



Education
Funding
Agency

Property Data Survey Programme

Survey Manual

Part

Appendices

In partnership with

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Document Owner	Anthony Walker
Document Author	Phil Beswick
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Abstract

Part 3 of the PDSP Survey Manual contains all the supporting appendices documents that are read in conjunction with the associated Parts 1 and 2 of the PDSP Manual i.e. Part 1: Overview and Methodology and Part 2: Surveyor Technical Reference.

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PDSP Survey Manual Appendices

The suite of documents forming the Property Data Survey Programme (PDSP) Survey Manual have been produced to provide an overview of all the key programme information, an outline of the programme methodology, detail of the technical content and all of the supporting appendices documents.

The Survey Manual is intended for use by all Surveying Organisations and for reference by all the programme stakeholders, and is publicly available on the DfE Website.

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Section 1

Introduction

1.1 PDSP Manual Content

The Property Data Surveys Programme (PDSP) Manual is designed to support Surveying Organisations in ensuring that the information obtained as part of the PDS is consistently captured as well as assist in the efficiency and uniformity of the approach to the programme.

The Manual will support Surveying Organisations in following required protocols and guide surveyors in undertaking surveys safely with the minimum of disruption to the staff and pupils within the educational establishments.

The manual is divided into three parts:

- > **Part 1** - PDSP Overview & Methodology
- > **Part 2** – PDSP Surveyor Technical Reference
- > **Part 3** – PDSP Appendices

1.2 Purpose of this Document

Part 3 of the manual contains all the supporting appendices documents referred to within the associated Parts 1 and 2 of the PDSP manual.

PDS Pro-forma Survey Header Data Set

Establishment level Data Set	
Authority name	pre-populated
Authority number	pre-populated
URN	pre-populated
Establishment name	pre-populated
Establishment number	pre-populated
Responsible Body:	pre-populated
Type of establishment	pre-populated
Address 1	pre-populated
Address 2	pre-populated
Address 3	pre-populated
Address 4	pre-populated
PostCode	pre-populated
FirstName	pre-populated
Surname	pre-populated
Phone	pre-populated
Position	pre-populated
Survey date	
Survey pricing base date	pre-populated
Surveying Organisation Name:	pre-populated
Surveyor Name:	
Engineer name	
Supporting information from school / authority	
Photograph of school	
Maintenance Documents Evidenced	
Site level Data Set	
Site reference:	
Site Area (excluding playing fields)	
Address 1	pre-populated
Address 2	pre-populated
Address 3	pre-populated
Address 4	pre-populated
Playing field area	
Boundary length	
Swimming pool	

Block level Data Set	
Block reference	
Block type	
Listed building	
No of Storeys	
Basement area	
Gross floor area (GIFA)	
Ground floor gross floor area (GF GIFA)	
Perimeter	
Height	
% windows and doors of external walls area	
No. of lifts	
Catering kitchen	
Surveyor has seen the maintenance documents	N/A
Survey comments	
Mechanical and electrical comments	
Photograph of block	
Aerial photograph of block	N/A

Elements 01-10 link to blocks. Elements 11 and 12 link to Sites/Zones.

Element	Sub Element	Sub Element Inaccess (N/A)	Construction Type	Construction type Inaccessible	H, S, L	Comments	Composition %	Grade	Priority	Basis of quantification for costing		
1	Roofs	1.1	Structure	1.1. 1	Flat roof structure and deck - Generally					GF GIFA		
			Structure	1.1. 2	Pitched roof structure - Generally						GF GIFA	
		1.2	Coverings and insulation	1.2. 1	Flat roof - Flexible sheet; single ply or built up							GF GIFA
				1.2. 2	Flat roof - Asphalt							GF GIFA
				1.2. 3	Flat roof - Flat metal sheet							GF GIFA
				1.2. 4	Flat roof - Liquid applied							GF GIFA
				1.2. 5	Flat roof - Green roof							GF GIFA
				1.2. 6	Flat roof - Glazed areas / rooflights							GF GIFA
				1.2. 7	Pitched roof - Natural slates							GF GIFA
				1.2. 8	Pitched roof - Tiles							GF GIFA
				1.2. 9	Pitched roof - Flexible sheet; single ply or built up							GF GIFA
				1.2. 10	Pitched roof - Profiled fibreglass / GRP / plastic / composite sheet							GF GIFA
				1.2. 11	Pitched roof - Profiled fibre cement sheet							GF GIFA
				1.2. 12	Pitched roof - Profiled metal sheet; self finished							GF GIFA
				1.2. 13	Pitched roof - Flat metal sheet							GF GIFA
				1.2. 14	Pitched roof - Glazed areas / rooflights							GF GIFA
		1.3	Drainage	1.3. 1	Flat roof - Fibre cement							GF GIFA
				1.3. 2	Flat roof - Cast iron							GF GIFA
				1.3. 3	Flat roof - Aluminium							GF GIFA
				1.3. 4	Flat roof - Other metal							GF GIFA
1.3. 5	Flat roof - Plastic									GF GIFA		
1.3. 6	Pitched roof - Fibre Cement									GF GIFA		
1.3	Drainage	1.3. 7	Pitched roof - Cast iron							GF GIFA		
		1.3. 8	Pitched roof - Aluminium							GF GIFA		
		1.3. 9	Pitched roof - Other metal							GF GIFA		
		1.3. 10	Pitched roof - Plastic							GF GIFA		
2	Floors and stairs	2.1	Ground bearing / hollow floors - structure	2.1. 1	Generally					GF GIFA		
		2.2	Suspended floors – Structure	2.2. 1	Generally					GIFA, less GF GIFA		
				2.2. 2	Concrete / unfinished screed / floor paint					GIFA		
		2.3	Floors - Screed & finish	2.3. 2	Softwood boarding						GIFA	
				2.3. 3	Hardwood strip / wood block / sprung flooring						GIFA	
				2.3. 4	Raised access floor						GIFA	
				2.3. 5	Vinyl / rubber / cork in tiles / sheet						GIFA	
				2.3. 6	Ceramic tiles / terrazzo						GIFA	
				2.3. 7	Carpet						GIFA	
				2.4	Staircases – Structure	2.4. 1	Concrete					
		2.4. 2	Timber								GIFA	
		2.4. 3	Metal								GIFA	
		2.5	Staircases - Balustrades	2.5. 1	Timber						GIFA	
				2.5. 2	Metal; painted						GIFA	
				2.5. 3	Metal; powder coated / self finished						GIFA	

PDS Pro-forma Elemental Structure and Data Set

Element	Sub Element	Sub Element Inaccess (N/A)	Construction Type	Construction type Inaccessible	H, S, L	Comments	Composition %	Grade	Priority	Basis of quantification for costing
	2.6	Staircases – Treads and risers	2.6. 1 Timber							GIFA
			2.6. 2 Vinyl / rubber / cork / carpet in tiles / sheet							GIFA
			2.6. 3 Ceramic tiles / terrazzo							GIFA
3	Ceilings	3.1	Generally	3.1. 1 Fair face concrete						GIFA
			3.1. 2 Plaster / render / plasterboard/ timber lining							GIFA
			3.1. 3 No Ceiling/ Exposed Structure							GIFA
			3.1. 4 Fibreboard / acoustic tile lining							GIFA
			3.1. 5 Suspended ceiling; timber boarding / panels							GIFA
			3.1. 6 Suspended ceiling; fibreboard / acoustic tiles							GIFA
			3.1. 7 Suspended ceiling; metal tiles							GIFA
			3.1. 8 Suspended rafts below fair faced / plaster soffit							GIFA
4	External walls, windows and doors	4.1	Walls - Structure	4.1. 1 In situ concrete						Perim x height, less % windows & doors
			4.1. 2 Precast concrete							Perim x height, less % windows & doors
			4.1. 3 Brick / block							Perim x height, less % windows & doors
			4.1. 4 Stone							Perim x height, less % windows & doors
			4.1. 5 Concrete / brick / block with rainscreen cladding							Perim x height, less % windows & doors
			4.1. 6 Timber framed curtain walling							Perim x height, less % windows & doors
			4.1. 7 Metal framed curtain walling							Perim x height, less % windows & doors
			4.1. 8 Frameless glazing							Perim x height, less % windows & doors
	4.2	Walls – External finishes	4.2. 1 Concrete							Perim x height, less % windows & doors
			4.2. 2 Brick / stone							Perim x height, less % windows & doors
			4.2. 3 Render							Perim x height, less % windows & doors
			4.2. 4 Natural slate hanging							Perim x height, less % windows & doors
			4.2. 5 Tile hanging							Perim x height, less % windows & doors
			4.2. 6 Timber cladding							Perim x height, less % windows & doors
			4.2. 7 No Wall Finish/ Exposed Structure							Perim x height, less % windows & doors
			4.2. 8 Profiled fibre cement sheet							Perim x height, less % windows & doors
			4.2. 9 Profiled fibreglass / GRP / plastic / composite / metal sheet							Perim x height, less % windows & doors
			4.2. 10 Flat metal sheet / panels							Perim x height, less % windows & doors
			4.2. 11 Flat fibreglass / GRP / plastic / composite in sheet / panels							Perim x height, less % windows & doors
			4.2. 12 Ceramic tiles							Perim x height, less % windows & doors
	4.3	Walls – Internal finishes	4.3. 1 Concrete / brick / block / stone							Perim x height, less % windows & doors
			4.3. 2 Plaster / render / plasterboard lining							Perim x height, less % windows & doors
			4.3. 3 Fibreboard / acoustic lining							Perim x height, less % windows & doors
			4.3. 4 Timber lining							Perim x height, less % windows & doors
			4.3. 5 Ceramic tiles							Perim x height, less % windows & doors
	4.4	Windows and doors	4.4. 1 Timber							Perim x height, x % windows & doors
			4.4. 2 Metal							Perim x height, x % windows & doors
			4.4. 3 Plastic							Perim x height, x % windows & doors

PDS Pro-forma Elemental Structure and Data Set

Element	Sub Element	Sub Element Inaccess (N/A)	Construction Type	Construction type Inaccessible	H, S, L	Comments	Composition %	Grade	Priority	Basis of quantification for costing		
5	Internal walls and doors	5.1	Walls and partitions - Structure	5.1. 1	Brick / block / concrete					GIFA		
				5.1. 2	Timber / metal stud					GIFA		
				5.1. 3	Glazed screen					GIFA		
				5.1. 4	Sliding / folding partition					GIFA		
		5.2	Walls and partitions finishes	5.2. 1	Concrete / brick / block / stone					GIFA		
				5.2. 2	Plaster / render / plasterboard lining					GIFA		
				5.2. 3	Fibreboard / acoustic lining					GIFA		
				5.2. 4	Timber lining					GIFA		
				5.2. 5	Ceramic tiles					GIFA		
		5.3	Doors	5.3. 1	Timber					GIFA		
5.3. 2	Metal / Plastic							GIFA				
6	Sanitary Services	6.1	Generally	6.1. 1	Generally				GIFA			
7	Mechanical Services	7.1	Heat source & equipment	7.1. 1	Generally					GIFA		
				7.2	Heating distribution, emitters and controls	7.2. 1	Generally				GIFA	
				7.3	Hot and cold water system	7.3. 1	Generally including heat source/calorifiers for heating the water				GIFA	
				7.4	Gas distribution	7.4. 1	Generally				GIFA	
				7.5	Mechanical ventilation / air conditioning	7.5. 1	No mechanical ventilation or air conditioning					GIFA
						7.5. 2	Mechanical ventilation					GIFA
						7.5. 3	Air conditioning					GIFA
8	Electrical Services	8.1	Control Gear	8.1. 1	Generally					GIFA		
				8.2	Power	8.2. 1	Generally				GIFA	
				8.3	Lighting system	8.3. 1	Generally				GIFA	
				8.4	Alarms	8.4. 1	Generally				GIFA	
				8.5	Communications and IT infrastructure	8.5. 1	Generally				GIFA	
				8.6	Lifts	8.6. 1	Generally				Count	
9	Redecorations	9.1	External - walls	9.1. 1	Unpainted					GIFA		
				9.1. 2	Painted					GIFA		
		9.2	External - windows, doors, etc.	9.2. 1	Timber					GIFA		
				9.2. 2	Metal / Plastic - unpainted					GIFA		
				9.2. 3	Metal - painted					GIFA		
		9.3	Internal - walls	9.3. 1	Unpainted					GIFA		
				9.3. 2	Painted					GIFA		
		9.4	Internal - ceilings	9.4. 1	Unpainted					GIFA		
				9.4. 2	Painted					GIFA		
		9.5	Internal - windows, doors, etc.	9.5. 1	Generally					GIFA		

PDS Pro-forma Elemental Structure and Data Set

Element	Sub Element	Sub Element Inaccess (N/A)	Construction Type	Construction type Inaccessible	H, S, L	Comments	Composition %	Grade	Priority	Basis of quantification for costing		
10	Fixed Furniture and Fittings	10.1	Teaching - Science, technology	10.1. 1	Generally					GIFA		
		10.2	Teaching - Other	10.2. 1	Generally					GIFA		
		10.3	Non-teaching - Catering kitchen	10.3. 1	Generally					GIFA		
		10.4	Non-teaching - Other	10.4. 1	Generally					GIFA		
11	External Areas	11.1	Roads and car parks	11.1. 1	Tarmac					Site area		
				11.1. 2	In-situ concrete					Site area		
				11.1. 3	Slabs / blocks					Site area		
		11.2	Paths, pedestrian paved areas, play areas	11.2. 1	Tarmac						Site area	
				11.2. 2	In situ-concrete						Site area	
				11.2. 3	Slabs / blocks						Site area	
		11.3	Soft Landscaping	11.3. 1	Generally						Site area	
		11.4	Mains Services	11.4. 1	Generally						Site area	
		11.5	Boundary walls and fences	11.5. 1	Brick / block / concrete / stone							Boundary length
				11.5. 2	Timber / Metal							Boundary length
				11.5. 3	Chain link							Boundary length
				11.5. 4	No boundary / "others" boundary							Boundary length
		11.6	Other walls, fences and barriers, including around tennis courts, MUGAs etc	11.6. 1	Generally						Site area	
		11.7	Swimming Pools - Structure	11.7. 1	Generally						Swimming pool count	
11.8	Swimming Pools - Plant	11.8. 1	Generally						Swimming pool count			
11.9	Drainage - Treatment plant	11.9. 1	Generally						Site area			
11.10	Drainage - Other	11.10. 1	Generally						Site area			
12	Playing fields, all-weather pitches / MUGAs	12.1	Generally	12.1. 1	Tarmac					Playing field area		
				12.1. 2	All-weather, artificial and specialist					Playing field area		
				12.1. 3	Grass					Playing field area		

With reference to Part 2, Section 4.4 - Establishment Level Data Set, against the PDS input field "supporting information from School/ Authority" surveyors need to input a score of 0-10 as defined by the following criteria.

- 0** – No supporting information obtained.
- 1** – OS based site plan only obtained.
- 2** – OS based site plan and Pre PDS Meeting information obtained.
- 3** – OS based site plan and floor cleaning plan/s obtained.
- 4** – OS based site plan, floor cleaning plan/s and Pre PDS Meeting information obtained.
- 5** – OS based site plan and 'to scale' floor plan/s obtained.
- 6** – OS based site plan, 'to scale' floor plan/s and Pre PDS Meeting information obtained.
- 7** – OS based site plan, floor cleaning plan/s and M&E systems inspection/test certificates obtained.
- 8** – OS based site plan, floor cleaning plan/s, Pre PDS Meeting information and M&E systems inspection/test certificates obtained.
- 9** – OS based site plan, 'to scale' floor plan/s and M&E systems inspection/test certificates obtained.
- 10** – OS based site plan, 'to scale' floor plan/s, Pre PDS Meeting information and M&E systems inspection/test certificates obtained.

