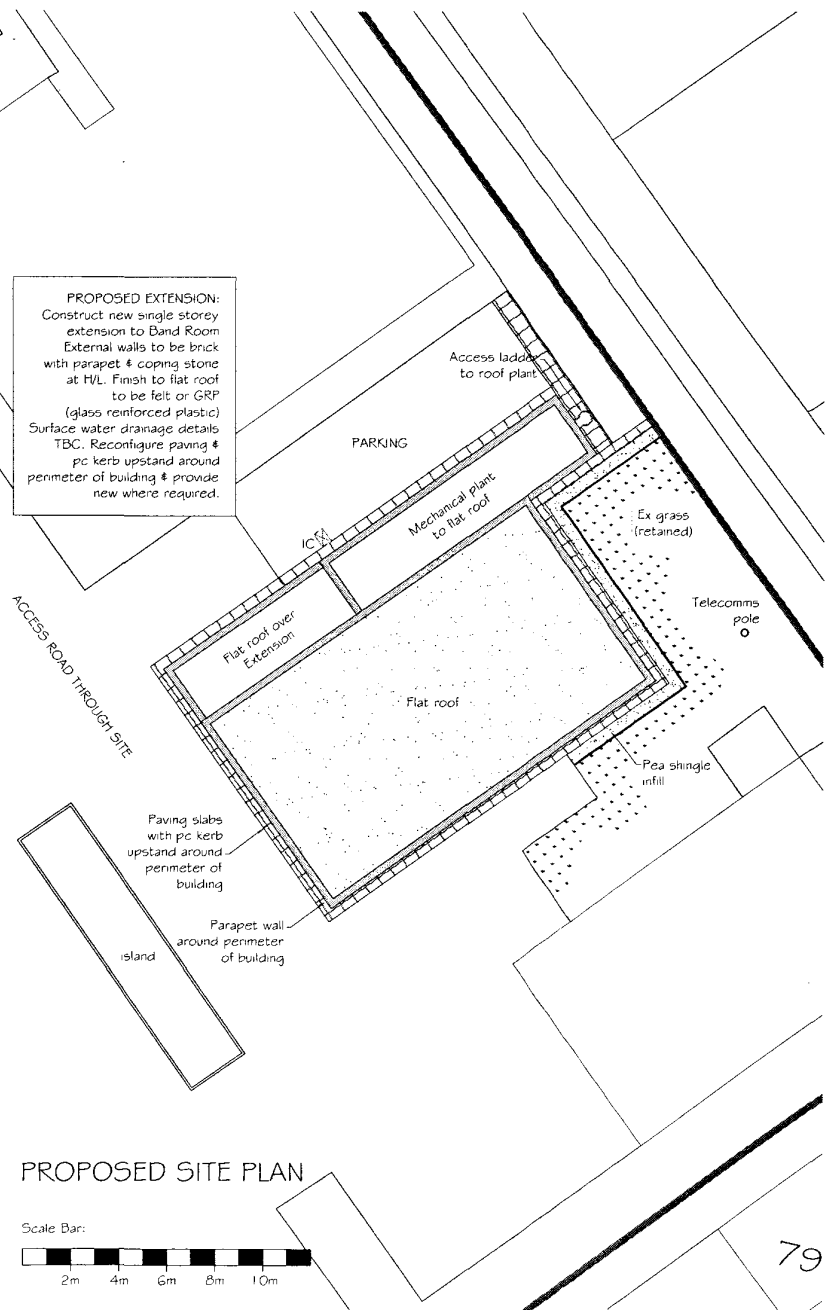


LOCATION PLAN
SCALE 1:1250

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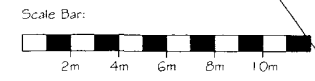


Original Drawing Size: A3



PROPOSED EXTENSION:
Construct new single storey extension to Band Room
External walls to be brick with parapet & coping stone at H/L. Finish to flat roof to be felt or GRP (glass reinforced plastic)
Surface water drainage details TBC. Reconfigure paving & pc kerb upstand around perimeter of building & provide new where required.

PROPOSED SITE PLAN



79

| No. | Description | Date |
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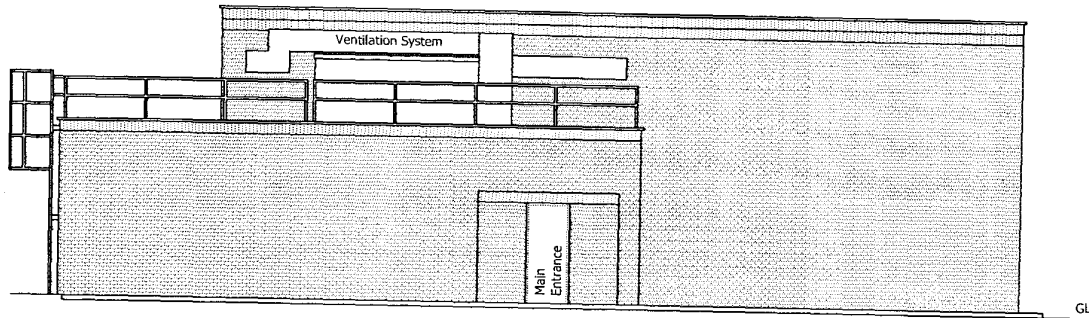
Project Title:
**Leros Barracks
Canterbury ARC
Stury Road
Extension to Band Room**

Drawing Title:
**Proposed
Location & Site Plan**

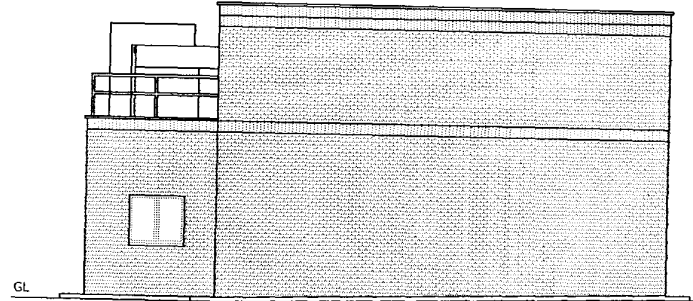
Drawing No:
3644-112

| Revision | Date | Scale | Drawn | Checked |
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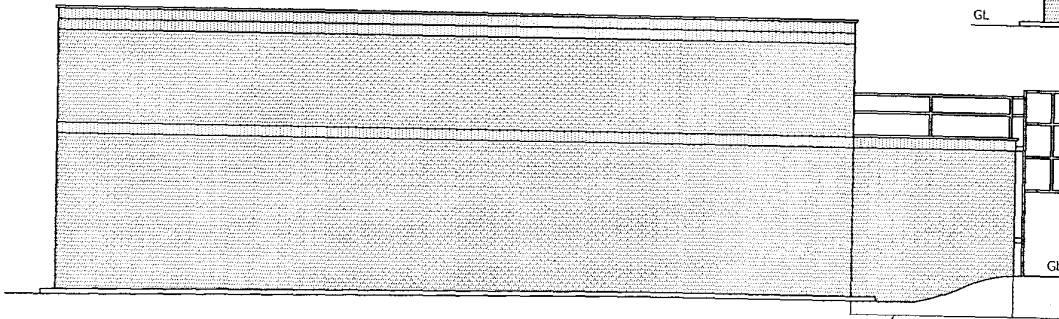
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Existing Front Elevation (North West)

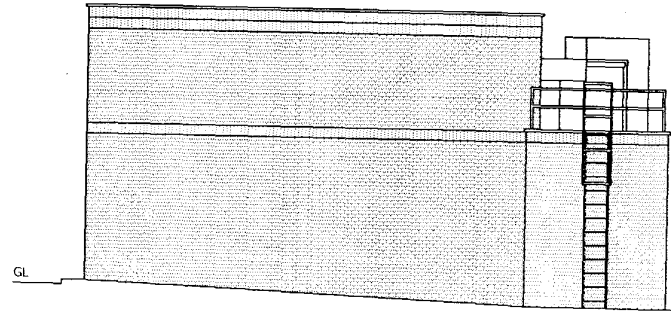


Existing Side Elevation (South West)

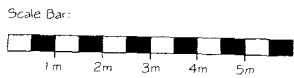


Existing Rear Elevation (South East)

Dashed line denotes ground levels beyond



Existing Side Elevation (North East)



Original Drawing Size: A3

| No. | Description | Date |
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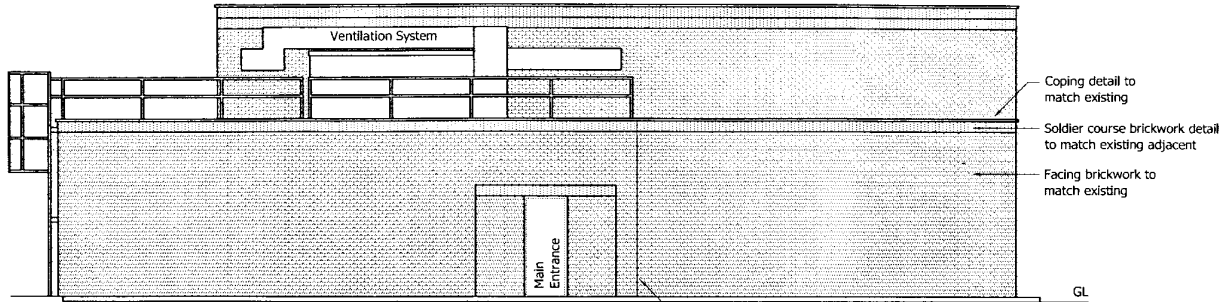
Project Title:
 Leros Barracks
 Canterbury ARC
 Stury Road
 Extension to Band Room

Drawing Title:
 Existing
 Elevations

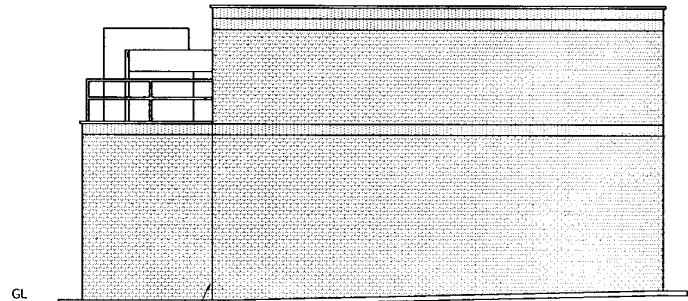
Drawing No:
 3644-114

Revision: -
 Date: April '14
 Scale: 1:100 @ A3
 Drawn: SDW
 Checked: MS

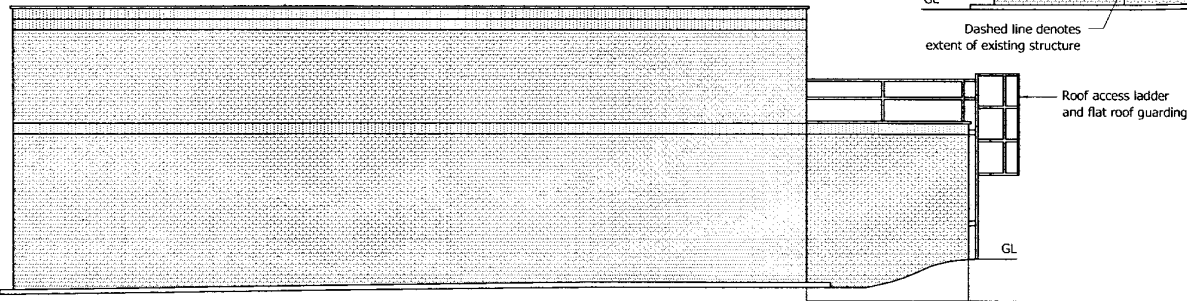
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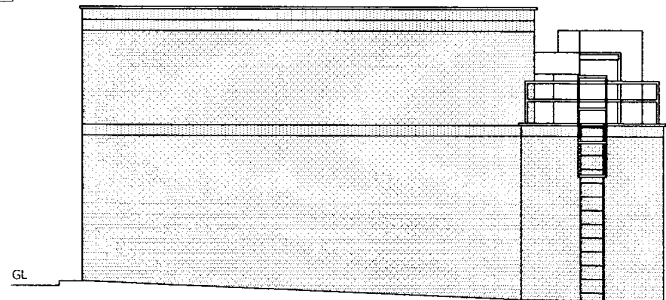
Proposed Front Elevation (North West)
Dashed line denotes extent of existing structure



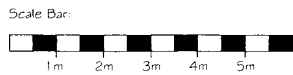
Proposed Side Elevation (South West)
Dashed line denotes extent of existing structure



Proposed Rear Elevation (South East)
NO CHANGE
Dashed line denotes ground levels beyond



Proposed Side Elevation (North East)
NO CHANGE



Original Drawing Size: A3

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Hampshire SO53 4UB

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E: info@sc-architecture.co.uk
W: www.sc-architecture.co.uk

Project Title:
**Leros Barracks
Canterbury ARC
Sturry Road
Extension to Band Room**