Elemental Data Structure Comparison

Comparison of elemental data structure between PDS and Previous DfEE Asset Management Planning Survey

Element	Previous DfEE Sub-element name	DfEE & PDS Sub-Element Content Match	PDS Sub-element name
1. Roofs	Flat roofs		
	• Structure	✓	Structure
	• Coverings and insulation	✓	Coverings and Insulation
	• Drainage	✓	Drainage
	• Other		(no PDS sub-element - included within other sub-elements)
	Pitched roofs		
	• Structure	✓	Structure
	• Coverings and insulation	✓	Coverings and Insulation
	• Drainage	✓	Drainage
	• Other		(no PDS sub-element - included within other sub-elements)
2. Floors and stairs	Ground floor		
	• Structure		Ground bearing/hollow floors - structure
	• Screed and finish		Floors - Screed & Finish (whole block)
	Upper floors		
	• Structure		Suspended floors - Structure
	• Screed and finish		Floors - Screed & Finish (whole block)
	Staircases		
	• Structure		Staircases - Structure and Staircases - Balustrades
	• Treads and risers	✓	Staircases - Treads and Risers
	• Soffit finish		Included in staircase Structure
Other		(no PDS sub-element - included within other sub-elements)	
3. Ceilings	Ground floor		Generally - Overall Assessment across ground and upper floors
	Upper floors		
4. External walls, windows and doors	Walls		
	• Structure	✓	Walls - Structure
	• External linings/finishes	✓	Walls - External finishes
	• Internal linings/finishes	✓	Wall Internal finishes
	Windows and doors		
	• Framing		Windows and Doors - Overall Assessment
	• Glazing		
• Ironmongery			

Elemental Data Structure Comparison

Comparison of elemental data structure between PDS and Previous DfEE Asset Management Planning Survey

Element	Previous DfEE Sub-element name	DfEE & PDS Sub-Element Content Match	PDS Sub-element name
5. Internal walls and doors	Walls and partitions		
	<ul style="list-style-type: none"> • Structure 	✓	Walls and Partitions - Structure
	<ul style="list-style-type: none"> • Linings/finishes 	✓	Walls and Partitions - finishes
	Doors and glazed screens		
	<ul style="list-style-type: none"> • Framing • Glazing • Ironmongery 		Doors - Overall Assessment
6. Sanitary services	Toilets		
	<ul style="list-style-type: none"> • Fittings • Waste plumbing 		Generally - Overall Assessment
	Kitchens		
	<ul style="list-style-type: none"> • Fittings • Waste plumbing 		Included in Non-Teaching - Catering kitchen - Overall Assessment
7. Mechanical services	Heat source and equipment	✓	Heat source and equipment
	Heating		
	<ul style="list-style-type: none"> • Distribution • Controls 		Included in Heating distribution, emitters and controls - Overall Assessment
	Hot and cold water		
	<ul style="list-style-type: none"> • Storage tanks and equipment • Distribution 		Included in Hot and Cold water system Overall Assessment.
	Gas distribution	✓	Gas distribution
	Ventilation		Included as part of Mechanical ventilation/air conditioning
	Air conditioning		Included as part of Mechanical ventilation/air conditioning
	Other		(no PDS sub-element - included within other sub-elements)
	8. Electrical Services	Control gear	✓
Power			
<ul style="list-style-type: none"> • Wiring • Fittings 			Included in Power - Overall Assessment.
Lighting			
<ul style="list-style-type: none"> • Wiring • Fittings 			Included in Lighting System - Overall Assessment
Fire Alarms			Included as part of PDS sub-element - Alarms
Intruder Alarms			Included as part of PDS sub-element - Alarms
Lightning protection			(no PDS sub-element)
Communications systems		✓	Communications and IT infrastructure
Lifts and hoists		✓	Lifts

Elemental Data Structure Comparison

Comparison of elemental data structure between PDS and Previous DfEE Asset Management Planning Survey

Element	Previous DfEE Sub-element name	DfEE & PDS Sub-Element Content Match	PDS Sub-element name
9. Redecorations	External		Split over External - Walls and External - windows, doors, etc.
	Internal		Split over Internal - Walls, Internal - ceilings and Internal windows, doors, etc.
10. Fixed furniture and fittings	Teaching		
	<ul style="list-style-type: none"> • Science • Technology • Other 	✓	Included in Teaching - Science, technology Overall Assessment Teaching - Other
	Non-teaching		
	<ul style="list-style-type: none"> • Kitchen • Other 	✓ ✓	Non-Teaching Catering Kitchen Non-Teaching Other
11. External areas	Roads and car parks	✓	Roads and Car Park
	Paths and pedestrian paved areas	✓	Paths and pedestrian paved areas, play areas
	Soft landscaping	✓	Soft Landscaping
	Walls, fences and gates		Split between Boundary walls and fences and Other walls, fences and barriers, including around tennis courts, MUGAs etc.
	Ancillary premises		(no PDS sub-element - included within other sub-elements)
	Outdoor swimming pools		Split between Swimming Pools - Structure and Swimming Pools - Plant.
	Drainage		Split between Drainage - Treatment plant and Drainage - Other.
	Mains Services	✓	Mains services
12. Playing fields	Generally	✓	Generally

1. Working in Educational Establishments

Working in educational establishments presents a number of specific health and safety risks to the safety of the personnel operating within surveying teams, site staff, students and visitors and this is of the highest importance when undertaking PDS work on educational establishment sites. Within educational establishments, surveyors may encounter vulnerable sections of the community that may include school children, pre-school children, young persons and students with learning disabilities. They will often be involved in activities which are sensitive to disruption, such as being taught or engaged in games and activities that can be disturbed by surveying activities. Surveyors will need to be sensitive to these activities and it may be necessary to re-schedule parts of surveys or confirm times when areas are free to enable PDS to be undertaken.

Surveyors should refrain from engaging with young persons and certainly avoid any physical contact whilst going about their work in a polite, calm and detached way. If the surveyor feels that they are being approached or engaged by young people, he or she should abandon the part of the survey being addressed and inform the educational establishment representative who can arrange for the surveyor to be escorted.

It is vitally important that surveyors are fully aware of and clearly understand their responsibilities whilst surveying within educational establishment boundaries. If surveyors have any doubts, they should contact the representative of the educational establishment or their own organisation for advice.

Surveying Organisations are to ensure that all surveyors/engineers have an enhanced Criminal Records Bureau (CRB) check. Surveying Organisations will be required to undertake the CRB checks using the services of a CRB registered 'Umbrella Body'. See: <http://www.homeoffice.gov.uk/agencies-public-bodies/crb/>.

Surveying Organisations need to ensure that any new surveyors/engineers joining the programme are also enhanced CRB checked, **and on no account should any surveyor/engineer work undertake a PDS without enhanced CRB.**

Surveyors will need to carry proof of identity in the form of a personal Identification (ID) badge which must be kept visible at all times during the PDS. Details required on the personal ID badge include; name, Surveying Organisation and office address, photographic identity and CRB Identification number. Surveyors are also required to carry their CRB certificate.

2. Health and Safety at Work etc Act 1974

2.1 Overview

The Health and Safety at Work etc. Act 1974 is the principal Act that protects both people at work and anyone else affected by the work activities. Part of the Act, S2 (2), places a statutory duty on all employers to provide and maintain equipment and systems of work that are safe and without risk to health of employees or others who may be affected by their undertaking.

2.2 Company Responsibility

The surveying organisations are required to have in place a management process designed to identify foreseeable risks and to put in place means to reduce these risks to acceptable levels such that the tasks, activities, objectives and goals of the organisation can be fulfilled successfully and safely. The management process should include a recognised line management structure to manage and monitor health and safety and to have in place appropriate policies and procedures. These should ensure that individuals, both employees and others, who could be affected by the activities undertaken are either free from risk or that risk is managed and minimised.

Health and Safety

The surveying organisation will need to have a Health and Safety Policy which will set out its procedures. This should be available to EFA prior to PDS being undertaken. Regular training should be undertaken by the surveying organisation to ensure that the staff are and remain competent with regards to health and safety. Staff employed by the surveying organisations have a direct responsibility to ensure that health and safety policies and procedures are practised effectively and competently.

The organisations' policies and procedures will take into account the legislation that is described in the remaining sub-sections and other relevant legislation.

2.3 The Management of Health and Safety at Work Regulations 1999

The Management of Health and Safety at Work Regulations 1999 set out requirements with regard to having in place satisfactory and safe systems for the undertaking of building surveys, which by their very nature are regarded as hazardous activities. This is particularly important when surveyors are working alone.

The Regulations require, amongst other requirements, that all employers and self-employed people assess the risk to themselves and any others likely to be affected by their work or business. This will include the surveying staff themselves, the educational staff, students and visitors to the educational establishment sites.

2.4 HSE Good Practice Guidance Notes and Other Health and Safety Legislation

Management and surveyors need to be familiar with all other relevant legislation, regulations and HSE good practice Guidance Notes that apply to specific types of surveys and/or premises. These include the Workplace Regulations, Work Equipment Regulations, Confined Space Regulations and guidance notes on topics such as Working with Asbestos, Safety in Roof Work, COSHH and the Peripatetic Worker, and Health. The Surveying organisations should also familiarise themselves with the RICS guidance note "Surveying Safely" which has been referred to in the following text.

2.5 Risk Assessments

Generic risk assessments should be produced by the Surveying Organisation for the normally envisaged risks that will be encountered during PDS and a number of these have been set out below in sub-section 4.7 – Educational Establishment Health and Safety Issues.

Although it would be at the surveyors discretion, depending upon any specific concerns that may be identified, it is not envisaged that written site specific risk assessments will be produced during the PDS and that any requirements should be ascertained and undertaken during the pre PDS survey meeting and the desk top preparation stage.

Generally, risk assessments need to be undertaken on site by surveyors to identify hazards or events that are likely to lead to harm. Hazards or events are assessed in terms of the likelihood of occurrence and the severity of harm that would result. If these risks are encountered on site and hazards are identified, risk assessments should be undertaken. If an identified hazard is deemed to be too great, the associated area should be exempted from the survey and the issue recorded with comments.

Removing the hazard, or reducing the likelihood of the hazard occurring, or reducing the severity of the hazard will need to be identified in the production of a "Safe System of Work" or "Method Statement" for activities. Risk assessments should be specifically undertaken in relation to working at height, confined spaces, single surveyor working, and tripping/slipping/falling hazards.

2.6 Educational Establishment Generic Risks

When inspecting educational establishment premises, the surveyors will be required to give consideration to the type of site/building being surveyed, high structures, the condition of the premises being entered and premises occupants.

Risks could include activities within the premises that may include sports or high risk activities, such as motor repairs, or other special risks which could be linked to a specific activity. There may be dangerous substances, vermin or disease present or adverse environmental conditions. Security and access arrangements may lead to the risk of being isolated or locked into secure areas.

Health and Safety

2.7 Educational Establishment Health and Safety Issues

2.7.1 Procedures

There are a number of issues to be aware of with regard to educational establishment health and safety.

Prior to visiting an educational establishment to undertake a PDS, the surveyor should undertake a pre-assessment of the hazards and risks that are likely to be encountered on the visit. The Pre PDS meeting Questionnaire (see Part 3, Appendix M) will need to include questions linked to the identification of hazards and risks. This needs to take place during the pre PDS meeting. As complete an assessment as is reasonably possible should be made during the pre PDS meeting.

The surveying organisation will need to have a set of procedures in place for undertaking this type of assessment, including suitable training and instruction for employees.

Arrangements will need to be made to enter plant rooms or sensitive areas. It will be important to collect as much information as possible from the educational establishment representative or the person who is in control of managing the premises or site.

If the PDS is not planned thoroughly, it may not be possible to visit certain parts of the educational establishment and it may be necessary to abandon the visit and re-visit once the necessary arrangements have been made. This needs to be prevented by effective planning.

2.7.2 Hazardous and Dangerous Substances

In some circumstances there may be hazardous substances within educational establishment buildings, (refer to the Control of Substances Hazardous to Health Regulations 2002 (COSHH). There may be laboratory chemicals, radiation, asbestos, gas or other noxious atmosphere, explosives. This circumstance will need to be discussed with the educational establishment representative to ascertain what safety precautions are needed. If areas are particularly dangerous, they should be excluded from the PDS and details of these need to be recorded.

Sight of records, such as a register of asbestos containing materials (ACMs), should be requested from the educational establishment representative. Precautions will need to be taken when visiting such areas, as these are governed by the Control of Asbestos Regulations 2006 and related legislation.

2.7.3 Site Based and Alone Working

The surveying organisations will need to make a judgement on whether or not surveyors should work in pairs and only work alone when this is a safe option. All surveyors should carry mobile phones for enabling communications in an emergency. Each surveying organisation will need to have a record of the employees' mobile phone numbers. Where there is not a strong signal at the premises or where specific risks have been identified, the surveyor should phone the office before leaving the site.

At the pre PDS meeting, the procedure for rescuing a sick or injured surveyor should be discussed with the educational establishment representative to ascertain how a rescue could be achieved. Surveyors should inform educational establishment representatives of any medical condition which could affect the safety of the individuals, staff and those around them. Such conditions may include epilepsy, diabetes, vertigo, etc.

2.7.4 Hazardous Condition of Properties

Any potential hazardous conditions of the properties on the educational establishment site should be raised at the pre PDS meeting. This would need to include identification of any premises which are known to be derelict or in poor condition and any areas defined as unsafe for access. If such areas are identified, they should not be surveyed but recorded as a health and safety issue on the PDS Proforma.

If areas are in poor condition, protective clothing or special equipment may be required. Such protective clothing includes safety boots and hard hats.

2.7.5 Educational Establishment Activities

During the pre PDS meeting, the surveyor should ascertain which areas are occupied. This is to ensure that occupants know a visit is to take place and to allow for any preparations to be made.

Surveyors should be sensitive to the uses of the site buildings, which will include teaching and may include nursery provision. The surveyors should be responsive to any requests by members of staff, which may include requests to leave an area.

A number of activities may be taking

Health and Safety

place within educational establishment buildings that may involve hazardous working as a consideration. Examples of this are noise, fumes, vehicle movements, operational electronic equipment, mechanical plant or machinery in operation and the presence of animals.

2.7.6 Site Rules and Welfare

The surveyor should ascertain any specific house or site rules, including emergency evacuation arrangements. There may be 'permit to work/enter' procedures to be followed including washing of hands or the wearing of over shoes. Surveyors may be restricted to certain toilets and/or wash areas. It is important that the availability of first aid facilities is ascertained.

2.7.7 Mechanical and Electrical Services Hazards

Mechanical and electrical engineers should only inspect the services elements of the building. The engineers should discuss any possible dangers at the pre PDS meeting and use their skill and experience to ascertain if there are any dangers associated with electricity, gas, water or steam supplies. It is not envisaged that engineers will enter high voltage rooms, sub-stations and fuel stores. Care should be taken when encountering water cooling plant as this may harbour legionella bacteria.

Other identified hazards may include temporary lighting installations, mains connections and generators, hidden cables and pipes. Invasive investigations are not to be undertaken. However, identified risks should be recorded in the health and safety free text fields provided within the PDS Pro-forma and the educational establishment will need to be informed of the risks identified.

2.7.8 Weather Conditions

Surveyors will need to use their judgement when working in extreme weather conditions. During times of high temperatures, surveyors should ensure they have sufficient water and protective clothing to avoid sun burn when working outside.

2.7.9 Personal Matters

The surveying organisations should ensure that the surveyors selected to undertake PDS have an acceptable level of fitness required for the activities. Consideration needs to be given to the hazards which have been identified and where a poor level of fitness would present a hazard in itself.

Pregnant staff need special consideration as do staff members with conditions such as vertigo, claustrophobia or medical conditions including impaired judgment which could affect personal safety.

2.7.10 Access and Restricted Areas

Site access arrangements are to be determined at the pre PDS meeting. Care will need to be taken in secure areas to ensure that surveyors are not locked in or that aid can be summoned in an emergency.

Some educational establishments close early and procedures must be agreed to ensure that surveyors are not still on site when the premises are locked at night. Particular care must be taken on Friday afternoons when an injured surveyor could be locked in premises for the entire weekend.

In some geographical areas, mobile phones will not have a signal. Mobile phones could be dropped or batteries can become exhausted. It will not be sufficient to rely on mobile phones and surveyors should be signed in and out of the buildings by the educational establishment's staff.

The above circumstances are by no means exhaustive and the surveying organisations need procedures in place to ensure that the described risks and any other risks are managed while undertaking PDS.

Major element	Sub-element	Surveying Methodology	Measurement Practice (TR)
1. Roofs	1.1 Structure	<p>Visual inspection that may, but not exclusively, include:</p> <ul style="list-style-type: none"> - Exposed decking and structure both from above and below; - Covered decking for undulations; - Parapets and adjoining structures at junctions to indicate any movement; - Concrete; - Structural steel/metal; - Structural timber. <p>Overall assessment in terms of flat and/or pitched roof structure condition as a whole by allocating a single Condition Grade, single Condition Priority and percentage composition to each predominant construction type for the block.</p>	Ground floor Gross Internal Floor Area (GIFA) (m2) measured from block plans/ floor plans.
	1.2 Coverings and insulation	<p>Visual inspection of flat and/or pitched roof coverings (including insulation) that may, but not exclusively, include:</p> <ul style="list-style-type: none"> - Applied liquid; - Asphalt; - Copper; - Felt; - Fibreglass; - Fibre cement sheet; - 'Green'; - GRP/plastics profiled sheet; - Lead; - Metal profiled sheet; - Single ply/EPDM membrane; - Slates – artificial; - Slates – natural; - Tiles – clay plain; - Tiles – concrete interlocking; - Zinc; - Barge boards/ fascias/soffits; - Flashings/linings; - Glazing/rooflights; - Perimeters/upstands; - Ridge/hip coverings <p>Overall assessment in terms of flat and/or pitched roof coverings and insulation condition as a whole by allocating a single Condition Grade, single Condition Priority and percentage composition to each predominant construction type for the block.</p>	Ground floor Gross Internal Floor Area (GIFA) (m2) measured from block plans/ floor plans.

Major element	Sub-element	Surveying Methodology	Measurement Practice (TR)
1. Roofs	1.3 Drainage	<p>Visual inspection of flat roof drainage installations that may, but not exclusively, include:</p> <ul style="list-style-type: none"> - Aluminium gutters/downpipes; - Cast iron gutters/downpipes; - Copper/lead/zinc sheet; - Fibre cement gutters/downpipes; - Pressed metal sheet; - PVCu gutters/downpipes. <p>Overall condition assessment in terms of flat roof drainage as a whole by allocating a single Condition Grade and single Condition Priority to each predominant flat roof drainage construction type to the block.</p>	Ground floor Gross Internal Floor Area (GIFA) (m ²) measured from block plans/ floor plans.

Major element	Sub-element	Surveying Methodology	Measurement Practice (TR)
2. Floors and Stairs	2.1 Ground bearing/hollow floors - structure	<p>Visual inspection of any exposed surfaces to ground bearing/hollow floors structure that may, but not exclusively, include:</p> <ul style="list-style-type: none"> - Structural concrete/concrete slab; - Structural steel; - Structural timber. <p>Overall assessment in terms of ground bearing/hollow floors structure condition as a whole by allocating a single Condition Grade and single Condition Priority to the construction type (Generally) for the block.</p>	Ground floor Gross Internal Floor Area (GIFA) (m2) measured from block plans/floor plans.
	2.2 Suspended floors - structure	<p>Visual inspection of any exposed surfaces to suspended floors structure that may, but not exclusively, include:</p> <ul style="list-style-type: none"> - Structural concrete/ concrete slab; - Structural steel; - Structural timber. <p>Overall assessment in terms of suspended floors structure condition as a whole by allocating a single Condition Grade and single Condition Priority to the construction type (Generally) for the block.</p>	Gross Internal Floor Area (GIFA) (m2) measured from block plans/floor plans less ground floor GIFA.
	2.3 Floors – screed and finish	<p>Visual inspection of floor screeds and finishes that may, but not exclusively, include:</p> <ul style="list-style-type: none"> - Structural concrete/ concrete slab; <p>Overall assessment in terms of floor screeds and finishes condition as a whole by allocating a single Condition Grade, single Condition Priority and percentage composition to each predominant construction type for the block.</p>	Gross Internal Floor Area (GIFA) (m2) measured from block plans/floor plans.

Major element	Sub-element	Surveying Methodology	Measurement Practice (TR)
2. Floors and Stairs	2.4 Staircases – structure	<p>Visual inspection of staircases structure that may, but not exclusively, include:</p> <ul style="list-style-type: none"> - Concrete; - Metal; - Timber. <p>Overall assessment in terms of staircases structure condition as a whole by allocating a single Condition Grade, single Condition Priority and percentage composition to each predominant construction type for the block.</p>	Gross Internal Floor Area (GIFA) (m2) measured from block plans/floor plans.
	2.5 Staircases – balustrades	<p>Visual inspection of staircase balustrades that may, but not exclusively, include:</p> <ul style="list-style-type: none"> - Aluminium; - Plastic coated metal; - Powder coated metal; - Stainless steel; - Timber. <p>Overall assessment in terms of staircases balustrades condition as a whole by allocating a single Condition Grade, single Condition Priority and percentage composition to each predominant construction type for the block.</p>	Gross Internal Floor Area (GIFA) (m2) measured from block plans/floor plans.

Major element	Sub-element	Surveying Methodology	Measurement Practice (TR)
2. Floors and Stairs	2.6 Staircases – treads and risers	<p>Visual inspection of staircases treads and risers that may, but not exclusively, include:</p> <ul style="list-style-type: none"> - Carpet; - Ceramic tile; - Parquet/wood block; - Terrazzo; - Timber – hardwood strip; - Timber – softwood strip; - Vinyl/rubber/cork. <p>Overall assessment in terms of staircases treads and risers condition as a whole by allocating a single Condition Grade, single Condition Priority and percentage composition to each predominant construction type for the block.</p>	Gross Internal Floor Area (GIFA) (m2) measured from block plans/floor plans.

Major element	Sub-element	Surveying Methodology	Measurement Practice (TR)
3. Ceilings	3.1 Generally	<p>Visual inspection of ceilings that may, but not exclusively, include:</p> <ul style="list-style-type: none"> - Acoustic panels/tiles; - Exposed structure/no ceiling; - Fair face concrete; - Fibreboard; - Mdf board/tile; - Plaster/plasterboard/render; - Suspended ceiling – fibreboard; - Suspended ceiling – metal tiles; - Suspended ceiling – timber boarding/panels; - Suspended raft below fair faced/plaster soffit; - Timber lining. <p>Overall assessment in terms of ceilings condition as a whole by allocating a single Condition Grade, single Condition Priority and percentage composition to each predominant construction type for the block.</p>	Gross Internal Floor Area (GIFA) (m2) measured from block plans/floor plans.

Major element	Sub-element	Surveying Methodology	Measurement Practice (TR)
4. External walls, windows and doors	4.1 Walls – structure	<p>Visual inspection of external walls structure that may, but not exclusively, include:</p> <ul style="list-style-type: none"> - Brick/block; - Brick/block/concrete with rainscreen cladding; - Concrete; - Glass block/glazing; - Stone; - Timber/metal framed curtain walling; - Cills. <p>Overall assessment in terms of external walls structure condition as a whole by allocating a single Condition Grade, single Condition Priority and percentage composition to each predominant construction type for the block.</p>	Block perimeter (m) x block height (m) less % windows and doors.
	4.2 Walls – external finishes	<p>Visual inspection of external walls external finishes that may, but not exclusively, include:</p> <ul style="list-style-type: none"> - Brick/stone; - Ceramic tile; - Cladding – fibre cement sheet profiled; - Cladding – GRP/plastic; - Cladding – metal profiled; - Cladding – timber; - Concrete panel; - Facings/fair faced (no finish); - Fibre cement boarding; - Flat metal sheet/panel; - Render; - Slate hanging; - Tile hanging; - Copings. <p>Overall assessment in terms of external walls external finishes condition as a whole by allocating a single Condition Grade, single Condition Priority and percentage composition to each predominant construction type for the block.</p>	Block perimeter (m) x block height (m) less % windows and doors.

Major element	Sub-element	Surveying Methodology	Measurement Practice (TR)
4. External walls, windows and doors	4.3 Walls – internal finishes	<p>Visual inspection of external walls internal finishes that may, but not exclusively, include:</p> <ul style="list-style-type: none"> - Acoustic panels; - Brick/block; - Ceramic tile; - Concrete; - Dry lined fibre/mdf board/tile; - Facings/fair faced (no finish); - Plaster/plasterboard; - Render; - Stone; - Timber boarding/panel. <p>Overall assessment in terms of external walls internal finishes condition as a whole by allocating a single Condition Grade, single Condition Priority and percentage composition to each predominant construction type for the block.</p>	Block perimeter (m) x block height (m) less % windows and doors.
	4.4 Windows and doors	<p>Visual inspection of windows and doors that may, but not exclusively, include:</p> <ul style="list-style-type: none"> - Folding/shutter doors; - Metal; - Plastic; - Timber; - Window/door draughtproofing; - Window/door glazing; - Window/door ironmongery. <p>Overall assessment in terms of windows and doors condition as a whole by allocating a single Condition Grade, single Condition Priority and percentage composition to each predominant construction type for the block.</p>	Block perimeter (m) x block height (m) x % windows and doors.

Major element	Sub-element	Surveying Methodology	Measurement Practice (TR)
5. Internal walls and doors	5.1 Walls and partitions - structure	<p>Visual inspection of internal walls and partitions structure that may, but not exclusively, include:</p> <ul style="list-style-type: none"> - Brick/block; - Concrete; - Demountable partitioning; - Glass blocks/glazed screen; - Sliding/folding partitioning; - Stone; - Timber/metal stud. <p>Overall assessment in terms of internal walls and partitions structure condition as a whole by allocating a single Condition Grade, single Condition Priority and percentage composition to each predominant construction type for the block.</p>	Gross Internal Floor Area (GIFA) (m2) measured from block plans/floor plans.
	5.2 Walls and partitions finishes	<p>Visual inspection of internal walls and partitions finishes that may, but not exclusively, include:</p> <ul style="list-style-type: none"> - Acoustic panels; - Brick/block; - Ceramic tile; - Concrete; - Dry lined fibre/mdf board/tile; - Facings/fair faced (no finish); - Plaster/plasterboard; - Render; - Stone; - Timber boarding/panel. <p>Overall assessment in terms of internal walls and partitions finishes condition as a whole by allocating a single Condition Grade, single Condition Priority and percentage composition to each predominant construction type for the block.</p>	Gross Internal Floor Area (GIFA) (m2) measured from block plans/floor plans.

Major element	Sub-element	Surveying Methodology	Measurement Practice (TR)
5. Internal walls and doors	5.3 Doors	<p>Visual inspection of all internal door components that may, but not exclusively, include:</p> <ul style="list-style-type: none"> - Metal doors/screens/hatches; - Plastic doors/screens/hatches; - Timber doors/screens/hatches; - Door furniture; - Glazing. <p>Overall assessment in terms of internal doors condition as a whole by allocating a single Condition Grade, single Condition Priority and percentage composition to each predominant construction type for the block.</p>	Gross Internal Floor Area (GIFA) (m2) measured from block plans/floor plans.

Major element	Sub-element	Surveying Methodology	Measurement Practice (TR)
6. Sanitary services	6.1 Generally	<p>Visual inspection of sanitary services generally that may, but not exclusively, include:</p> <ul style="list-style-type: none"> - Basins; - Showers; - Sinks; - Urinals; - WCs. <p>Overall assessment in terms of sanitary services condition as a whole by allocating a single Condition Grade and single Condition Priority to the construction type (Generally) for the block.</p>	Gross Internal Floor Area (GIFA) (m2) measured from block plans/floor plans.

Major element	Sub-element	Surveying Methodology	Measurement Practice (TR)
7. Mechanical services	7.1 Heat source and equipment	<p>Visual inspection of boiler/heat source and equipment generally that may, but not exclusively, include:</p> <ul style="list-style-type: none"> - Burners; - Casings and sections; - Fans; - Flues; - Pressure units. <p>Overall assessment in terms of boiler/heat source and equipment condition as a whole by allocating a single Condition Grade and single Condition Priority to the construction type (Generally) for the block.</p>	Gross Internal Floor Area (GIFA) (m2) measured from block plans/floor plans.
	7.2 Heating distribution, emitters and controls	<p>Visual inspection of heating distribution, emitters and controls generally that may, but not exclusively, include:</p> <ul style="list-style-type: none"> - Distribution pipework; - Distribution pipework insulation; - Distribution valves; - Heat emitters; - Heating pumps; - Motorised valves; - Heating plant controls; - Heating thermostatic valves. <p>Overall assessment in terms of heating distribution, emitters and controls condition as a whole by allocating a single Condition Grade and single Condition Priority to the construction type (Generally) for the block.</p>	Gross Internal Floor Area (GIFA) (m2) measured from block plans/floor plans.

Major element	Sub-element	Surveying Methodology	Measurement Practice (TR)
7. Mechanical services	7.3 Hot and cold water system	<p>Visual inspection of hot and cold water systems generally that may, but not exclusively, include:</p> <ul style="list-style-type: none"> - Calorifiers/heat source; - Cold water system distribution booster pumps; - Cold water system distribution pipe-work; - Cold water system distribution pipework insulation; - Cold water system storage tanks; - Direct hot water system distribution pipework; - Direct hot water system distribution pipework insulation; - Direct hot water system generators; - Direct hot water system pumps; - Direct hot water system storage tanks; - Direct hot water system thermostatic valves; - Drinking fountains; - Equipment supports; - Fire dry risers; - Fire hose reels; - Tank supports; - Water treatment. <p>Overall assessment in terms of hot and cold water systems condition as a whole by allocating a single Condition Grade and single Condition Priority to the construction type (Generally) for the block.</p>	Gross Internal Floor Area (GIFA) (m2) measured from block plans/floor plans.

Major element	Sub-element	Surveying Methodology	Measurement Practice (TR)
7. Mechanical services	7.4 Gas distribution	<p>Visual inspection of gas distribution system components generally that may, but not exclusively, include:</p> <ul style="list-style-type: none"> - Gas appliances; - Gas booster pumps; - Gas detectors; - Gas distribution pipework; - Gas valves; - Low pressure gas fuel storage vessels. <p>Overall assessment in terms of gas distribution condition as a whole by allocating a single Condition Grade and single Condition Priority to the construction type (Generally) for the block.</p>	Gross Internal Floor Area (GIFA) (m2) measured from block plans/floor plans.
	7.5 Mechanical ventilation/air conditioning	<p>Visual inspection of mechanical ventilation/air conditioning systems that may, but not exclusively, include:</p> <ul style="list-style-type: none"> - Air conditioning units; - Air handling units; - Extract units to showers/toilets/ catering areas; - Fan coil units; - No mechanical ventilation or air conditioning; - Specialist teaching ventilation units. <p>Overall assessment in terms of mechanical ventilation/air conditioning systems condition as a whole by allocating a single Condition Grade, single Condition Priority and percentage composition to each predominant construction type for the block.</p>	Gross Internal Floor Area (GIFA) (m2) measured from block plans/floor plans.

Major element	Sub-element	Surveying Methodology	Measurement Practice (TR)
8. Electrical services	8.1 Control gear	<p>Visual inspection of electrical services control gear generally that may, but not exclusively, include:</p> <ul style="list-style-type: none"> - Distribution accessories; - Distribution boards; - Distribution charts/labels; - High voltage switch gear; - Sub circuit distribution controls; - Sub main distribution controls; - Sub main switch gear; - Supply generators; - Uninterruptable power supply controls. <p>Overall assessment in terms of electrical services control gear condition as a whole by allocating a single Condition Grade and single Condition Priority to the construction type (Generally) for the block.</p>	<p>Gross Internal Floor Area (GIFA) (m2) measured from block plans/floor plans.</p>
	8.2 Power	<p>Visual inspection of electrical services power components generally that may, but not exclusively, include:</p> <ul style="list-style-type: none"> - Earth protection; - Electrical service; - Fixed electrical appliances; - Main earth bonding; - Main switchgear; - Off peak heaters; - On peak heaters; - Socket outlets; - Water heaters; - Wiring <p>Overall assessment in terms of electrical services power components condition as a whole by allocating a single Condition Grade and single Condition Priority to the construction type (Generally) for the block.</p>	<p>Gross Internal Floor Area (GIFA) (m2) measured from block plans/floor plans.</p>

Major element	Sub-element	Surveying Methodology	Measurement Practice (TR)
8. Electrical services	8.3 Lighting system	<p>Visual inspection of electrical services lighting system components generally that may, but not exclusively, include:</p> <ul style="list-style-type: none"> - Discharge lighting; - Emergency lighting; - External lighting; - Flood lighting; - Fluorescent lighting; - Stage lighting; - Tungsten lighting; - Wiring <p>Overall assessment in terms of electrical services lighting systems condition as a whole by allocating a single Condition Grade and single Condition Priority to the construction type (Generally) for the block.</p>	Gross Internal Floor Area (GIFA) (m2) measured from block plans/floor plans.
	8.4 Alarms	<p>Visual inspection of fire alarm and intruder alarm systems generally and related inspection/test records.</p> <p>Overall assessment in terms of fire alarm and intruder alarm systems condition as a whole by allocating a single Condition Grade and single Condition Priority to the construction type (Generally) for the block.</p>	Gross Internal Floor Area (GIFA) (m2) measured from block plans/floor plans.

Major element	Sub-element	Surveying Methodology	Measurement Practice (TR)
8. Electrical services	8.5 Comms and IT Infrastructure	<p>Visual inspection of communications and IT infrastructure systems generally that may, but not exclusively, include:</p> <ul style="list-style-type: none"> - Audio/visual systems; - Call alarm systems; - Class change systems; - Data transmission systems; - Speech systems; - Telecoms systems. <p>Specific constituent parts of these systems that the PDS will assess as part of the visual inspection include; exposed visible cabling, distribution panels, patch panels, junction boxes, face plates and switches, etc.</p> <p>Overall assessment in terms of communications and IT infrastructure systems condition as a whole by allocating a single Condition Grade and single Condition Priority to the construction type (Generally) for the block.</p>	Gross Internal Floor Area (GIFA) (m2) measured from block plans/floor plans.
	8.6 Lifts	<p>Visual inspection of lifts generally and related maintenance records.</p> <p>Overall assessment in terms of lifts condition as a whole by allocating a single Condition Grade and single Condition Priority to the construction type (Generally) for the block.</p>	Count (no.)

Major element	Sub-element	Surveying Methodology	Measurement Practice (TR)
9. Redecorations	9.1 External – walls	<p>Visual inspection of external walls redecorations that may include both painted and unpainted surfaces.</p> <p>Overall assessment in terms of external walls redecorations condition as a whole by allocating a single Condition Grade, single Condition Priority and percentage composition to each predominant construction type for the block.</p>	Gross Internal Floor Area (GIFA) (m2) measured from block plans/floor plans.
	9.2 External – windows, doors etc.	<p>Visual inspection of redecorations to external windows, doors etc. that may, but not exclusively, include:</p> <ul style="list-style-type: none"> - Metal – painted; - Metal/plastic – unpainted; - Timber <p>Overall assessment in terms of external windows, doors etc. redecorations condition as a whole by allocating a single Condition Grade, single Condition Priority and percentage composition to each predominant construction type for the block.</p>	Gross Internal Floor Area (GIFA) (m2) measured from block plans/floor plans.
	9.3 Internal – walls	<p>Visual inspection of internal walls redecorations that may include both painted and unpainted surfaces.</p> <p>Overall assessment in terms of internal walls redecorations condition as a whole by allocating a single Condition Grade, single Condition Priority and percentage composition to each predominant construction type for the block.</p>	Gross Internal Floor Area (GIFA) (m2) measured from block plans/floor plans.