Drawing Title:
**Proposed
Elevations**

Drawing No.:
3644-115

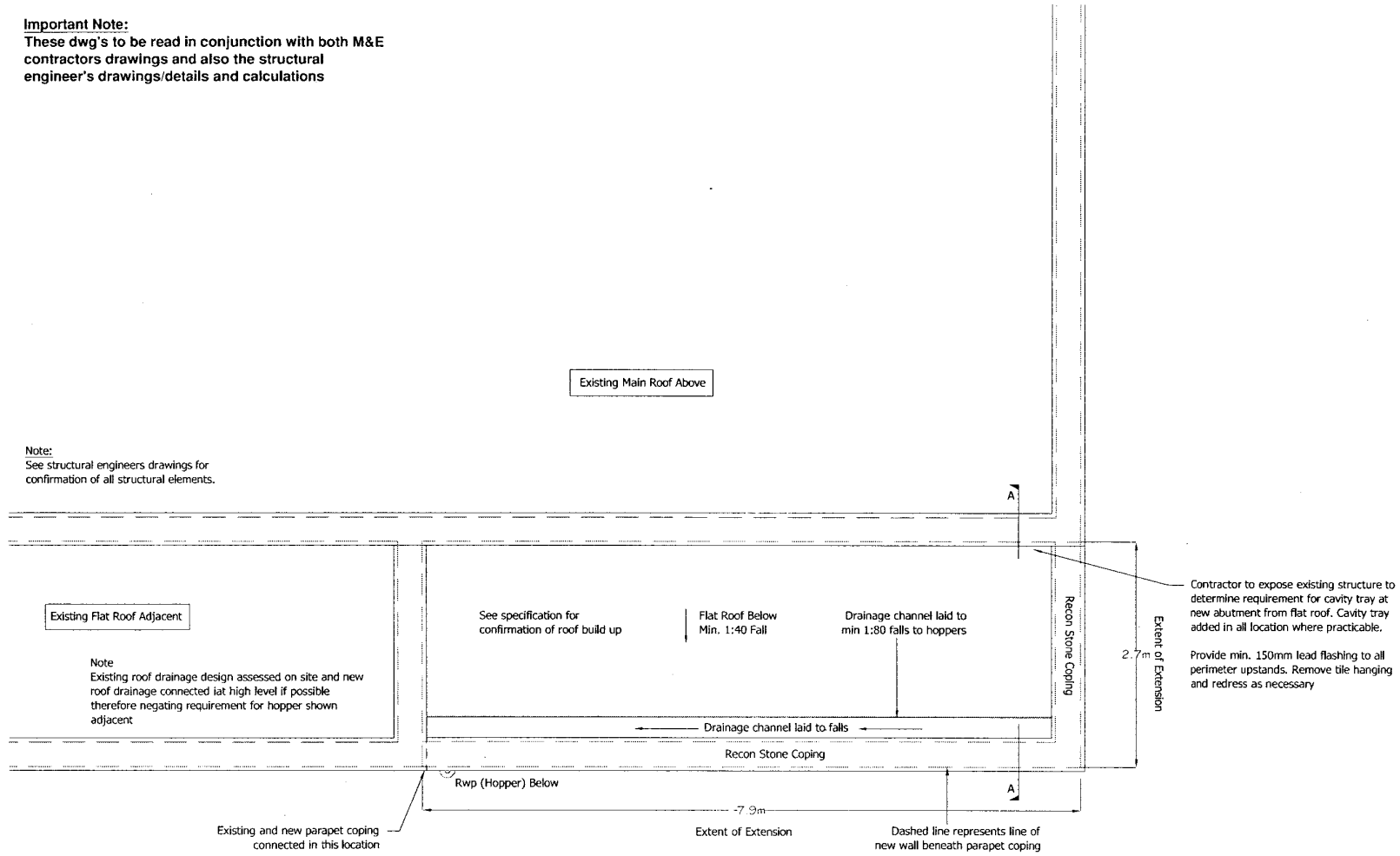
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Date: **April '14**
Scale: **1:100 @ A3**
Drawn: **SDW**
Checked: **MS**

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Important Note:

These dwg's to be read in conjunction with both M&E contractors drawings and also the structural engineer's drawings/details and calculations

Note:
See structural engineers drawings for confirmation of all structural elements.



Contractor to expose existing structure to determine requirement for cavity tray at new abutment from flat roof. Cavity tray added in all location where practicable.

Provide min. 150mm lead flashing to all perimeter upstands. Remove tile hanging and redress as necessary

Proposed Roof Plan - Band Storeroom (Scale 1:50)

Original Drawing Size: A3

No work is to be commenced until site dimensions have been checked & discrepancies reported

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 Anchor House, School Lane
 Chandlers Ford, Eastleigh
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T: 023 8026 9222
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 W: www.sc-architecture.co.uk

Project Title:
**Leros Barracks
 Canterbury ARC
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 Extension to Band Room**

Drawing Title:
Proposed Roof Plan

Drawing No.
3644-117

Revision: -

Date: **April '14**

Scale: **1:50 @ A3**

Drawn: **SDW**

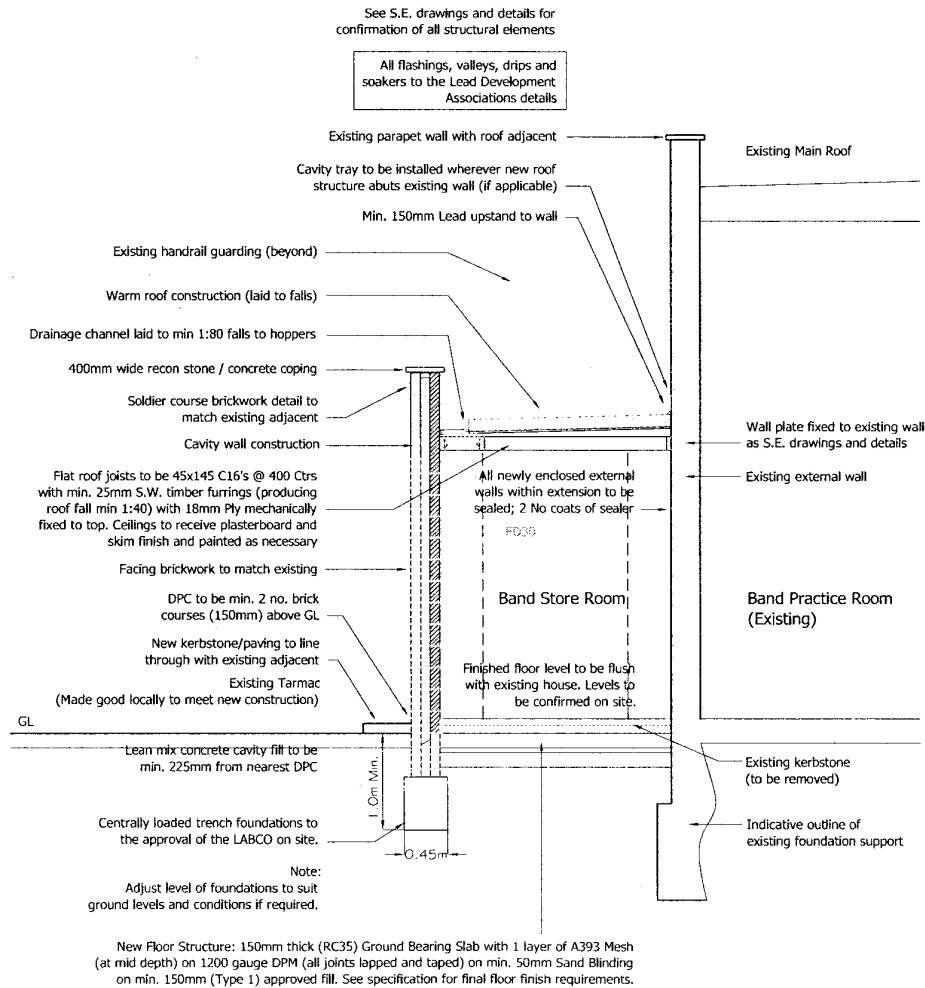
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Important Note:

These dwg's to be read in conjunction with both M&E contractors drawings and also the structural engineer's drawings/details and calculations

No work is to be commenced until site dimensions have been checked & discrepancies reported



Proposed Section AA - Band Storeroom (Scale 1:50)

Note: See SE's drawings & details for further information

| No. | Description | Date |
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SC Architecture

Anchor House, School Lane
Chandlers Ford, Eastleigh
Hampshire SO53 4UB

T: 023 8026 9222
E: info@sc-architecture.co.uk
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Project Title:
Leros Barracks
Canterbury ARC
Sturry Road
Extension to Band Room

Drawing Title:
Proposed Section AA

Drawing No.
3644-118

Revision: -

Date: April '14

Scale: 1:50 @ A3

Drawn: SDW

Checked: MS

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Building Notes:

All dims and details shown on the project drawing are to be checked on site by the contractor before fabrication and erection. Figured dimensions to supersede scaled dimensions.
All building work to be carried out with proper materials which are appropriate for the circumstances in which they are used, in a workmanlike manner and in accordance with the relevant building regulations, british standards, nhbc standards and manufacturers recommendations.

Site Clearance & Ground Preparation:

Demolish and remove existing kerbstone, paving and tarmac ground surface and ground support within new extension footprint. Excavate trenches for foundations where applicable (see drawing 3644-116 for confirmation of locations).

Foundations

Foundations shall comply with BS 8004: 1986 and be placed centrally below supported walls, unless noted otherwise. Generally trench fill concrete. Grade GEN 3 to BS EN 206-1 and BS 8500-1 & 2: 2002. Minimum width of 450mm load bearing walls. Minimum depth of 1000mm below finished ground level all in accordance with the structural engineers details.

Final size of foundation to suit ground conditions and to the approval of Building Control Officer at site inspections. Where ground levels necessitate stepped foundations, each step shall not exceed the foundation, thickness and shall overlap by at least the foundation thickness or twice the height of step whichever is the greater.

Ground Floor

The floor shall be of ground bearing construction: comprising 150mm minimum thick insitu concrete slab, Grade GEN 3, and to BS 8500 and BS EN 206-1 with A393 mesh at mid point, on 1200 gauge DPM (all joints lapped and taped) bedded on 50mm sand blinding on 150mm well consolidated hardcore all to the approval of the local building control officer on site. Ground below to be stripped of vegetable soil and thoroughly treated with weed killer.

150mm overall thickness floor finish to be 65mm thk sand cement screed c/w mesh re-reinforcement, laid on continuous VCL (vapour control layer) over 85mm thk Celotex Fast-R FF4000 insulation board, c/w 20mm thk Celotex T-Break TB3000 upstands at all perimeters, on a continuous 1200 gauge polythene vapour check / DPM.

NOTE: both the VCL and DPM are to be lapped (by a min of 150mm) and taped at all joints, seams and junctions. The perimeter of the DPM is to be lapped onto adjacent DPC's unless otherwise noted. The perimeter of the VCL is to be exposed and subsequently cut back, and be left visible, the edge will ultimately be under the skirting.

External walls and finishes

Generally 300mm overall width cavity construction comprising either 102.5mm facing brickwork, 97.5mm cavity, filled with 47mm Celotex CG5000 cavity insulation board or similar approved system (to achieve a U-value of 0.28W/m²K) allowing minimum 50mm clear cavity, and 100 Durox Supabloc, minimum thermal conductivity of 0.11W/mk, (or equal) insulating block inner leaf to BS 6073-2: 1981 (min 3.5 or 7N/mm² or as specified on drawings) above dpc level, brick inner leaf below dpc. Check brick and block manufacturer's recommendations regarding appropriate mortar mixes and provision of expansion joints.

Below ground wall construction consists of 103 facing brickwork (min 5.0N/mm²), 97mm cavity, no fill required, and 100mm concrete blockwork (7.3N/mm²) laid flat in 1:1:6 mortar.

Non ferrous stainless steel cavity wall ties, 225mm long, to BS EN 845-1: 2003, provided at 750mm horizontal and 450mm vertical centres, staggered in alternate rows to BS 5628-3: 2005. Additional ties positioned within 150mm of opening jambs at 300mm max vertical centres. Cavities to be filled with lean mix concrete to within 150mm of dpc. Internal wall finish of 12.5mm thick plasterboard on dabs unless noted otherwise.

Polythene dpcs to BS 6515: 1984 on mortar bed positioned horizontally 150mm minimum above ground/paving level. Dpcs to be continuous with 150mm lap minimum at joints. Dpcs to all opening jambs to be insulating type, to comply with current Building Regulations, to prevent cold bridging, installed in accordance with manufacturers instructions.

All external materials within 1000mm of the boundary are to be Class 0 Rated.

Flat Roof (Warm Roof Construction): To achieve 0.18w/m²K

Flat roof of 3 layer built up felt to BS747, CP144 with all layers hot bonded. Surface finish of mineral chippings bedded in hot bitumen. Alternatively use Sarnafil single ply membrane fully adhered to prepared substrate roof covering or similar approved.

Use 126mm Celotex TD4000 decking/insulation with high performance vapour control layer to CP144 to provide warm roof construction and minimum U-value of 0.18W/m²K. All on firing pieces to falls of 1 in 40 on min. 18mm Ply (as S.E. details) on structurally supporting flat roof timber joists as specified by S.E., supported by appropriately sized joist hangers into new wall and hung from new wallplate on existing building. Lined internally with 12.5mm foil backed plasterboard ceiling. Ceiling lining to finish flush with adjacent ceiling zones.

See S.E. drawings and details for confirmation of all structural elements

Lateral restraint at ceiling joist level provided by 30x5mm galvanised mildsteel straps at 1800mm max. centres across 2 No. joists. Fix noggins between joist, below straps and pack between last joist and wall.

Whereroof abuts any wall provide code 4 lead flashing with 150mm min upstand connected to proprietary horizontal and stepped cavity tray dpcs within external wall as appropriate.

Heat gains and losses through the building fabric are to be limited, with continuity of insulation to the building envelope as extensive as practicable and limitation of air permeability as complete as practicable.

Ventilation

Existing ventilation system extended into new storeroom to the satisfaction of the client. Design to be agreed prior to commencement of works.

Electrical Works:

All new electrical work is to be designed, installed, inspected and tested in accordance with BS 7671 (I.E.E. Wiring Regulations 16th Edition). The works are to be undertaken by NIC/EIC approved contractor with a certificate of compliance produced and issued to Building Control on completion of the works.

General

All work to conform with the latest edition of the Building Regulations and to the Health Acts of 1936 and 1961. Main contractor to inspect all materials and verify all dimensions. Any discrepancy or changes to approved design must be discussed before commencement of work.

Decoration:

Painting and decoration to architect's specification. See Schedule of Works document.

Thoroughly prepare and fill all surfaces using approved filler and apply knotting to all new woodwork as required. Paint application as follows: Allow 1x coat pink primer, 2x coat undercoat and 1x coat gloss to all new mouldings. Note: allow for inspection by Contract Administrator prior to application of second undercoat. Apply 1x mist coat and 2x coats of water based eggshell to new plastered walls and making good where necessary.

General: Crown trade paints to be used with BS clearly marked.

| No. | Description | Date |
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SC Architecture

Anchor House, School Lane
Chandlers Ford, Eastleigh
Hampshire SO53 3 4UB

T: 023 8026 9222

E: info@sc-architecture.co.uk

W: www.sc-architecture.co.uk

Project Title:

Leros Barracks
Canterbury ARC
Stury Road
Extension to Band Room

Drawing Title:

B. Regs/Specification

Drawing No.