Major element	Sub-element	Surveying Methodology	Measurement Practice (TR)
9. Redecorations	9.4 Internal – ceilings	<p>Visual inspection of internal ceilings redecorations that may include both painted and unpainted surfaces.</p> <p>Overall assessment in terms of internal ceilings redecorations condition as a whole by allocating a single Condition Grade, single Condition Priority and percentage composition to each predominant construction type for the block.</p>	Gross Internal Floor Area (GIFA) (m2) measured from block plans/floor plans.
	9.5 Internal – windows, doors etc.	<p>Visual inspection of redecorations to internal windows, doors etc. generally.</p> <p>Overall assessment in terms of internal windows, doors etc. condition as a whole by allocating a single Condition Grade and single Condition Priority to the construction type (Generally) for the block.</p>	Gross Internal Floor Area (GIFA) (m2) measured from block plans/floor plans.

Major element	Sub-element	Surveying Methodology	Measurement Practice (TR)
10. Fixed furniture and fittings	10.1 Teaching – science, technology	<p>Visual inspection of science and technology fixed furniture and fittings generally that may, but not exclusively, include:</p> <ul style="list-style-type: none"> - Art; - Home economics; - Laboratories; - Workshops. <p>Overall assessment in terms of science and technology fixed furniture and fittings condition as a whole by allocating a single Condition Grade and single Condition Priority to the construction type (Generally) for the block.</p>	Gross Internal Floor Area (GIFA) (m2) measured from block plans/floor plans.
	10.2 Teaching – other	<p>Visual inspection of other teaching related fixed furniture and fittings generally that may, but not exclusively, include:</p> <ul style="list-style-type: none"> - Gymnasiums/sports halls; - Libraries. <p>Overall assessment in terms of other teaching related fixed furniture and fittings condition as a whole by allocating a single Condition Grade and single Condition Priority to the construction type (Generally) for the block.</p>	Gross Internal Floor Area (GIFA) (m2) measured from block plans/floor plans.
	10.3 Non-teaching – catering kitchen	<p>Visual inspection of non-teaching catering kitchen fixed furniture and fittings generally (fixed furniture and fittings in main kitchens that are used for cooking/heating and food preparation). Isolated tea points and tables/benches located where food is not cooked/heated are excluded from this inspection.</p> <p>Overall assessment in terms of non-teaching catering kitchen fixed furniture and fittings condition as a whole by allocating a single Condition Grade and single Condition Priority to the construction type (Generally) for the block.</p>	Gross Internal Floor Area (GIFA) (m2) measured from block plans/floor plans.
	10.4 Non-teaching – other	<p>Visual inspection of other non-teaching related fixed furniture and fittings generally that may, but not exclusively, include:</p> <ul style="list-style-type: none"> - Admin/offices; - Serveries; - Storage areas; - Toilets/changing areas. <p>Overall assessment in terms of other non-teaching related fixed furniture and fittings condition as a whole by allocating a single Condition Grade and single Condition Priority to the construction type (Generally) for the block.</p>	Gross Internal Floor Area (GIFA) (m2) measured from block plans/floor plans.

Major element	Sub-element	Surveying Methodology	Measurement Practice (TR)
11. External areas	11.1 Roads and car parks	<p>Visual inspection of roads and car parks that may, but not exclusively, include:</p> <ul style="list-style-type: none"> - In-situ concrete; - Slabs/blocks; - Tarmac. <p>Overall assessment in terms of roads and car parks condition as a whole by allocating a single Condition Grade, single Condition Priority and percentage composition to each predominant construction type for the site.</p>	Site Area (m2).
	11.2 Paths, pedestrian paved areas, play areas	<p>Visual inspection of paths, pedestrian paved areas, play areas that may, but not exclusively, include:</p> <ul style="list-style-type: none"> - In-situ concrete; - Slab/block paving; - Tarmac; - Edgings/kerbs; - Steps. <p>Overall assessment in terms of paths, pedestrian paved areas, play areas condition as a whole by allocating a single Condition Grade, single Condition Priority and percentage composition to each predominant construction type for the site.</p>	Site Area (m2).

Major element	Sub-element	Surveying Methodology	Measurement Practice (TR)
11. External areas	11.3 Soft landscaping	<p>Visual inspection of soft landscaping generally that may, but not exclusively, include:</p> <ul style="list-style-type: none"> - Grass; - Planting. <p>Overall assessment in terms of soft landscaping condition as a whole by allocating a single Condition Grade and single Condition Priority to the construction type (Generally) for the site.</p>	Site Area (m2).
	11.4 Mains services	<p>Visual inspection of mains services generally that may, but not exclusively, include:</p> <ul style="list-style-type: none"> - Electric; - Gas; - Telecoms; - Water. <p>Overall assessment in terms of mains services condition as a whole by allocating a single Condition Grade and single Condition Priority to the construction type (Generally) for the site.</p>	Site Area (m2).
	11.5 Boundary walls and fences	<p>Visual inspection of boundary walls and fences that may, but not exclusively, include:</p> <ul style="list-style-type: none"> - Brick/block; - Chain link; - Concrete; - Metal; - No boundary/others' boundary; - Stone; - Timber. <p>Overall assessment in terms of boundary walls and fences condition as a whole by allocating a single Condition Grade, single Condition Priority and percentage composition to each predominant construction type for the site.</p>	Boundary Length (m).

Major element	Sub-element	Surveying Methodology	Measurement Practice (TR)
11. External areas	11.6 Other walls, fences and barriers, including around tennis courts, MUGAs etc.	<p>Visual inspection of other walls, fences and barriers, including around tennis courts, MUGAs etc. that may, but not exclusively, include:</p> <ul style="list-style-type: none"> - Brick/block; - Chain link; - Concrete; - Metal; - No boundary/others' boundary; - Stone; - Timber. <p>Overall assessment in terms other walls, fences and barriers, including around tennis courts, MUGAs etc. condition as a whole by allocating a single Condition Grade and single Condition Priority to the construction type (Generally) for the site.</p>	Site Area (m2).
	11.7 Swimming pools - structure	<p>Visual inspection of swimming pools structure generally that may, but not exclusively, include:</p> <ul style="list-style-type: none"> - Open structures; - Pool walls/fencing/gates. <p>Overall assessment in terms of swimming pools structure condition as a whole by allocating a single Condition Grade and single Condition Priority to the construction type (Generally) for the site.</p>	Count (no.)
	11.8 Swimming pools – plant	<p>Visual inspection of swimming pools treatment plant generally and associated inspection/test records.</p> <p>Overall assessment in terms of swimming pools plant condition as a whole by allocating a single Condition Grade and single Condition Priority to the construction type (Generally) for the site.</p>	Count (no.)
	11.9 Drainage – treatment plant	<p>Visual inspection of drainage treatment plant generally and associated inspection/test records.</p> <p>Overall assessment in terms of drainage treatment plant condition as a whole by allocating a single Condition Grade and single Condition Priority to the construction type (Generally) for the site.</p>	Site Area (m2).

Major element	Sub-element	Surveying Methodology	Measurement Practice (TR)
	11.10 Drainage – other	<p>Visual inspection of other drainage generally that may, but not exclusively, include:</p> <ul style="list-style-type: none"> - Drain covers/gratings; - Underground drainage systems; - Waste pipes. <p>Overall assessment in terms of other drainage condition as a whole by allocating a single Condition Grade and single Condition Priority to the construction type (Generally) for the site.</p>	Site Area (m2).

Major element	Sub-element	Surveying Methodology	Measurement Practice (TR)
12. Playing fields, all weather pitches/ MUGA's	12.1 Generally	<p>Visual inspection of playing fields, all weather pitches/MUGAs generally that may, but not exclusively, include:</p> <ul style="list-style-type: none"> - Artificial surfaces; - Grassed surfaces; - Tarmac. <p>Overall assessment in terms of playing fields, all weather pitches/MUGAs condition as a whole by allocating a single Condition Grade and single Condition Priority to the construction type (Generally) for the site.</p>	Playing Field Area (m2).

Property Data Survey Programme Education Establishments in Scope

1.0 Types of Education Establishments INCLUDED within the Scope of the PDSP

1.1 The following five main types of education establishments that all receive funding from either central government directly or via local authorities will be within the scope of the Property Data Survey Programme (PDSP):

- **Community schools** – are run by the local authority, which employs the staff, owns the land and buildings and decides which ‘admissions criteria’ to use.
- **Foundation schools** - are run by their own governing body, which employs the staff and sets the admissions criteria. Land and buildings are usually owned by the governing body or a charitable foundation.
- **Trust schools** - are a type of foundation school which forms a charitable trust with an outside partner - for example, a business or educational charity - aiming to raise standards and explore new ways of working.
- **Voluntary-aided schools** - are mainly religious or ‘faith’ schools, although anyone can apply for a place. As with foundation schools, the governing body employs the staff and sets the admissions criteria; school buildings and land are normally owned by a charitable foundation, often a religious organisation. The governing body contributes to building and maintenance costs.
- **Voluntary-controlled schools** - are similar to voluntary aided schools, but are run by the local authority. As with community schools, the local authority employs the school’s staff and sets the admissions criteria; school land and buildings are normally

owned by a charity, often a religious organisation, which also appoints some of the members of the governing body.

1.2 Within the state system described above, there are a number of education establishments with particular characteristics. As with other state education establishments, admissions are coordinated by the local authority. However, some may have different admission criteria or funding arrangements:

- **Academies** - independently managed, all-ability schools. They are set up by sponsors from business, faith or voluntary groups in partnership with the Department for Education (DfE) and the local authority. Together they fund the land and buildings, with the government covering the running costs.
- **City Technology Colleges** - independently managed, non-fee-paying schools in urban areas for pupils of all abilities aged 11 to 18. They are geared towards science, technology and the world of work, offering a range of vocational qualifications as well as GCSEs and A levels.
- **Nursery Schools** – provide education for children aged between 2 and 5 in an early years setting.
- **Community and foundation special schools** - cater for children with specific special educational needs. These may include physical disabilities or learning difficulties.
- **Faith schools** - mostly run in the same way as other state schools. However, their faith status may be reflected in their religious education curriculum, admissions criteria and staffing policies.
- **Grammar schools** - select all or most of their pupils based on academic ability.

- **Maintained boarding schools** - offer free tuition but charge fees for board and lodging to include boarding schools houses
- **Non Maintained Special Schools** - There are over 70 Non Maintained Special Schools (NMSS) approved by the Secretary of State for Education under Section 342 of the Education Act 1996 as independent special schools. To become approved, NMSS have to be non-profit making, have demonstrated that they operate to a level at least equivalent to state maintained special schools and their day to day running is controlled by a governing body, the articles and instruments of which will be agreed by the Secretary of State.
- **Free Schools** – non-profit making, independent, state-funded schools. Free Schools could be primary or secondary schools. They could be set up by a wide range of proposers – including charities, universities, businesses, educational groups, teachers or parents. Free Schools are funded on a comparable basis to other state-funded schools.
- **Studio Schools.**
- **University Technology Colleges (UTCs)**

1.3 The following education establishments, identified by phase, are therefore within scope of the PDS and will be surveyed:

- Nursery schools.
- Primary phase schools: Infant, Junior, Primary, Middle Deemed Primary.
- Secondary phase: Middle Deemed Secondary, Secondary e.g. 11-16, 11-18, Sixth Form Centres, Sixth Form Colleges and Special Colleges.

Property Data Survey Programme Education Establishments in Scope

- Other schools: Special schools, Short stay/Pupil referral units, Secure units, Service Children's Education.

It is recognised that some special schools provide for children with behavioural, social or emotional difficulties. It is also recognised that some mainstream schools include enhanced or resourced provision for children with special needs.

Where an educational establishment is within scope it will be surveyed even where it hosts an establishment out of scope. e.g. a primary school may host a children's centre.

2.0 Types of Education Establishments EXCLUDED within the Scope of PDSP

2.1 The following education establishments are excluded from the PDSP:

- **Modernised Schools** - that have been modernised within 10 years. Whilst there is an increased risk that schools modernised up to 10 years ago may be suffering from condition related problems, it is considered that these should be of a minor nature in comparison with schools that have not had any investment. See Definition of Modernised Schools below.
- **Centrally Sponsored Programmes of School Renewal or Replacement** – schools that have been built and renewed or are planned to be built or renewed as part of the following central programmes:
 - a) Building Schools for the Future
 - b) One School Pathfinder Programme
 - c) Academies Programme

- **Schools that are located in accommodation maintained by another organisation where the school has no responsibility to commission works to maintain the building or premises.** This would include hospital schools where they are located within hospital buildings or other contractual arrangements where the responsibility for maintenance of the fabric of the building is held by another organisation and not the school.

- **Schools Provided Under Public Finance Initiative (PFI) Contracts** - Schools either provided as new build or with significant remodelling and refurbishment under a PFI contract (or similar Design, Build, Operate and Maintain arrangement) will, apart from in exceptional cases, benefit from a Facilities Management Agreement for the provision of hard facilities management (Hard FM) which transfers the risk of this and other lifecycle maintenance to the service provider, usually for a period of 25 years. As the risk management aspect of the building condition has been transferred to the service provider, it is therefore not considered appropriate to survey either PFI schools or other schools benefitting from similar Hard FM arrangements as part of the PDS programme.

- **Priority Schools Building Programme** - This programme, launched in July 2011 will identify a number of priority replacement schools to be provided in the coming years. Those educational establishments that submitted surveys that were subsequently validated will not be surveyed as part of the PDS programme.

- **Independent Specialist Providers (ISPs)**

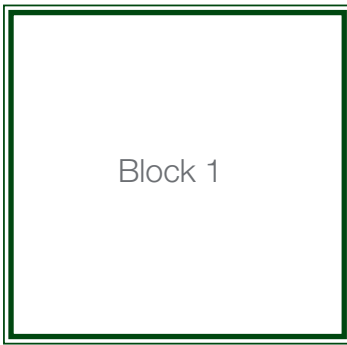
- **Miscellaneous**
- **Further Education Colleges (FE Colleges)**

3.0 Definition of Modernised schools

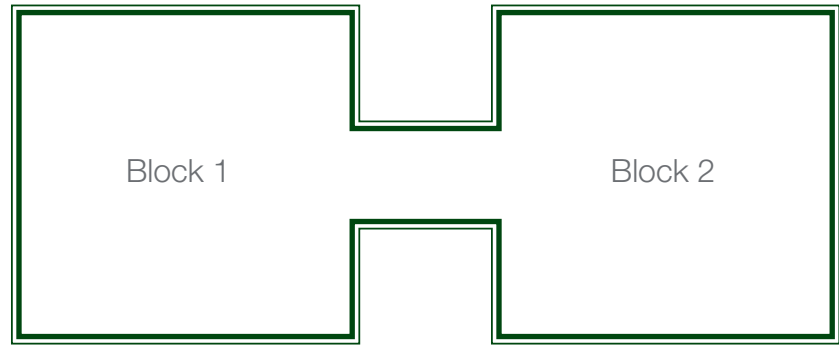
Modernised schools and academies are defined as those which have received investment from any source, including Local Authorities, BSF or PFI investment, which means that they are:

- new (meaning additional or replacement) schools built since 2002-2003 (i.e. completed after 1st April 2002), this includes where the funding has not been provided from a Centrally Sponsored Programme.
- existing schools which have had a cumulative 80% or more of the total floor area of the resultant school building replaced or refurbished (including any additional buildings) since 2002-2003, or
- In a PFI project which includes maintenance of the whole school, irrespective of the level of initial investment.

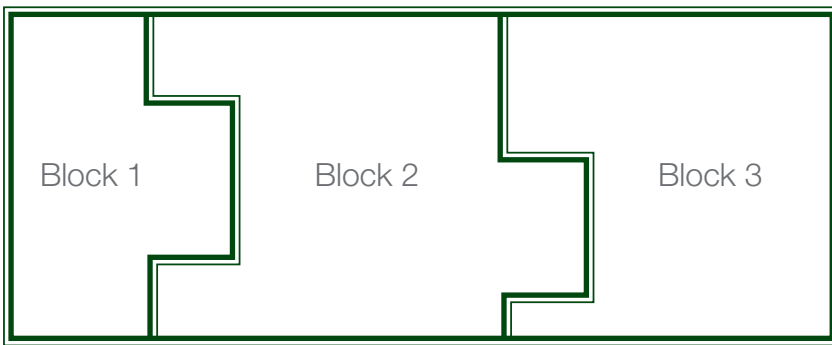
A - Single block



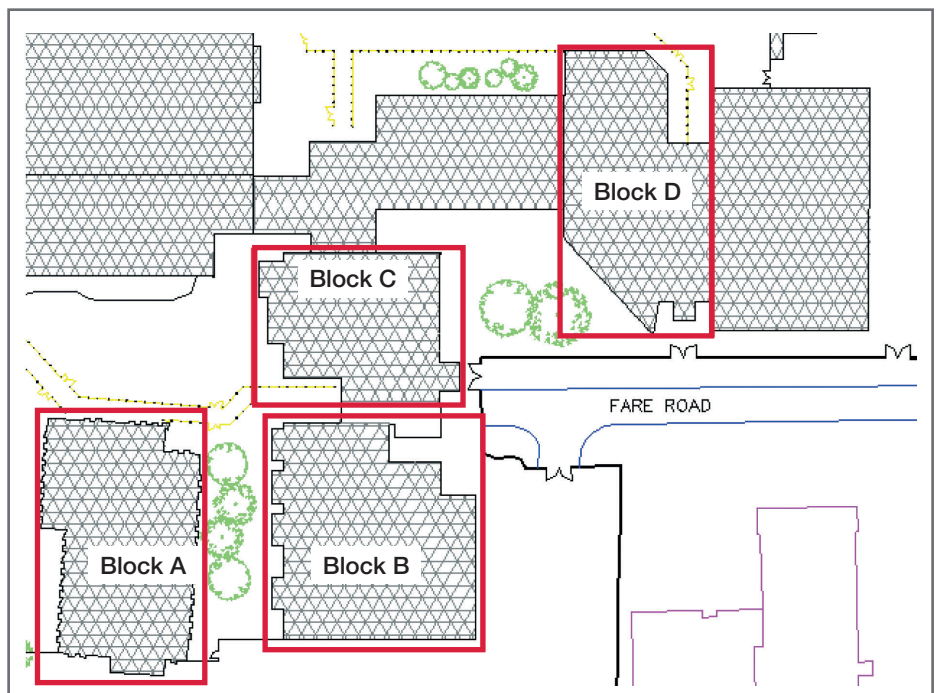
B - Two block joined



C - Blocks within a building



Example blocks on a site plan



EFA DATA SURVEY

DESCRIPTORS

	Grade D	Grade C	Grade B	Grade A
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1 ROOFS

1.1 ROOF STRUCTURE

1.1.1 FLAT ROOF STRUCTURE AND DECK - GENERALLY FLAT ROOF STRUCTURE AND DECK - GENERALLY FLAT ROOF STRUCTURE AND DECK - GENERALLY FLAT ROOF STRUCTURE AND DECK - GENERALLY

Defect: Extensive problems; severe water penetration or potential structural failure; cannot be maintained effectively
Indicative scope: More than 40 % of roof structure requires repair
Typical remedy: 100 % replacement of roof structure

Defect: Significant deterioration, subject to leaking or possible movement
Indicative scope: Between 10 % and 40 % of roof structure requires repair
Typical remedy: Repairs/replacement to roof structure

Defect: Reasonably sound, minor repairs only
Indicative scope: Up to 10 % of roof structure requires repair
Typical remedy: Isolated repairs to roof structure

Defect: Watertight, no visible defects
Indicative scope: No works required
Typical remedy: No works required

1.1.2 PITCHED ROOF STRUCTURE - GENERALLY

Defect: Extensive problems; severe water penetration or potential structural failure; cannot be maintained effectively
Indicative scope: More than 25 % of roof structure requires repair
Typical remedy: 100 % replacement of roof structure

Defect: Significant deterioration, subject to leaking or possible movement
Indicative scope: Between 10 % and 25 % of roof structure requires repair
Typical remedy: Repairs/replacement to roof structure

Defect: Reasonably sound, minor repairs only
Indicative scope: Up to 10 % of roof structure requires repair
Typical remedy: Isolated repairs to roof structure

Defect: Watertight, no visible defects
Indicative scope: No works required
Typical remedy: No works required

EFA DATA SURVEY

DESCRIPTORS

Grade D

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Grade A

1 ROOFS

1.2 COVERINGS & INSULATION

1.2.1 FLAT ROOF - FLEXIBLE SHEET; SINGLE PLY OR BUILT UP

Defect: Extensive problems, severe water penetration, cannot be maintained effectively
Indicative scope: More than 40 % of roof covering requires repair
Typical remedy: 100 % replacement of roof covering and provision of new insulation

FLAT ROOF - FLEXIBLE SHEET; SINGLE PLY OR BUILT UP

Defect: Significant deterioration, subject to leaking
Indicative scope: Between 20 % and 40 % of roof covering requires repair
Typical remedy: Repairs/replacement to roof covering

FLAT ROOF - FLEXIBLE SHEET; SINGLE PLY OR BUILT UP

Defect: Reasonably sound, minor repairs only
Indicative scope: Up to 20 % of roof covering requires repair
Typical remedy: Isolated repairs to roof covering

FLAT ROOF - FLEXIBLE SHEET; SINGLE PLY OR BUILT UP

Defect: Watertight, no visible defects
Indicative scope: No works required
Typical remedy: No works required

1.2.2 FLAT ROOF - ASPHALT

Defect: Extensive problems, severe water penetration, cannot be maintained effectively
Indicative scope: More than 40 % of roof covering requires repair
Typical remedy: 100 % replacement of roof covering

FLAT ROOF - ASPHALT

Defect: Significant deterioration, subject to leaking
Indicative scope: Between 20 % and 40 % of roof covering requires repair
Typical remedy: Repairs/replacement to roof covering

FLAT ROOF - ASPHALT

Defect: Reasonably sound, minor repairs only
Indicative scope: Up to 20 % of roof covering requires repair
Typical remedy: Isolated repairs to roof covering

FLAT ROOF - ASPHALT

Defect: Watertight, no visible defects
Indicative scope: No works required
Typical remedy: No works required

1.2.3 FLAT ROOF - FLAT METAL SHEET

Defect: Extensive problems, severe water penetration, cannot be maintained effectively
Indicative scope: More than 50 % of roof covering requires repair
Typical remedy: 100 % replacement of roof covering

FLAT ROOF - FLAT METAL SHEET

Defect: Significant deterioration, subject to leaking
Indicative scope: Between 25 % and 50 % of roof covering requires repair
Typical remedy: Repairs/replacement to roof covering

FLAT ROOF - FLAT METAL SHEET

Defect: Reasonably sound, minor repairs only
Indicative scope: Up to 25 % of roof covering requires repair
Typical remedy: Isolated repairs to roof covering

FLAT ROOF - FLAT METAL SHEET

Defect: Watertight, no visible defects
Indicative scope: No works required
Typical remedy: No works required

EFA DATA SURVEY

DESCRIPTORS

Grade D

Grade C

Grade B

Grade A

1 ROOFS

1.2.4 FLAT ROOF - LIQUID APPLIED

Defect: Extensive problems, severe water penetration, cannot be maintained effectively
Indicative scope: More than 40 % of roof covering requires repair
Typical remedy: 100 % replacement of roof covering and provision of new insulation

FLAT ROOF - LIQUID APPLIED

Defect: Significant deterioration, subject to leaking
Indicative scope: Between 20 % and 40 % of roof covering requires repair
Typical remedy: Repairs/replacement to roof covering

FLAT ROOF - LIQUID APPLIED

Defect: Reasonably sound, minor repairs only
Indicative scope: Up to 20 % of roof covering requires repair
Typical remedy: Isolated repairs to roof covering

FLAT ROOF - LIQUID APPLIED

Defect: Watertight, no visible defects
Indicative scope: No works required
Typical remedy: No works required

1.2.5 FLAT ROOF - GREEN ROOF

Defect: Extensive problems, severe water penetration, cannot be maintained effectively
Indicative scope: More than 40 % of roof covering requires repair
Typical remedy: 100 % replacement of roof covering and provision of new insulation

FLAT ROOF - GREEN ROOF

Defect: Significant deterioration, subject to leaking
Indicative scope: Between 20 % and 40 % of roof covering requires repair
Typical remedy: Repairs/replacement to roof covering

FLAT ROOF - GREEN ROOF

Defect: Reasonably sound, minor repairs only
Indicative scope: Up to 20 % of roof covering requires repair
Typical remedy: Isolated repairs to roof covering

FLAT ROOF - GREEN ROOF

Defect: Watertight, no visible defects
Indicative scope: No works required
Typical remedy: No works required

1.2.6 FLAT ROOF - GLAZED AREAS / ROOFLIGHTS

Defect: Extensive problems, severe water penetration, cannot be maintained effectively
Indicative scope: More than 40 % of roof glazing/lights require repair
Typical remedy: 100 % replacement of roof glazing/lights

FLAT ROOF - GLAZED AREAS / ROOFLIGHTS

Defect: Significant deterioration, subject to leaking
Indicative scope: Between 10 % and 40 % of roof glazing/lights require repair
Typical remedy: Repairs/replacement to roof glazing/lights

FLAT ROOF - GLAZED AREAS / ROOFLIGHTS

Defect: Reasonably sound, minor repairs only
Indicative scope: Up to 10 % of roof glazing/lights require repair
Typical remedy: Repairs to roof glazing/lights

FLAT ROOF - GLAZED AREAS / ROOFLIGHTS

Defect: Watertight, no visible defects
Indicative scope: No works required
Typical remedy: No works required

EFA DATA SURVEY

DESCRIPTORS

Grade D	Grade C	Grade B	Grade A
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1 ROOFS

1.2.7 PITCHED ROOF - NATURAL SLATES

Defect: Extensive problems, severe water penetration, cannot be maintained effectively
Indicative scope: More than 50 % of roof covering requires repair
Typical remedy: 100 % replacement of roof covering and provision of new insulation

PITCHED ROOF - NATURAL SLATES

Defect: Significant deterioration, subject to leaking
Indicative scope: Between 15 % and 50 % of roof covering requires repair
Typical remedy: Repairs/replacement to roof covering

PITCHED ROOF - NATURAL SLATES

Defect: Reasonably sound, minor repairs only
Indicative scope: Up to 15 % of roof covering requires repair
Typical remedy: Isolated repairs to roof covering

PITCHED ROOF - NATURAL SLATES

Defect: Watertight, no visible defects
Indicative scope: No works required
Typical remedy: No works required

1.2.8 PITCHED ROOF - TILES

Defect: Extensive problems, severe water penetration, cannot be maintained effectively
Indicative scope: More than 50 % of roof covering requires repair
Typical remedy: 100 % replacement of roof covering and provision of new insulation

PITCHED ROOF - TILES

Defect: Significant deterioration, subject to leaking
Indicative scope: Between 15 % and 50 % of roof covering requires repair
Typical remedy: Repairs/replacement to roof covering

PITCHED ROOF - TILES

Defect: Reasonably sound, minor repairs only
Indicative scope: Up to 15 % of roof covering requires repair
Typical remedy: Isolated repairs to roof covering

PITCHED ROOF - TILES

Defect: Watertight, no visible defects
Indicative scope: No works required
Typical remedy: No works required

1.2.9 PITCHED ROOF - FLEXIBLE SHEET, SINGLE PLY OR BUILT UP

Defect: Extensive problems, severe water penetration, cannot be maintained effectively
Indicative scope: More than 40 % of roof covering requires repair
Typical remedy: 100 % replacement of roof covering and provision of new insulation

PITCHED ROOF - FLEXIBLE SHEET, SINGLE PLY OR BUILT UP

Defect: Significant deterioration, subject to leaking
Indicative scope: Between 20 % and 40 % of roof covering requires repair
Typical remedy: Repairs/replacement to roof covering

PITCHED ROOF - FLEXIBLE SHEET, SINGLE PLY OR BUILT UP

Defect: Reasonably sound, minor repairs only
Indicative scope: Up to 20 % of roof covering requires repair
Typical remedy: Isolated repairs to roof covering

PITCHED ROOF - FLEXIBLE SHEET, SINGLE PLY OR BUILT UP

Defect: Watertight, no visible defects
Indicative scope: No works required
Typical remedy: No works required

EFA DATA SURVEY

DESCRIPTORS

Grade D

Grade C

Grade B

Grade A

1 ROOFS

	Grade D	Grade C	Grade B	Grade A
1.2.10	PITCHED ROOF - PROFILED FIBREGLASS / GRP / PLASTIC COMPOSITE SHEET	PITCHED ROOF - PROFILED FIBREGLASS / GRP / PLASTIC COMPOSITE SHEET	PITCHED ROOF - PROFILED FIBREGLASS / GRP / PLASTIC COMPOSITE SHEET	PITCHED ROOF - PROFILED FIBREGLASS / GRP / PLASTIC COMPOSITE SHEET
	<p>Defect: Extensive problems, severe water penetration, cannot be maintained effectively</p> <p>Indicative scope: More than 30 % of roof covering requires repair</p> <p>Typical remedy: 100 % replacement of roof sheeting system including new insulation</p>	<p>Defect: Significant deterioration, subject to leaking</p> <p>Indicative scope: Between 10 % and 30 % of roof covering requires repair</p> <p>Typical remedy: Repairs/replacement to sections of roof sheeting</p>	<p>Defect: Reasonably sound, minor repairs only</p> <p>Indicative scope: Up to 10 % of roof covering requires repair</p> <p>Typical remedy: Isolated repairs to roof sheeting</p>	<p>Defect: Watertight, no visible defects</p> <p>Indicative scope: No works required</p> <p>Typical remedy: No works required</p>
1.2.11	PITCHED ROOF - PROFILED FIBRE CEMENT	PITCHED ROOF - PROFILED FIBRE CEMENT	PITCHED ROOF - PROFILED FIBRE CEMENT	PITCHED ROOF - PROFILED FIBRE CEMENT
	<p>Defect: Extensive problems, severe water penetration, cannot be maintained effectively</p> <p>Indicative scope: More than 30 % of roof covering requires repair</p> <p>Typical remedy: 100 % replacement of roof sheeting system including new insulation</p>	<p>Defect: Significant deterioration, subject to leaking</p> <p>Indicative scope: Between 10 % and 30 % of roof covering requires repair</p> <p>Typical remedy: Repairs/replacement to sections of roof sheeting</p>	<p>Defect: Reasonably sound, minor repairs only</p> <p>Indicative scope: Up to 10 % of roof covering requires repair</p> <p>Typical remedy: Isolated repairs to roof sheeting</p>	<p>Defect: Watertight, no visible defects</p> <p>Indicative scope: No works required</p> <p>Typical remedy: No works required</p>
1.2.12	PITCHED ROOF - PROFILED METAL SHEET; SELF FINISHED	PITCHED ROOF - PROFILED METAL SHEET; SELF FINISHED	PITCHED ROOF - PROFILED METAL SHEET; SELF FINISHED	PITCHED ROOF - PROFILED METAL SHEET; SELF FINISHED
	<p>Defect: Extensive problems, severe water penetration, cannot be maintained effectively</p> <p>Indicative scope: More than 40 % of roof covering requires repair</p> <p>Typical remedy: 100 % replacement of roof sheeting system including new insulation</p>	<p>Defect: Significant deterioration, subject to leaking</p> <p>Indicative scope: Between 20 % and 40 % of roof covering requires repair</p> <p>Typical remedy: Repairs/replacement to sections of roof sheeting, recoating to top sheet</p>	<p>Defect: Reasonably sound, minor repairs only</p> <p>Indicative scope: Up to 20 % of roof covering requires repair</p> <p>Typical remedy: Isolated repairs to roof sheeting</p>	<p>Defect: Watertight, no visible defects</p> <p>Indicative scope: No works required</p> <p>Typical remedy: No works required</p>

EFA DATA SURVEY

DESCRIPTORS

Grade D	Grade C	Grade B	Grade A
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1 ROOFS

1.2.13	PITCHED ROOF - FLAT METAL SHEET	PITCHED ROOF - FLAT METAL SHEET	PITCHED ROOF - FLAT METAL SHEET	PITCHED ROOF - FLAT METAL SHEET
	<p>Defect: Extensive problems, severe water penetration, cannot be maintained effectively</p> <p>Indicative scope: More than 50 % of roof covering requires repair</p> <p>Typical remedy: 100 % replacement of roof covering</p>	<p>Defect: Significant deterioration, subject to leaking</p> <p>Indicative scope: Between 25 % and 50 % of roof covering requires repair</p> <p>Typical remedy: Repairs/replacement to roof covering</p>	<p>Defect: Reasonably sound, minor repairs only</p> <p>Indicative scope: Up to 25 % of roof covering requires repair</p> <p>Typical remedy: Isolated repairs to roof covering</p>	<p>Defect: Watertight, no visible defects</p> <p>Indicative scope: No works required</p> <p>Typical remedy: No works required</p>
1.2.14	PITCHED ROOF - GLAZED AREAS / ROOFLIGHTS	PITCHED ROOF - GLAZED AREAS / ROOFLIGHTS	PITCHED ROOF - GLAZED AREAS / ROOFLIGHTS	PITCHED ROOF - GLAZED AREAS / ROOFLIGHTS
	<p>Defect: Extensive problems, severe water penetration, cannot be maintained effectively</p> <p>Indicative scope: More than 40 % of roof glazing/lights require repair</p> <p>Typical remedy: 100 % replacement of roof glazing/lights</p>	<p>Defect: Significant deterioration, subject to leaking</p> <p>Indicative scope: Between 10 % and 40 % of roof glazing/lights require repair</p> <p>Typical remedy: Repairs/replacement to roof glazing/lights</p>	<p>Defect: Reasonably sound, minor repairs only</p> <p>Indicative scope: Up to 10 % of roof glazing/lights require repair</p> <p>Typical remedy: Repairs to roof glazing/lights</p>	<p>Defect: Watertight, no visible defects</p> <p>Indicative scope: No works required</p> <p>Typical remedy: No works required</p>