3644-119

Revision: -

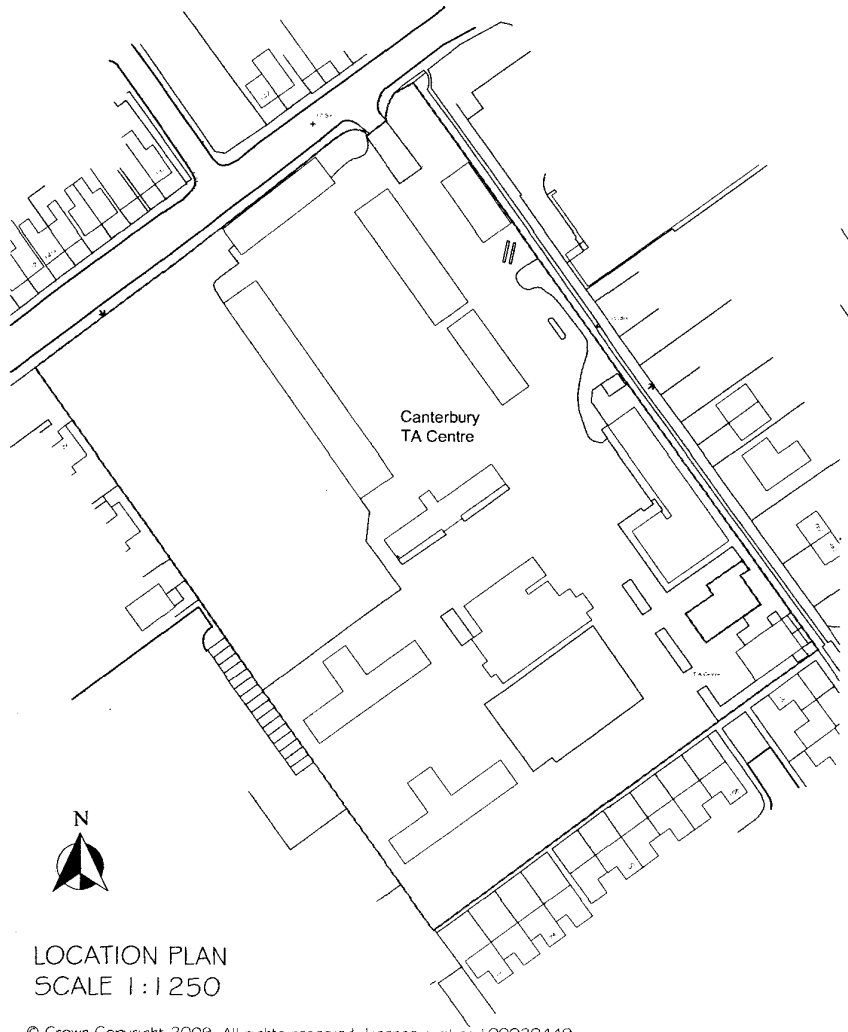
Date: April '14

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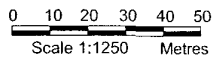
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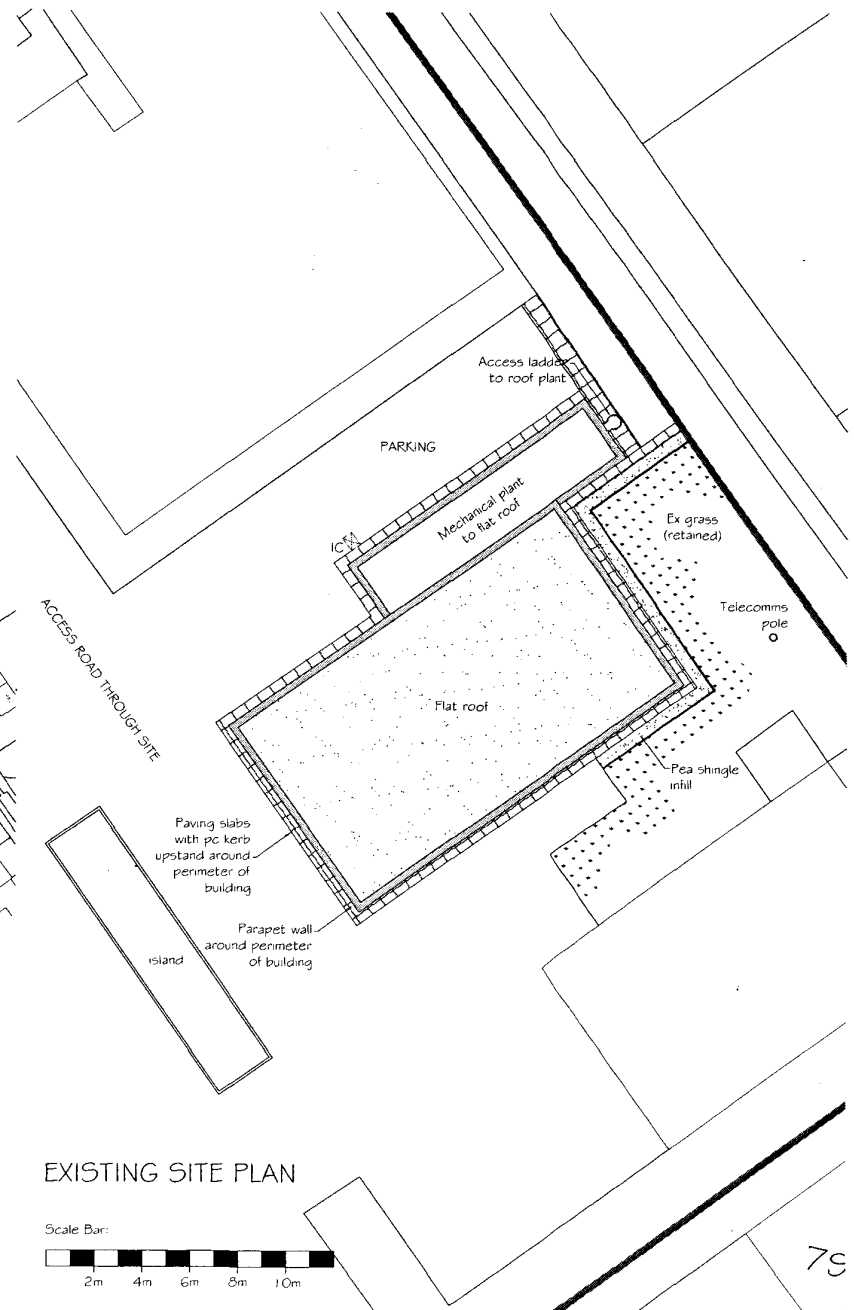


LOCATION PLAN
SCALE 1:1250

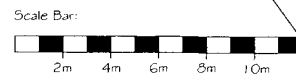
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Original Drawing Size: A3



EXISTING SITE PLAN



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SC Architecture
Anchor House, School Lane
Chandlers Ford, Lissleigh
Hampshire SO53 4UB

T: 023 8026 9222
E: info@sc-architecture.co.uk
W: www.sc-architecture.co.uk

Project Title:
**Leros Barracks
Canterbury ARC
Sturry Road
Extension to Band Room**