EFA DATA SURVEY

DESCRIPTORS

Grade D

Grade C

Grade B

Grade A

1 ROOFS

1.3 DRAINAGE

1.3.1 FLAT ROOF - FIBRE CEMENT

Defect: Extensive problems, severely damaged, cannot be maintained effectively

Indicative scope: More than 40 % of roof drainage requires repair

Typical remedy: 100 % replacement of roof drainage

FLAT ROOF - FIBRE CEMENT

Defect: Significant deterioration, subject to leaking

Indicative scope: Between 10 % and 40 % of roof drainage requires repair

Typical remedy: Repairs/replacement to roof drainage

FLAT ROOF - FIBRE CEMENT

Defect: Reasonably sound, minor repairs only

Indicative scope: Up to 10 % of roof drainage requires repair

Typical remedy: Isolated repairs to roof drainage

FLAT ROOF - FIBRE CEMENT

Defect: Watertight, no visible defects

Indicative scope: No works required

Typical remedy: No works required

1.3.2 FLAT ROOF - CAST IRON

Defect: Extensive problems, severely damaged, cannot be maintained effectively

Indicative scope: More than 40 % of roof drainage requires repair

Typical remedy: 100 % replacement of roof drainage

FLAT ROOF - CAST IRON

Defect: Significant deterioration, subject to leaking

Indicative scope: Between 10 % and 40 % of roof drainage requires repair

Typical remedy: Repairs/replacement to roof drainage

FLAT ROOF - CAST IRON

Defect: Reasonably sound, minor repairs only

Indicative scope: Up to 10 % of roof drainage requires repair

Typical remedy: Isolated repairs to roof drainage

FLAT ROOF - CAST IRON

Defect: Watertight, no visible defects

Indicative scope: No works required

Typical remedy: No works required

1.3.3 FLAT ROOF - ALUMINIUM

Defect: Extensive problems, severely damaged, cannot be maintained effectively

Indicative scope: More than 40 % of roof drainage requires repair

Typical remedy: 100 % replacement of roof drainage

FLAT ROOF - ALUMINIUM

Defect: Significant deterioration, subject to leaking

Indicative scope: Between 10 % and 40 % of roof drainage requires repair

Typical remedy: Repairs/replacement to roof drainage

FLAT ROOF - ALUMINIUM

Defect: Reasonably sound, minor repairs only

Indicative scope: Up to 10 % of roof drainage requires repair

Typical remedy: Isolated repairs to roof drainage

FLAT ROOF - ALUMINIUM

Defect: Watertight, no visible defects

Indicative scope: No works required

Typical remedy: No works required

EFA DATA SURVEY

DESCRIPTORS

Grade D	Grade C	Grade B	Grade A
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1 ROOFS

	Grade D	Grade C	Grade B	Grade A
1.3.4	FLAT ROOF - OTHER METAL	FLAT ROOF - OTHER METAL	FLAT ROOF - OTHER METAL	FLAT ROOF - OTHER METAL
	Defect: Extensive problems, severely damaged, cannot be maintained effectively	Defect: Significant deterioration, subject to leaking	Defect: Reasonably sound, minor repairs only	Defect: Watertight, no visible defects
	Indicative scope: More than 40 % of roof drainage requires repair	Indicative scope: Between 10 % and 40 % of roof drainage requires repair	Indicative scope: Up to 10 % of roof drainage requires repair	Indicative scope: No works required
	Typical remedy: 100 % replacement of roof drainage	Typical remedy: Repairs/replacement to roof drainage	Typical remedy: Isolated repairs to roof drainage	Typical remedy: No works required
1.3.5	FLAT ROOF - PLASTIC	FLAT ROOF - PLASTIC	FLAT ROOF - PLASTIC	FLAT ROOF - PLASTIC
	Defect: Extensive problems, severely damaged, cannot be maintained effectively	Defect: Significant deterioration, subject to leaking	Defect: Reasonably sound, minor repairs only	Defect: Watertight, no visible defects
	Indicative scope: More than 40 % of roof drainage requires repair	Indicative scope: Between 10 % and 40 % of roof drainage requires repair	Indicative scope: Up to 10 % of roof drainage requires repair	Indicative scope: No works required
	Typical remedy: 100 % replacement of roof drainage	Typical remedy: Repairs/replacement to roof drainage	Typical remedy: Isolated repairs to roof drainage	Typical remedy: No works required
1.3.6	PITCHED ROOF - FIBRE CEMENT	PITCHED ROOF - FIBRE CEMENT	PITCHED ROOF - FIBRE CEMENT	PITCHED ROOF - FIBRE CEMENT
	Defect: Extensive problems, severely damaged, cannot be maintained effectively	Defect: Significant deterioration, subject to leaking	Defect: Reasonably sound, minor repairs only	Defect: Watertight, no visible defects
	Indicative scope: More than 40 % of roof drainage requires repair	Indicative scope: Between 10 % and 40 % of roof drainage requires repair	Indicative scope: Up to 10 % of roof drainage requires repair	Indicative scope: No works required
	Typical remedy: 100 % replacement of roof drainage	Typical remedy: Repairs/replacement to roof drainage	Typical remedy: Isolated repairs to roof drainage	Typical remedy: No works required

EFA DATA SURVEY					
DESCRIPTORS					
		Grade D	Grade C	Grade B	Grade A
1	ROOFS				
1.3.7	PITCHED ROOF - CAST IRON	PITCHED ROOF - CAST IRON	PITCHED ROOF - CAST IRON	PITCHED ROOF - CAST IRON	PITCHED ROOF - CAST IRON
	Defect: Extensive problems, severely damaged, cannot be maintained effectively	Defect: Significant deterioration, subject to leaking	Defect: Reasonably sound, minor repairs only	Defect: Watertight, no visible defects	
	Indicative scope: More than 40 % of roof drainage requires repair	Indicative scope: Between 10 % and 40 % of roof drainage requires repair	Indicative scope: Up to 10 % of roof drainage requires repair	Indicative scope: No works required	
	Typical remedy: 100 % replacement of roof drainage	Typical remedy: Repairs/replacement to roof drainage	Typical remedy: Isolated repairs to roof drainage	Typical remedy: No works required	
1.3.8	PITCHED ROOF - ALUMINIUM	PITCHED ROOF - ALUMINIUM	PITCHED ROOF - ALUMINIUM	PITCHED ROOF - ALUMINIUM	PITCHED ROOF - ALUMINIUM
	Defect: Extensive problems, severely damaged, cannot be maintained effectively	Defect: Significant deterioration, subject to leaking	Defect: Reasonably sound, minor repairs only	Defect: Watertight, no visible defects	
	Indicative scope: More than 40 % of roof drainage requires repair	Indicative scope: Between 10 % and 40 % of roof drainage requires repair	Indicative scope: Up to 10 % of roof drainage requires repair	Indicative scope: No works required	
	Typical remedy: 100 % replacement of roof drainage	Typical remedy: Repairs/replacement to roof drainage	Typical remedy: Isolated repairs to roof drainage	Typical remedy: No works required	
1.3.9	PITCHED ROOF - OTHER METAL	PITCHED ROOF - OTHER METAL	PITCHED ROOF - OTHER METAL	PITCHED ROOF - OTHER METAL	PITCHED ROOF - OTHER METAL
	Defect: Extensive problems, severely damaged, cannot be maintained effectively	Defect: Significant deterioration, subject to leaking	Defect: Reasonably sound, minor repairs only	Defect: Watertight, no visible defects	
	Indicative scope: More than 40 % of roof drainage requires repair	Indicative scope: Between 10 % and 40 % of roof drainage requires repair	Indicative scope: Up to 10 % of roof drainage requires repair	Indicative scope: No works required	
	Typical remedy: 100 % replacement of roof drainage	Typical remedy: Repairs/replacement to roof drainage	Typical remedy: Isolated repairs to roof drainage	Typical remedy: No works required	

EFA DATA SURVEY		DESCRIPTORS			
		Grade D	Grade C	Grade B	Grade A
1	ROOFS				
1.3.10	PITCHED ROOF - PLASTIC	PITCHED ROOF - PLASTIC	PITCHED ROOF - PLASTIC	PITCHED ROOF - PLASTIC	PITCHED ROOF - PLASTIC
	Defect: Extensive problems, severely damaged, cannot be maintained effectively	Defect: Significant deterioration, subject to leaking	Defect: Reasonably sound, minor repairs only	Defect: Watertight, no visible defects	
	Indicative scope: More than 40 % of roof drainage requires repair	Indicative scope: Between 10 % and 40 % of roof drainage requires repair	Indicative scope: Up to 10 % of roof drainage requires repair	Indicative scope: No works required	
	Typical remedy: 100 % replacement of roof drainage	Typical remedy: Repairs/replacement to roof drainage	Typical remedy: Isolated repairs to roof drainage	Typical remedy: No works required	

EFA DATA SURVEY

DESCRIPTORS

Grade D Grade C Grade B Grade A

2 FLOORS AND STAIRS

2.1 GROUND BEARING / HOLLOW FLOORS - STRUCTURE

2.1.1	GENERALLY	GENERALLY	GENERALLY	GENERALLY
	<p>Defect: Extensive problems, severely damaged, cannot be maintained effectively Indicative scope: More than 40 % of structure requires repair Typical remedy: 100 % replacement of floor structure</p>	<p>Defect: Significant deterioration, potential risk to health & safety Indicative scope: Between 10 % and 40 % of structure requires repair Typical remedy: Repairs/replacement to floor structure</p>	<p>Defect: Reasonably sound, minor repairs only Indicative scope: Up to 10 % of structure requires repair Typical remedy: Isolated repairs to floor structure</p>	<p>Defect: No visible defects Indicative scope: No works required Typical remedy: No works required</p>

2.2 SUSPENDED FLOORS - STRUCTURE

2.2.1	GENERALLY	GENERALLY	GENERALLY	GENERALLY
	<p>Defect: Extensive problems, severely damaged, cannot be maintained effectively Indicative scope: More than 40 % of structure requires repair Typical remedy: 100 % replacement of floor structure</p>	<p>Defect: Significant deterioration, potential risk to health & safety Indicative scope: Between 10 % and 40 % of structure requires repair Typical remedy: Repairs/replacement to floor structure</p>	<p>Defect: Reasonably sound, minor repairs only Indicative scope: Up to 10 % of structure requires repair Typical remedy: Isolated repairs to floor structure</p>	<p>Defect: No visible defects Indicative scope: No works required Typical remedy: No works required</p>

2.3 FLOORS - SCREED & FINISH

2.3.1	CONCRETE / UNFINISHED SCREED / FLOOR	CONCRETE / UNFINISHED SCREED / FLOOR	CONCRETE / UNFINISHED SCREED / FLOOR	CONCRETE / UNFINISHED SCREED / FLOOR
	<p>Defect: Extensive problems, badly worn, cannot be maintained effectively Indicative scope: More than 50 % of floor covering requires repair Typical remedy: 100 % replacement of floor covering</p>	<p>Defect: Significant deterioration, potential risk to health & safety Indicative scope: Between 20 % and 50 % of floor covering requires repair Typical remedy: Repairs/replacement to floor covering</p>	<p>Defect: Reasonably sound, minor repairs only Indicative scope: Up to 20 % of floor covering requires repair Typical remedy: Isolated repairs to floor covering</p>	<p>Defect: No visible defects Indicative scope: No works required Typical remedy: No works required</p>

EFA DATA SURVEY

DESCRIPTORS

Grade D Grade C Grade B Grade A

2 FLOORS AND STAIRS

	Grade D	Grade C	Grade B	Grade A
2.3.2 SOFTWOOD BOARDING	SOFTWOOD BOARDING Defect: Extensive problems, badly worn, cannot be maintained effectively Indicative scope: More than 40 % of floor covering requires repair Typical remedy: 100 % replacement of floor covering	SOFTWOOD BOARDING Defect: Significant deterioration, potential risk to health & safety Indicative scope: Between 20 % and 40 % of floor covering requires repair Typical remedy: Repairs/replacement to floor covering	SOFTWOOD BOARDING Defect: Reasonably sound, minor repairs only Indicative scope: Up to 20 % of floor covering requires repair Typical remedy: Isolated repairs to floor covering	SOFTWOOD BOARDING Defect: No visible defects Indicative scope: No works required Typical remedy: No works required
2.3.3 HARDWOOD STRIP / WOOD BLOCK / SPRUNG FLOOR	HARDWOOD STRIP / WOOD BLOCK / SPRUNG FLOOR Defect: Extensive problems, badly worn, cannot be maintained effectively Indicative scope: More than 40 % of floor covering requires repair Typical remedy: 100 % replacement of floor covering	HARDWOOD STRIP / WOOD BLOCK / SPRUNG FLOOR Defect: Significant deterioration, potential risk to health & safety Indicative scope: Between 20 % and 40 % of floor covering requires repair Typical remedy: Repairs/replacement to floor covering	HARDWOOD STRIP / WOOD BLOCK / SPRUNG FLOOR Defect: Reasonably sound, minor repairs only Indicative scope: Up to 20 % of floor covering requires repair Typical remedy: Isolated repairs to floor covering	HARDWOOD STRIP / WOOD BLOCK / SPRUNG FLOOR Defect: No visible defects Indicative scope: No works required Typical remedy: No works required
2.3.4 RAISED ACCESS FLOOR	RAISED ACCESS FLOOR Defect: Extensive problems, badly worn, cannot be maintained effectively Indicative scope: More than 40 % of floor requires repair Typical remedy: 100 % replacement of floor covering	RAISED ACCESS FLOOR Defect: Significant deterioration, potential risk to health & safety Indicative scope: Between 10 % and 40 % of floor requires repair Typical remedy: Repairs/replacement to floor covering	RAISED ACCESS FLOOR Defect: Reasonably sound, minor repairs only Indicative scope: Up to 10 % of floor requires repair Typical remedy: Isolated repairs to floor covering	RAISED ACCESS FLOOR Defect: No visible defects Indicative scope: No works required Typical remedy: No works required

EFA DATA SURVEY

DESCRIPTORS

Grade D Grade C Grade B Grade A

2 FLOORS AND STAIRS

	Grade D	Grade C	Grade B	Grade A
2.3.5 VINYL / RUBBER / CORK IN TILES / SHEET	VINYL / RUBBER / CORK IN TILES / SHEET	VINYL / RUBBER / CORK IN TILES / SHEET	VINYL / RUBBER / CORK IN TILES / SHEET	VINYL / RUBBER / CORK IN TILES / SHEET
Defect: Extensive problems, badly worn, cannot be maintained effectively Indicative scope: More than 30 % of floor covering requires repair Typical remedy: 100 % replacement of floor covering	Defect: Significant deterioration, potential risk to health & safety Indicative scope: Between 10 % and 30 % of floor covering requires repair Typical remedy: Repairs/replacement to floor covering	Defect: Reasonably sound, minor repairs only Indicative scope: Up to 10 % of floor covering requires repair Typical remedy: Isolated repairs to floor covering	Defect: No visible defects Indicative scope: No works required Typical remedy: No works required	
2.3.6 CERAMIC TILES / TERRAZZO	CERAMIC TILES / TERRAZZO	CERAMIC TILES / TERRAZZO	CERAMIC TILES / TERRAZZO	CERAMIC TILES / TERRAZZO
Defect: Extensive problems, badly worn, cannot be maintained effectively Indicative scope: More than 50 % of floor covering requires repair Typical remedy: 100 % replacement of floor covering	Defect: Significant deterioration, potential risk to health & safety Indicative scope: Between 15 % and 50 % of floor covering requires repair Typical remedy: Repairs/replacement to floor covering	Defect: Reasonably sound, minor repairs only Indicative scope: Up to 15 % of floor covering requires repair Typical remedy: Isolated repairs to floor covering	Defect: No visible defects Indicative scope: No works required Typical remedy: No works required	
2.3.7 CARPET	CARPET	CARPET	CARPET	CARPET
Defect: Extensive problems, badly worn, cannot be maintained effectively Indicative scope: More than 30 % of floor covering requires repair Typical remedy: 100 % replacement of floor covering	Defect: Significant deterioration, potential risk to health & safety Indicative scope: Between 10 % and 30 % of floor covering requires repair Typical remedy: Repairs/replacement to floor covering	Defect: Reasonably sound, minor repairs only Indicative scope: Up to 10 % of floor covering requires repair Typical remedy: Isolated repairs to floor covering	Defect: No visible defects Indicative scope: No works required Typical remedy: No works required	

EFA DATA SURVEY

DESCRIPTORS

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Grade C

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2 FLOORS AND STAIRS

2.4 STAIRCASES - STRUCTURE

2.4.1

CONCRETE

Defect: Extensive problems, severely damaged, cannot be maintained effectively
Indicative scope: More than 20 % of structure requires repair
Typical remedy: 100 % replacement of staircase structure

CONCRETE

Defect: Significant deterioration, potential risk to health & safety
Indicative scope: Between 10 % and 20 % of structure requires repair
Typical remedy: Repairs/replacement to staircase structure

CONCRETE

Defect: Reasonably sound, minor repairs only
Indicative scope: Up to 10 % of structure requires repair
Typical remedy: Isolated repairs to staircase structure

CONCRETE

Defect: No visible defects
Indicative scope: No works required
Typical remedy: No works required

2.4.2

TIMBER

Defect: Extensive problems, severely damaged, cannot be maintained effectively
Indicative scope: More than 40 % of structure requires repair
Typical remedy: 100 % replacement of staircase structure

TIMBER

Defect: Significant deterioration, potential risk to health & safety
Indicative scope: Between 10 % and 40 % of structure requires repair
Typical remedy: Repairs/replacement to staircase structure