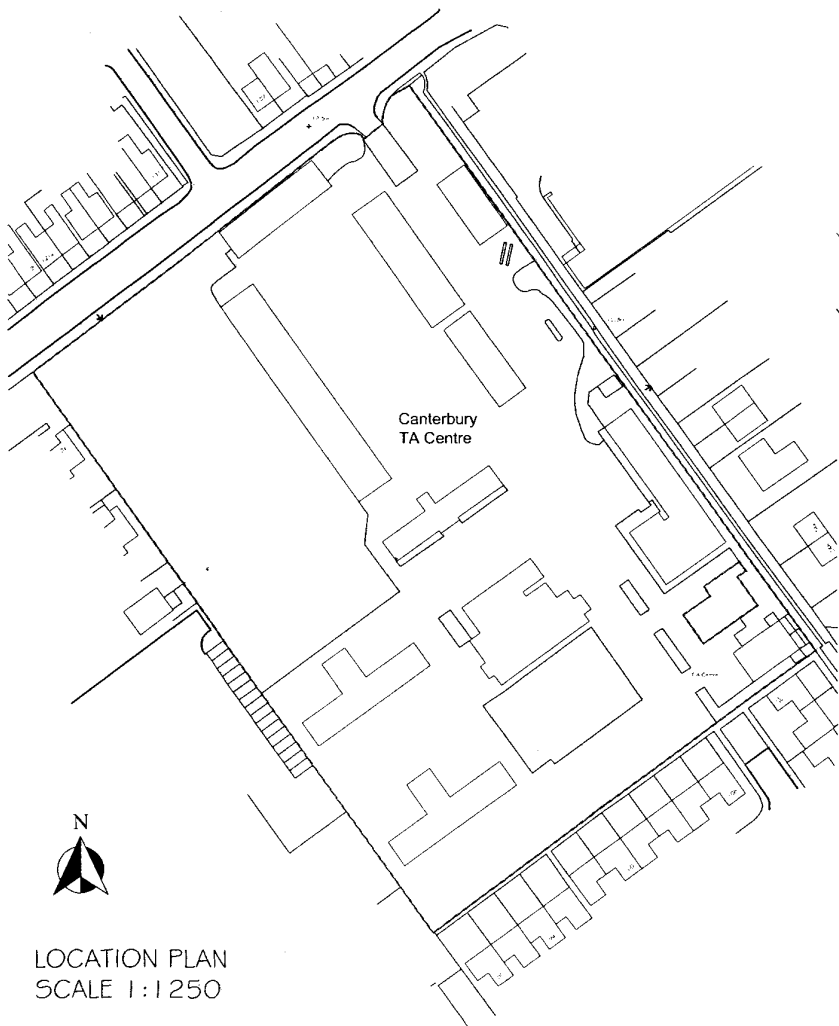
Drawing Title:
**Existing
Location & Site Plan**

Drawing No.
3644-110

Revision: -
Date: April '14
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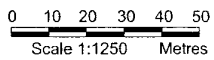
79

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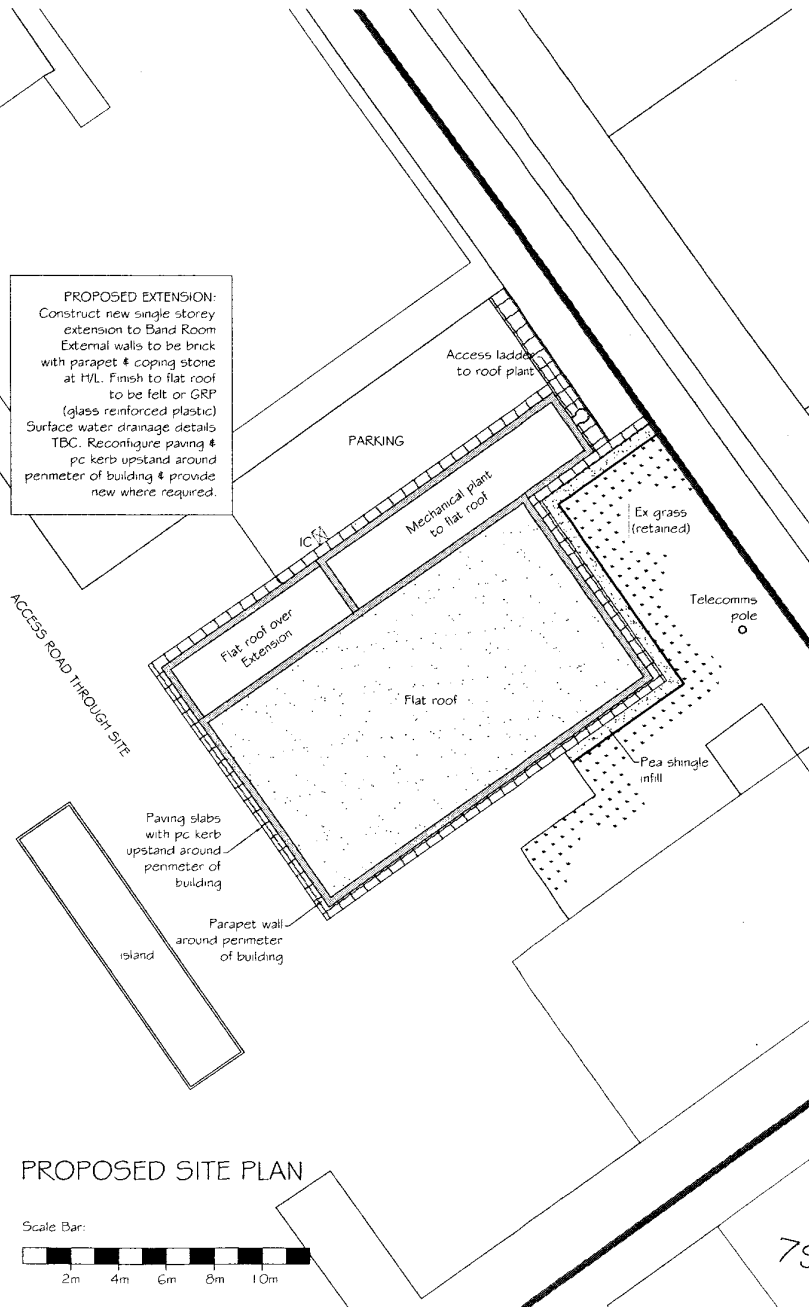


LOCATION PLAN
SCALE 1:1250

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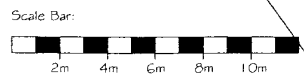


Original Drawing Size: A3



PROPOSED EXTENSION:
Construct new single storey extension to Band Room
External walls to be brick with parapet & coping stone at H/L. Finish to flat roof to be felt or GRP (glass reinforced plastic)
Surface water drainage details TBC. Reconfigure paving & pc kerb upstand around perimeter of building & provide new where required.

PROPOSED SITE PLAN



79

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SC Architecture
Anchor House, School Lane
Chandlers Ford, Eastleigh
Hampshire SO53 4UB

T: 023 8026 9222
E: info@sc-architecture.co.uk
W: www.sc-architecture.co.uk

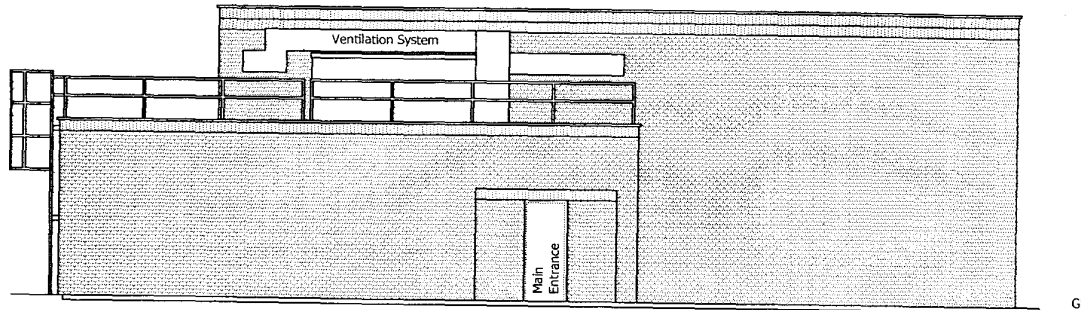
Project Title:
**Leros Barracks
Canterbury ARC
Sturry Road
Extension to Band Room**