TIMBER

Defect: Reasonably sound, minor repairs only
Indicative scope: Up to 10 % of structure requires repair
Typical remedy: Isolated repairs to staircase structure

TIMBER

Defect: No visible defects
Indicative scope: No works required
Typical remedy: No works required

2.4.3

METAL

Defect: Extensive problems, severely damaged, cannot be maintained effectively
Indicative scope: More than 20 % of structure requires repair
Typical remedy: 100 % replacement of staircase structure

METAL

Defect: Significant deterioration, potential risk to health & safety
Indicative scope: Between 10 % and 20 % of structure requires repair
Typical remedy: Repairs/replacement to staircase structure

METAL

Defect: Reasonably sound, minor repairs only
Indicative scope: Up to 10 % of structure requires repair
Typical remedy: Isolated repairs to staircase structure

METAL

Defect: No visible defects
Indicative scope: No works required
Typical remedy: No works required

EFA DATA SURVEY							
DESCRIPTORS							
		Grade D	Grade C	Grade B	Grade A		
2	FLOORS AND STAIRS						
2.5	STAIRCASES - BALUSTRADES						
2.5.1	TIMBER	TIMBER	TIMBER	TIMBER	TIMBER	TIMBER	TIMBER
	Defect: Extensive problems, severely damaged, cannot be maintained effectively Indicative scope: More than 40 % of balustrades requires repair Typical remedy: 100 % replacement of staircase balustrades	Defect: Significant deterioration, potential risk to health & safety Indicative scope: Between 10 % and 40 % of balustrades requires repair Typical remedy: Repairs/replacement to staircase balustrades	Defect: Reasonably sound, minor repairs only Indicative scope: Up to 10 % of balustrades requires repair Typical remedy: Isolated repairs to staircase balustrades	Defect: No visible defects Indicative scope: No works required Typical remedy: No works required			
2.5.2	METAL; PAINTED	METAL; PAINTED	METAL; PAINTED	METAL; PAINTED	METAL; PAINTED	METAL; PAINTED	METAL; PAINTED
	Defect: Extensive problems, severely damaged, cannot be maintained effectively Indicative scope: More than 40 % of balustrades requires repair Typical remedy: 100 % replacement of staircase balustrades	Defect: Significant deterioration, potential risk to health & safety Indicative scope: Between 10 % and 40 % of balustrades requires repair Typical remedy: Repairs/replacement to staircase balustrades	Defect: Reasonably sound, minor repairs only Indicative scope: Up to 10 % of balustrades requires repair Typical remedy: Isolated repairs to staircase balustrades	Defect: No visible defects Indicative scope: No works required Typical remedy: No works required			
2.5.3	METAL; POWDER COATED / SELF FINISHED	METAL; POWDER COATED / SELF FINISHED	METAL; POWDER COATED / SELF FINISHED	METAL; POWDER COATED / SELF FINISHED	METAL; POWDER COATED / SELF FINISHED	METAL; POWDER COATED / SELF FINISHED	METAL; POWDER COATED / SELF FINISHED
	Defect: Extensive problems, severely damaged, cannot be maintained effectively Indicative scope: More than 40 % of balustrades requires repair Typical remedy: 100 % replacement of staircase balustrades	Defect: Significant deterioration, potential risk to health & safety Indicative scope: Between 10 % and 40 % of balustrades requires repair Typical remedy: Repairs/replacement to staircase balustrades	Defect: Reasonably sound, minor repairs only Indicative scope: Up to 10 % of balustrades requires repair Typical remedy: Isolated repairs to staircase balustrades	Defect: No visible defects Indicative scope: No works required Typical remedy: No works required			

EFA DATA SURVEY

DESCRIPTORS

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Grade C

Grade B

Grade A

2 FLOORS AND STAIRS

2.6 STAIRCASES - TREADS AND RISERS

2.6.1	TIMBER	TIMBER	TIMBER	TIMBER
	<p>Defect: Extensive problems, badly worn, cannot be maintained effectively</p> <p>Indicative scope: More than 40 % of treads and risers requires repair</p> <p>Typical remedy: 100 % replacement of treads and risers</p>	<p>Defect: Significant deterioration, potential risk to health & safety</p> <p>Indicative scope: Between 20 % and 40 % of treads and risers requires repair</p> <p>Typical remedy: Repairs/replacement to treads and risers</p>	<p>Defect: Reasonably sound, minor repairs only</p> <p>Indicative scope: Up to 20 % of treads and risers requires repair</p> <p>Typical remedy: Isolated repairs to treads and risers</p>	<p>Defect: No visible defects</p> <p>Indicative scope: No works required</p> <p>Typical remedy: No works required</p>
2.6.2	VINYL / RUBBER / CORK TILES / CARPET IN TILES / SHEET	VINYL / RUBBER / CORK TILES / CARPET IN TILES / SHEET	VINYL / RUBBER / CORK TILES / CARPET IN TILES / SHEET	VINYL / RUBBER / CORK TILES / CARPET IN TILES / SHEET
	<p>Defect: Extensive problems, badly worn, cannot be maintained effectively</p> <p>Indicative scope: More than 30 % of treads and risers requires repair</p> <p>Typical remedy: 100 % replacement of treads and risers</p>	<p>Defect: Significant deterioration, potential risk to health & safety</p> <p>Indicative scope: Between 10 % and 30 % of treads and risers requires repair</p> <p>Typical remedy: Repairs/replacement to treads and risers</p>	<p>Defect: Reasonably sound, minor repairs only</p> <p>Indicative scope: Up to 10 % of treads and risers requires repair</p> <p>Typical remedy: Isolated repairs to treads and risers</p>	<p>Defect: No visible defects</p> <p>Indicative scope: No works required</p> <p>Typical remedy: No works required</p>
2.6.3	CERAMIC TILES / TERRAZZO	CERAMIC TILES / TERRAZZO	CERAMIC TILES / TERRAZZO	CERAMIC TILES / TERRAZZO
	<p>Defect: Extensive problems, badly worn, cannot be maintained effectively</p> <p>Indicative scope: More than 50 % of treads and risers requires repair</p> <p>Typical remedy: 100 % replacement of treads and risers</p>	<p>Defect: Significant deterioration, potential risk to health & safety</p> <p>Indicative scope: Between 15 % and 50 % of treads and risers requires repair</p> <p>Typical remedy: Repairs/replacement to treads and risers</p>	<p>Defect: Reasonably sound, minor repairs only</p> <p>Indicative scope: Up to 15 % of treads and risers requires repair</p> <p>Typical remedy: Isolated repairs to treads and risers</p>	<p>Defect: No visible defects</p> <p>Indicative scope: No works required</p> <p>Typical remedy: No works required</p>

EFA DATA SURVEY

DESCRIPTORS

Grade D Grade C Grade B Grade A

3 CEILINGS

3.1 GENERALLY

3.1.1	FAIR FACED CONCRETE	FAIR FACED CONCRETE	FAIR FACED CONCRETE	FAIR FACED CONCRETE
	<p>Defect: Extensive problems, severely damaged, cannot be maintained effectively</p> <p>Indicative scope: More than 50 % of ceiling requires repair</p> <p>Typical remedy: 100 % replacement of ceiling</p>	<p>Defect: Significant deterioration, potential risk to health & safety</p> <p>Indicative scope: Between 20 % and 50 % of ceiling requires repair</p> <p>Typical remedy: Repairs/replacement to ceiling</p>	<p>Defect: Reasonably sound, minor repairs only</p> <p>Indicative scope: Up to 20 % of ceiling requires repair</p> <p>Typical remedy: Isolated repairs to ceiling</p>	<p>Defect: No visible defects</p> <p>Indicative scope: No works required</p> <p>Typical remedy: No works required</p>
3.1.2	PLASTER / RENDER / PLASTERBOARD LINING/TIMBER LINING	PLASTER / RENDER / PLASTERBOARD LINING/TIMBER LINING	PLASTER / RENDER / PLASTERBOARD LINING/TIMBER LINING	PLASTER / RENDER / PLASTERBOARD LINING/TIMBER LINING
	<p>Defect: Extensive problems, severely damaged, cannot be maintained effectively</p> <p>Indicative scope: More than 40 % of ceiling requires repair</p> <p>Typical remedy: 100 % replacement of ceiling</p>	<p>Defect: Significant deterioration, potential risk to health & safety</p> <p>Indicative scope: Between 20 % and 40 % of ceiling requires repair</p> <p>Typical remedy: Repairs/replacement to ceiling</p>	<p>Defect: Reasonably sound, minor repairs only</p> <p>Indicative scope: Up to 20 % of ceiling requires repair</p> <p>Typical remedy: Isolated repairs to ceiling</p>	<p>Defect: No visible defects</p> <p>Indicative scope: No works required</p> <p>Typical remedy: No works required</p>
3.1.3	NO CEILING/EXPOSED STRUCTURE	NO CEILING/EXPOSED STRUCTURE	NO CEILING/EXPOSED STRUCTURE	NO CEILING/EXPOSED STRUCTURE
	<p>Defect: Extensive problems, severely damaged, cannot be maintained effectively</p> <p>Indicative scope: More than 40 % of ceiling requires repair</p> <p>Typical remedy: 100 % replacement of ceiling</p>	<p>Defect: Significant deterioration, potential risk to health & safety</p> <p>Indicative scope: Between 20 % and 40 % of ceiling requires repair</p> <p>Typical remedy: Repairs/replacement to ceiling</p>	<p>Defect: Reasonably sound, minor repairs only</p> <p>Indicative scope: Up to 20 % of ceiling requires repair</p> <p>Typical remedy: Isolated repairs to ceiling</p>	<p>Defect: No visible defects</p> <p>Indicative scope: No works required</p> <p>Typical remedy: No works required</p>

EFA DATA SURVEY

DESCRIPTORS

Grade D Grade C Grade B Grade A

3 CEILINGS

	Grade D	Grade C	Grade B	Grade A
3.1.4 FIBREBOARD / ACOUSTIC TILE LINING	FIBREBOARD / ACOUSTIC TILE LINING Defect: Extensive problems, severely damaged, cannot be maintained effectively Indicative scope: More than 40 % of ceiling requires repair Typical remedy: 100 % replacement of ceiling	FIBREBOARD / ACOUSTIC TILE LINING Defect: Significant deterioration, potential risk to health & safety Indicative scope: Between 20 % and 40 % of ceiling requires repair Typical remedy: Repairs/replacement to ceiling	FIBREBOARD / ACOUSTIC TILE LINING Defect: Reasonably sound, minor repairs only Indicative scope: Up to 20 % of ceiling requires repair Typical remedy: Isolated repairs to ceiling	FIBREBOARD / ACOUSTIC TILE LINING Defect: No visible defects Indicative scope: No works required Typical remedy: No works required
3.1.5 SUSPENDED CEILING; TIMBER BOARDING / PANELS	SUSPENDED CEILING; TIMBER BOARDING / PANELS Defect: Extensive problems, severely damaged, cannot be maintained effectively Indicative scope: More than 40 % of ceiling requires repair Typical remedy: 100 % replacement of ceiling	SUSPENDED CEILING; TIMBER BOARDING / PANELS Defect: Significant deterioration, potential risk to health & safety Indicative scope: Between 20 % and 40 % of ceiling requires repair Typical remedy: Repairs/replacement to ceiling	SUSPENDED CEILING; TIMBER BOARDING / PANELS Defect: Reasonably sound, minor repairs only Indicative scope: Up to 20 % of ceiling requires repair Typical remedy: Isolated repairs to ceiling	SUSPENDED CEILING; TIMBER BOARDING / PANELS Defect: No visible defects Indicative scope: No works required Typical remedy: No works required
3.1.6 SUSPENDED CEILING; FIBREBOARD / ACOUSTIC TILES	SUSPENDED CEILING; FIBREBOARD / ACOUSTIC TILES Defect: Extensive problems, severely damaged, cannot be maintained effectively Indicative scope: More than 40 % of ceiling requires repair Typical remedy: 100 % replacement of ceiling	SUSPENDED CEILING; FIBREBOARD / ACOUSTIC TILES Defect: Significant deterioration, potential risk to health & safety Indicative scope: Between 20 % and 40 % of ceiling requires repair Typical remedy: Repairs/replacement to ceiling	SUSPENDED CEILING; FIBREBOARD / ACOUSTIC TILES Defect: Reasonably sound, minor repairs only Indicative scope: Up to 20 % of ceiling requires repair Typical remedy: Isolated repairs to ceiling	SUSPENDED CEILING; FIBREBOARD / ACOUSTIC TILES Defect: No visible defects Indicative scope: No works required Typical remedy: No works required

EFA DATA SURVEY

DESCRIPTORS

Grade D	Grade C	Grade B	Grade A
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3 CEILINGS

3.1.7	SUSPENDED CEILING; METAL TILES	SUSPENDED CEILING; METAL TILES	SUSPENDED CEILING; METAL TILES	SUSPENDED CEILING; METAL TILES
	<p>Defect: Extensive problems, severely damaged, cannot be maintained effectively Indicative scope: More than 40 % of ceiling requires repair Typical remedy: 100 % replacement of ceiling</p>	<p>Defect: Significant deterioration, potential risk to health & safety Indicative scope: Between 20 % and 40 % of ceiling requires repair Typical remedy: Repairs/replacement to ceiling</p>	<p>Defect: Reasonably sound, minor repairs only Indicative scope: Up to 20 % of ceiling requires repair Typical remedy: Isolated repairs to ceiling</p>	<p>Defect: No visible defects Indicative scope: No works required Typical remedy: No works required</p>
3.1.8	SUSPENDED RAFTS BELOW FAIR FACED / PLASTER SOFFIT	SUSPENDED RAFTS BELOW FAIR FACED / PLASTER SOFFIT	SUSPENDED RAFTS BELOW FAIR FACED / PLASTER SOFFIT	SUSPENDED RAFTS BELOW FAIR FACED / PLASTER SOFFIT
	<p>Defect: Extensive problems, severely damaged, cannot be maintained effectively Indicative scope: More than 40 % of ceiling requires repair Typical remedy: 100 % replacement of ceiling</p>	<p>Defect: Significant deterioration, potential risk to health & safety Indicative scope: Between 20 % and 40 % of ceiling requires repair Typical remedy: Repairs/replacement to ceiling</p>	<p>Defect: Reasonably sound, minor repairs only Indicative scope: Up to 20 % of ceiling requires repair Typical remedy: Isolated repairs to ceiling</p>	<p>Defect: No visible defects Indicative scope: No works required Typical remedy: No works required</p>

EFA DATA SURVEY

DESCRIPTORS

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Grade C

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4 EXTERNAL WALLS, WINDOWS & DOORS

4.1 WALLS - STRUCTURE

4.1.1 IN SITU CONCRETE

Defect: Extensive problems; severe water penetration or potential structural failure; cannot be maintained effectively
Indicative scope: More than 40 % of wall requires repair
Typical remedy: 100 % replacement of wall

IN SITU CONCRETE

Defect: Significant deterioration, subject to leaking
Indicative scope: Between 10 % and 40 % of wall requires repair
Typical remedy: Repairs/replacement to wall

IN SITU CONCRETE

Defect: Reasonably sound, minor repairs only
Indicative scope: Up to 10 % of wall requires repair
Typical remedy: Isolated repairs to wall

IN SITU CONCRETE

Defect: Watertight, no visible defects
Indicative scope: No works required
Typical remedy: No works required

4.1.2 PRECAST CONCRETE

Defect: Extensive problems; severe water penetration or potential structural failure; cannot be maintained effectively
Indicative scope: More than 40 % of wall requires repair
Typical remedy: 100 % replacement of wall

PRECAST CONCRETE

Defect: Significant deterioration, subject to leaking
Indicative scope: Between 10 % and 40 % of wall requires repair
Typical remedy: Repairs/replacement to wall

PRECAST CONCRETE

Defect: Reasonably sound, minor repairs only
Indicative scope: Up to 10 % of wall requires repair
Typical remedy: Isolated repairs to wall

PRECAST CONCRETE

Defect: Watertight, no visible defects
Indicative scope: No works required
Typical remedy: No works required

4.1.3 BRICK / BLOCK

Defect: Extensive problems; severe water penetration or potential structural failure; cannot be maintained effectively
Indicative scope: More than 40 % of wall requires repair
Typical remedy: 100 % replacement of wall

BRICK / BLOCK

Defect: Significant deterioration, subject to leaking
Indicative scope: Between 10 % and 40 % of wall requires repair
Typical remedy: Repairs/replacement to wall

BRICK / BLOCK

Defect: Reasonably sound, minor repairs only
Indicative scope: Up to 10 % of wall requires repair
Typical remedy: Isolated repairs to wall

BRICK / BLOCK

Defect: Watertight, no visible defects
Indicative scope: No works required
Typical remedy: No works required