Drawing Title:
**Proposed
Location & Site Plan**

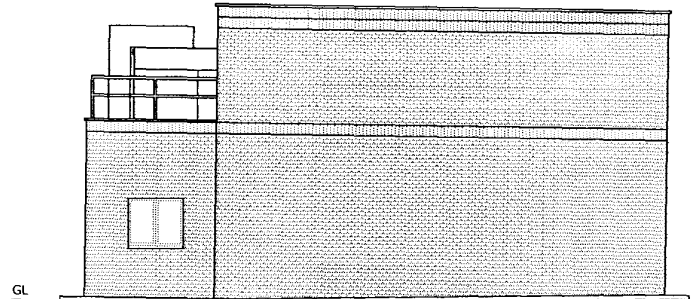
Drawing No:
3644-112

Revision: -
Date: April '14
Scale: 1:200 @ A3
Drawn: SDW
Checked: MS

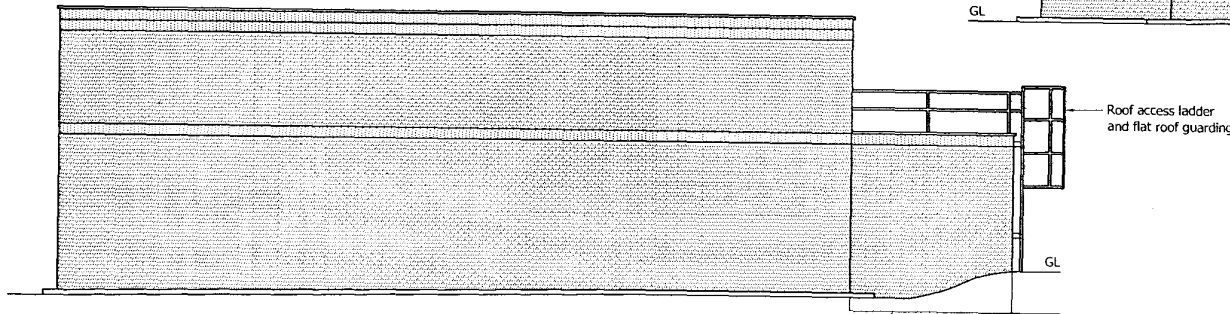
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Existing Front Elevation (North West)

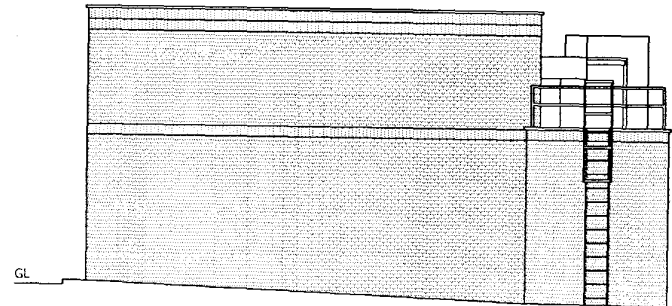


Existing Side Elevation (South West)



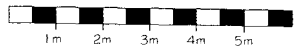
Existing Rear Elevation (South East)

Dashed line denotes ground levels beyond



Existing Side Elevation (North East)

Scale Bar:



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SC Architecture

Anchor House, School Lane
Chandlers Ford, Eastleigh
Hampshire SO53 4UB

T: 023 8026 9222
E: info@sc-architecture.co.uk
W: www.sc-architecture.co.uk

Project Title:

Leros Barracks
Canterbury ARC
Sturry Road
Extension to Band Room

Drawing Title:

Existing
Elevations

Drawing No.

3644-114

Revision:

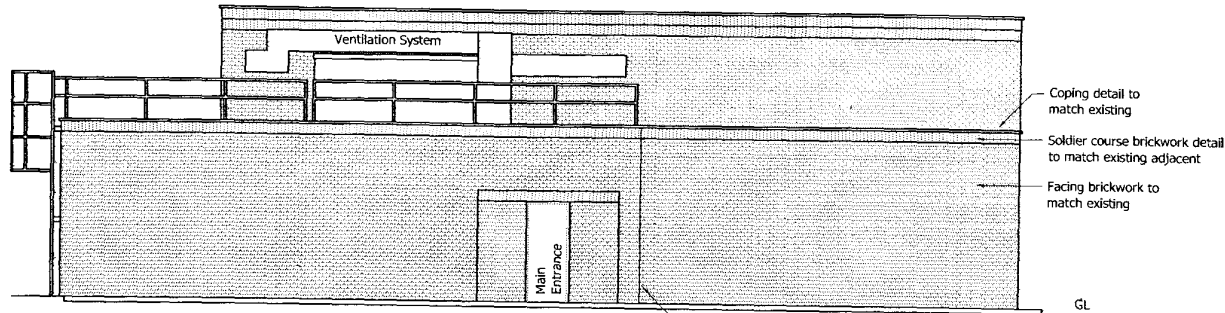
Date: April 14

Scale: 1:100 @ A3

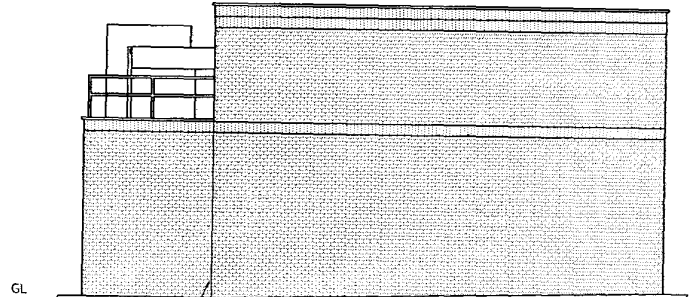
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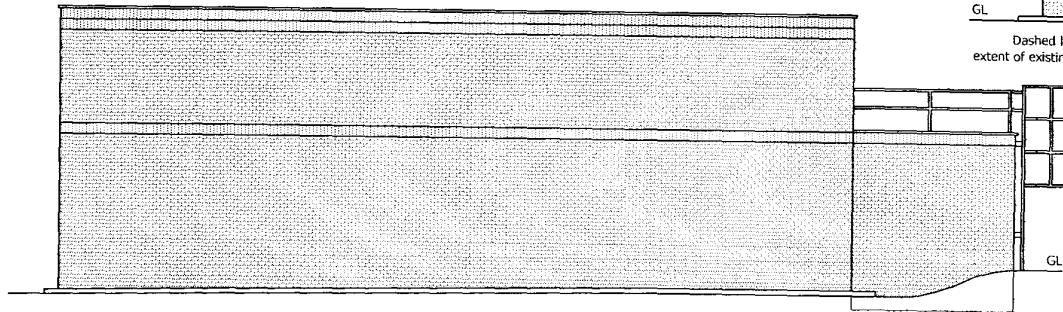
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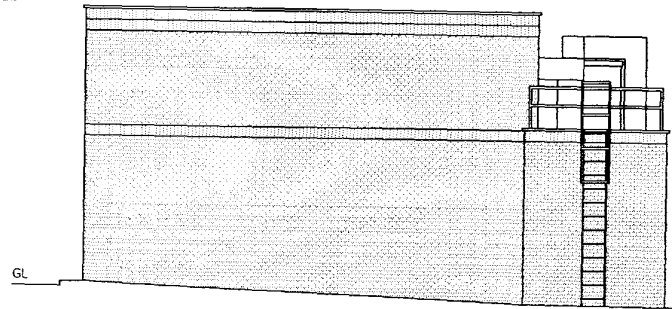
Proposed Front Elevation (North West) — Dashed line denotes extent of existing structure



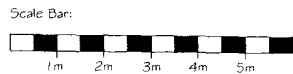
Proposed Side Elevation (South West) — Dashed line denotes extent of existing structure



Proposed Rear Elevation (South East) — Dashed line denotes ground levels beyond — NO CHANGE



Proposed Side Elevation (North East) — NO CHANGE



Original Drawing Size: A3

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SC Architecture
 Anchor House, School Lane
 Chandlers Ford, Eastleigh
 Hampshire SO53 4UB

T: 023 8026 9222
 E: info@sc-architecture.co.uk
 W: www.sc-architecture.co.uk

Project Title:
**Leros Barracks
 Canterbury ARC
 Sturry Road
 Extension to Band Room**

Drawing Title:
**Proposed
 Elevations**

Drawing No.
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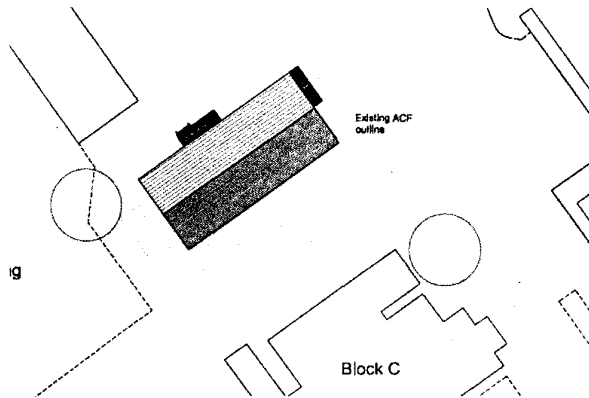


Figure 10 – Site Plan PROPOSED

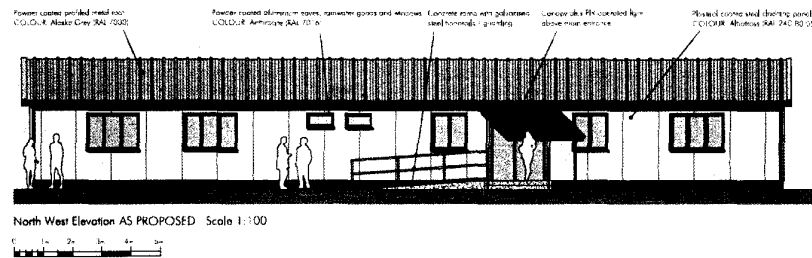


Figure 11 – Typical Elevations PROPOSED

4. Proposals

4.1 Amount

The proposals involve the replacement of approximately 217m² of accommodation (to be demolished) with a single new build unit of 274m²

4.2 Layout

The new unit will be approximately located on the footprint of the existing building, which is positioned in the centre of the site near to Block H and adjacent training field (see figure 10)

4.3 Scale

Although the new building is larger than the existing building, overall the site will feel less developed due to the reduction in the 'spread' of the proposal. The maximum height of the new building will be less than the existing structure and considerably less than surrounding buildings

4.4 Appearance

The proposed building will be of modular construction clad in plastisol coated steel. This can be supplied in any number of colours with a neutral grey being proposed. The roof will be powder coated profiled metal and windows will be powder coated aluminium. Please refer to Figure 11 for an overall impression of the colour/material palette

4.5 Landscaping

The proposal is to cover the existing footprint of the ACF building. Areas not covered will be finished to match the hardstanding adjacent to the existing building. The proposal is to include concrete ramps for DDA compliant access.

4.6 Access & Inclusion

The proposed cadet hut is one level throughout and possesses level access at both entrances. A Part M compliant WC is included within the scheme with ambulant compliant WC cubicles provided within both the male and female facilities. Disabled car parking is available within the site.

4.7 Sustainability

Due to the size of the building no measures over and above those required by building regulations are anticipated. However, all schemes for RFCA's are developed with a view to obtaining a 'very good' rating on the MOD's DREAM assessment procedure, which is broadly equivalent to BREEM

4.8 Foul and Surface Water Drainage

Foul drainage will link into the existing below ground system where no capacity problems are anticipated due to the proposed non peak hours of operation. Furthermore, as there is no significant increase in the total area of non-permeable surfaces within the site there will be no impact on the amount of storm water run-off and no new soakaways or other means of storm water dispersal are therefore anticipated.

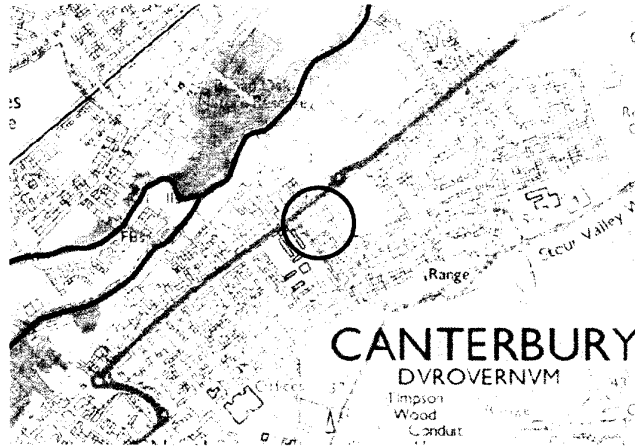


Figure 8 – Flood Zone Plan Extract (Site highlighted in red circle)



Figure 9 – Existing tree to South West

3. Survey / Investigation

3.1 Flood Risk

The Environment Agency flood risk maps were reviewed (extract at figure 8) and it was identified that the site does not lie within Flood Zones 2 or 3 and therefore no further flood risk assessment work has been undertaken.

3.2 Ecology

Due to the low ecological value of the existing managed grass landscaping/training field, it is not anticipated that the site is home to any valuable or protected species. A full ecological survey has therefore been deemed unnecessary.

3.3 Arboricultural

There are some significant trees within the site. However, most of these are located to the Sturry Road frontage and to the side of the barracks towards to the rear of the site. These trees, although of reasonable size, are approximately 80m and 20m distant respectively. In addition a tree to the South West facade of the proposal is to be approximately 8m distant (see figure 9). A detailed arboricultural report has been deemed unnecessary as:

- The trees are located a reasonable distance from the proposal. The proposal will in effect be located 4m further from the nearest tree than the current building.
- The closest tree does not spread over the application site
- The proposals for the application site will comprise a modular build that will only require concrete pad foundations therefore meaning that any disruption to RPZs, if present, will be minimal

3.4 Transport

As the additional facilities will only impact the total number of evenings and not the maximum traffic levels on any individual evening, there will be no significant impact on transport infrastructure.

3.5 Noise Impact

No noise related issues are anticipated with cadet evenings generally finishing by 9:30pm and the proposals leading to an increase in the number of operational nights only.

3.6 Utilities

As the proposals will not increase the occupancy on any individual night, the existing utilities serving the site will be adequate for the proposed re-development