EFA DATA SURVEY

DESCRIPTORS

Grade D Grade C Grade B Grade A

4 EXTERNAL WALLS, WINDOWS & DOORS

	Grade D	Grade C	Grade B	Grade A
4.1.4 STONE	STONE	STONE	STONE	STONE
	<p>Defect: Extensive problems; severe water penetration or potential structural failure; cannot be maintained effectively</p> <p>Indicative scope: More than 40 % of wall requires repair</p> <p>Typical remedy: 100 % replacement of wall</p>	<p>Defect: Significant deterioration, subject to leaking</p> <p>Indicative scope: Between 10 % and 40 % of wall requires repair</p> <p>Typical remedy: Repairs/replacement to wall</p>	<p>Defect: Reasonably sound, minor repairs only</p> <p>Indicative scope: Up to 10 % of wall requires repair</p> <p>Typical remedy: Isolated repairs to wall</p>	<p>Defect: Watertight, no visible defects</p> <p>Indicative scope: No works required</p> <p>Typical remedy: No works required</p>
4.1.5 CONCRETE / BRICK / BLOCK WITH RAINSCREEN CLADDING	CONCRETE / BRICK / BLOCK WITH RAINSCREEN CLADDING	CONCRETE / BRICK / BLOCK WITH RAINSCREEN CLADDING	CONCRETE / BRICK / BLOCK WITH RAINSCREEN CLADDING	CONCRETE / BRICK / BLOCK WITH RAINSCREEN CLADDING
	<p>Defect: Extensive problems, severe water penetration, cannot be maintained effectively</p> <p>Indicative scope: More than 40 % of wall cladding requires repair</p> <p>Typical remedy: 100 % replacement of wall cladding</p>	<p>Defect: Significant deterioration, subject to leaking</p> <p>Indicative scope: Between 20 % and 40 % of wall cladding requires repair</p> <p>Typical remedy: Repairs/replacement to sections of wall cladding</p>	<p>Defect: Reasonably sound, minor repairs only</p> <p>Indicative scope: Up to 20 % of wall cladding requires repair</p> <p>Typical remedy: Isolated repairs to wall cladding</p>	<p>Defect: Watertight, no visible defects</p> <p>Indicative scope: No works required</p> <p>Typical remedy: No works required</p>
4.1.6 TIMBER FRAMED CURTAIN WALLING	TIMBER FRAMED CURTAIN WALLING	TIMBER FRAMED CURTAIN WALLING	TIMBER FRAMED CURTAIN WALLING	TIMBER FRAMED CURTAIN WALLING
	<p>Defect: Extensive problems; severe water penetration or potential structural failure; cannot be maintained effectively</p> <p>Indicative scope: More than 40 % of curtain walling requires repair</p> <p>Typical remedy: 100 % replacement of curtain walling</p>	<p>Defect: Significant deterioration, subject to leaking</p> <p>Indicative scope: Between 10 % and 40 % of curtain walling requires repair</p> <p>Typical remedy: Repairs/replacement to curtain walling</p>	<p>Defect: Reasonably sound, minor repairs only</p> <p>Indicative scope: Up to 10 % of curtain walling requires repair</p> <p>Typical remedy: Isolated repairs to curtain walling</p>	<p>Defect: Watertight, no visible defects</p> <p>Indicative scope: No works required</p> <p>Typical remedy: No works required</p>

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4 EXTERNAL WALLS, WINDOWS & DOORS

4.1.7 METAL FRAMED CURTAIN WALLING

Defect: Extensive problems; severe water penetration or potential structural failure; cannot be maintained effectively
Indicative scope: More than 40 % of curtain walling requires repair
Typical remedy: 100 % replacement of curtain walling

METAL FRAMED CURTAIN WALLING

Defect: Significant deterioration, subject to leaking
Indicative scope: Between 10 % and 40 % of curtain walling requires repair
Typical remedy: Repairs/replacement to curtain walling

METAL FRAMED CURTAIN WALLING

Defect: Reasonably sound, minor repairs only
Indicative scope: Up to 10 % of curtain walling requires repair
Typical remedy: Isolated repairs to curtain walling

METAL FRAMED CURTAIN WALLING

Defect: Watertight, no visible defects
Indicative scope: No works required
Typical remedy: No works required

4.1.8 FRAMELESS GLAZING

Defect: Extensive problems, severely damaged, cannot be maintained effectively
Indicative scope: More than 40 % of glazing requires repair
Typical remedy: 100 % replacement of glazing

FRAMELESS GLAZING

Defect: Significant deterioration, potential risk to health & safety
Indicative scope: Between 20 % and 40 % of glazing requires repair
Typical remedy: Repairs/replacement to

FRAMELESS GLAZING

Defect: Reasonably sound, minor repairs only
Indicative scope: Up to 20 % of glazing requires repair
Typical remedy: Isolated repairs to glazing

FRAMELESS GLAZING

Defect: No visible defects
Indicative scope: No works required
Typical remedy: No works required

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DESCRIPTORS

Grade D	Grade C	Grade B	Grade A
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4 EXTERNAL WALLS, WINDOWS & DOORS

4.2 WALLS - EXTERNAL FINISHES

4.2.1 CONCRETE

Defect: Extensive problems, severe water penetration, cannot be maintained effectively
Indicative scope: More than 40 % of wall requires repair
Typical remedy: 100 % replacement of wall finish; for example repointing of wall

CONCRETE

Defect: Significant deterioration, subject to leaking
Indicative scope: Between 20 % and 40 % of wall requires repair
Typical remedy: Repairs/replacement to wall finish

CONCRETE

Defect: Reasonably sound, minor repairs only
Indicative scope: Up to 20 % of wall requires repair
Typical remedy: Isolated repairs to wall finish

CONCRETE

Defect: Watertight, no visible defects
Indicative scope: No works required
Typical remedy: No works required

4.2.2 BRICK / STONE

Defect: Extensive problems, severe water penetration, cannot be maintained effectively
Indicative scope: More than 40 % of wall requires repair
Typical remedy: 100 % replacement of wall finish; for example repointing of wall

BRICK / STONE

Defect: Significant deterioration, subject to leaking
Indicative scope: Between 20 % and 40 % of wall requires repair
Typical remedy: Repairs/replacement to wall finish

BRICK / STONE

Defect: Reasonably sound, minor repairs only
Indicative scope: Up to 20 % of wall requires repair
Typical remedy: Isolated repairs to wall finish

BRICK / STONE

Defect: Watertight, no visible defects
Indicative scope: No works required
Typical remedy: No works required

4.2.3 RENDER

Defect: Extensive problems, severe water penetration, cannot be maintained effectively
Indicative scope: More than 40 % of wall requires repair
Typical remedy: 100 % replacement of wall finish

RENDER

Defect: Significant deterioration, subject to leaking
Indicative scope: Between 20 % and 40 % of wall requires repair
Typical remedy: Repairs/replacement to wall finish

RENDER

Defect: Reasonably sound, minor repairs only
Indicative scope: Up to 20 % of wall requires repair
Typical remedy: Isolated repairs to wall finish

RENDER

Defect: Watertight, no visible defects
Indicative scope: No works required
Typical remedy: No works required

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4 EXTERNAL WALLS, WINDOWS & DOORS

4.2.4 NATURAL SLATE HANGING

Defect: Extensive problems, severe water penetration, cannot be maintained effectively
Indicative scope: More than 40 % of wall requires repair
Typical remedy: 100 % replacement of wall finish

NATURAL SLATE HANGING

Defect: Significant deterioration, subject to leaking
Indicative scope: Between 20 % and 40 % of wall requires repair
Typical remedy: Repairs/replacement to wall finish

NATURAL SLATE HANGING

Defect: Reasonably sound, minor repairs only
Indicative scope: Up to 20 % of wall requires repair
Typical remedy: Isolated repairs to wall finish

NATURAL SLATE HANGING

Defect: Watertight, no visible defects
Indicative scope: No works required
Typical remedy: No works required

4.2.5 TILE HANGING

Defect: Extensive problems, severe water penetration, cannot be maintained effectively
Indicative scope: More than 40 % of wall requires repair
Typical remedy: 100 % replacement of wall finish

TILE HANGING

Defect: Significant deterioration, subject to leaking
Indicative scope: Between 20 % and 40 % of wall requires repair
Typical remedy: Repairs/replacement to wall finish

TILE HANGING

Defect: Reasonably sound, minor repairs only
Indicative scope: Up to 20 % of wall requires repair
Typical remedy: Isolated repairs to wall finish

TILE HANGING

Defect: Watertight, no visible defects
Indicative scope: No works required
Typical remedy: No works required

4.2.6 TIMBER CLADDING

Defect: Extensive problems, severe water penetration, cannot be maintained effectively
Indicative scope: More than 40 % of wall requires repair
Typical remedy: 100 % replacement of wall finish

TIMBER CLADDING

Defect: Significant deterioration, subject to leaking
Indicative scope: Between 20 % and 40 % of wall requires repair
Typical remedy: Repairs/replacement to wall finish

TIMBER CLADDING

Defect: Reasonably sound, minor repairs only
Indicative scope: Up to 20 % of wall requires repair
Typical remedy: Isolated repairs to wall finish

TIMBER CLADDING

Defect: Watertight, no visible defects
Indicative scope: No works required
Typical remedy: No works required

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4 EXTERNAL WALLS, WINDOWS & DOORS

4.2.7 NO WALL FINISH/EXPOSED STRUCTURE

Defect: Extensive problems, severe water penetration, cannot be maintained effectively
Indicative scope: More than 40 % of wall requires repair
Typical remedy: 100 % replacement of wall sheeting

NO WALL FINISH/EXPOSED STRUCTURE

Defect: Significant deterioration, subject to leaking
Indicative scope: Between 20 % and 40 % of wall requires repair
Typical remedy: Repairs/replacement to sections of wall sheeting

NO WALL FINISH/EXPOSED STRUCTURE

Defect: Reasonably sound, minor repairs only
Indicative scope: Up to 20 % of wall requires repair
Typical remedy: Isolated repairs to wall sheeting

NO WALL FINISH/EXPOSED STRUCTURE

Defect: Watertight, no visible defects
Indicative scope: No works required
Typical remedy: No works required

4.2.8 PROFILED FIBRE CEMENT SHEET

Defect: Extensive problems, severe water penetration, cannot be maintained effectively
Indicative scope: More than 40 % of wall requires repair
Typical remedy: 100 % replacement of wall sheeting

PROFILED FIBRE CEMENT SHEET

Defect: Significant deterioration, subject to leaking
Indicative scope: Between 20 % and 40 % of wall requires repair
Typical remedy: Repairs/replacement to sections of wall sheeting

PROFILED FIBRE CEMENT SHEET

Defect: Reasonably sound, minor repairs only
Indicative scope: Up to 20 % of wall requires repair
Typical remedy: Isolated repairs to wall sheeting

PROFILED FIBRE CEMENT SHEET

Defect: Watertight, no visible defects
Indicative scope: No works required
Typical remedy: No works required

4.2.9 PROFILED FIBREGLASS / GRP / PLASTIC / COMPOSITE SHEET/PROFILED METAL SHEET

Defect: Extensive problems, severe water penetration, cannot be maintained effectively
Indicative scope: More than 40 % of wall requires repair
Typical remedy: 100 % replacement of wall sheeting

PROFILED FIBREGLASS / GRP / PLASTIC / COMPOSITE SHEET/PROFILED METAL SHEET

Defect: Significant deterioration, subject to leaking
Indicative scope: Between 20 % and 40 % of wall requires repair
Typical remedy: Repairs/replacement to sections of wall sheeting

PROFILED FIBREGLASS / GRP / PLASTIC / COMPOSITE SHEET/PROFILED METAL SHEET

Defect: Reasonably sound, minor repairs only
Indicative scope: Up to 20 % of wall requires repair
Typical remedy: Isolated repairs to wall sheeting

PROFILED FIBREGLASS / GRP / PLASTIC / COMPOSITE SHEET/PROFILED METAL SHEET

Defect: Watertight, no visible defects
Indicative scope: No works required
Typical remedy: No works required

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4 EXTERNAL WALLS, WINDOWS & DOORS

	Grade D	Grade C	Grade B	Grade A
4.2.10	FLAT METAL SHEET / PANELS	FLAT METAL SHEET / PANELS	FLAT METAL SHEET / PANELS	FLAT METAL SHEET / PANELS
	<p>Defect: Extensive problems, severe water penetration, cannot be maintained effectively</p> <p>Indicative scope: More than 40 % of wall requires repair</p> <p>Typical remedy: 100 % replacement of wall sheeting</p>	<p>Defect: Significant deterioration, subject to leaking</p> <p>Indicative scope: Between 20 % and 40 % of wall requires repair</p> <p>Typical remedy: Repairs/replacement to sections of wall sheeting</p>	<p>Defect: Reasonably sound, minor repairs only</p> <p>Indicative scope: Up to 20 % of wall requires repair</p> <p>Typical remedy: Isolated repairs to wall sheeting</p>	<p>Defect: Watertight, no visible defects</p> <p>Indicative scope: No works required</p> <p>Typical remedy: No works required</p>
4.2.11	FLAT FIBREGLASS / GRP / PLASTIC / COMPOSITE IN SHEET	FLAT FIBREGLASS / GRP / PLASTIC / COMPOSITE IN SHEET	FLAT FIBREGLASS / GRP / PLASTIC / COMPOSITE IN SHEET	FLAT FIBREGLASS / GRP / PLASTIC / COMPOSITE IN SHEET
	<p>Defect: Extensive problems; severe water penetration or potential structural failure; cannot be maintained effectively</p> <p>Indicative scope: More than 40 % of wall requires repair</p> <p>Typical remedy: 100 % replacement of wall sheeting</p>	<p>Defect: Significant deterioration, subject to leaking</p> <p>Indicative scope: Between 10 % and 40 % of wall requires repair</p> <p>Typical remedy: Repairs/replacement to wall sheeting</p>	<p>Defect: Reasonably sound, minor repairs only</p> <p>Indicative scope: Up to 10 % of wall requires repair</p> <p>Typical remedy: Isolated repairs to wall sheeting</p>	<p>Defect: Watertight, no visible defects</p> <p>Indicative scope: No works required</p> <p>Typical remedy: No works required</p>
4.2.12	CERAMIC TILES	CERAMIC TILES	CERAMIC TILES	CERAMIC TILES
	<p>Defect: Extensive problems; severe water penetration or potential structural failure; cannot be maintained effectively</p> <p>Indicative scope: More than 40 % of wall requires repair</p> <p>Typical remedy: 100 % replacement of wall tiling</p>	<p>Defect: Significant deterioration, subject to leaking</p> <p>Indicative scope: Between 10 % and 40 % of wall requires repair</p> <p>Typical remedy: Repairs/replacement to wall tiling</p>	<p>Defect: Reasonably sound, minor repairs only</p> <p>Indicative scope: Up to 10 % of wall requires repair</p> <p>Typical remedy: Isolated repairs to wall tiling</p>	<p>Defect: Watertight, no visible defects</p> <p>Indicative scope: No works required</p> <p>Typical remedy: No works required</p>

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4 EXTERNAL WALLS, WINDOWS & DOORS

4.3 WALLS - INTERNAL FINISHES

4.3.1 CONCRETE / BRICK / BLOCK / STONE

Defect: Extensive problems, severely damaged, cannot be maintained effectively
Indicative scope: More than 40 % of wall requires repair
Typical remedy: 100 % replacement of wall finish; for example repointing of wall

CONCRETE / BRICK / BLOCK / STONE

Defect: Significant deterioration, potential risk to health & safety
Indicative scope: Between 20 % and 40 % of wall requires repair
Typical remedy: Repairs/replacement to wall finish

CONCRETE / BRICK / BLOCK / STONE

Defect: Reasonably sound, minor repairs only
Indicative scope: Up to 20 % of wall requires repair
Typical remedy: Isolated repairs to wall finish

CONCRETE / BRICK / BLOCK / STONE

Defect: No visible defects
Indicative scope: No works required
Typical remedy: No works required

4.3.2 PLASTER / RENDER / PLASTERBOARD LINING

Defect: Extensive problems, severely damaged, cannot be maintained effectively
Indicative scope: More than 40 % of wall requires repair
Typical remedy: 100 % replacement of wall finish

PLASTER / RENDER / PLASTERBOARD LINING

Defect: Significant deterioration, potential risk to health & safety
Indicative scope: Between 20 % and 40 % of wall requires repair
Typical remedy: Repairs/replacement to wall finish

PLASTER / RENDER / PLASTERBOARD LINING

Defect: Reasonably sound, minor repairs only
Indicative scope: Up to 20 % of wall requires repair
Typical remedy: Isolated repairs to wall finish

PLASTER / RENDER / PLASTERBOARD LINING

Defect: No visible defects
Indicative scope: No works required
Typical remedy: No works required

4.3.3 FIBREBOARD / ACOUSTIC LINING

Defect: Extensive problems, severely damaged, cannot be maintained effectively
Indicative scope: More than 40 % of wall requires repair
Typical remedy: 100 % replacement of wall finish

FIBREBOARD / ACOUSTIC LINING

Defect: Significant deterioration, potential risk to health & safety
Indicative scope: Between 20 % and 40 % of wall requires repair
Typical remedy: Repairs/replacement to wall finish

FIBREBOARD / ACOUSTIC LINING

Defect: Reasonably sound, minor repairs only
Indicative scope: Up to 20 % of wall requires repair
Typical remedy: Isolated repairs to wall finish

FIBREBOARD / ACOUSTIC LINING

Defect: No visible defects
Indicative scope: No works required
Typical remedy: No works required

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4 EXTERNAL WALLS, WINDOWS & DOORS

4.3.4

TIMBER LINING

Defect: Extensive problems, severely damaged, cannot be maintained effectively
Indicative scope: More than 40 % of wall requires repair
Typical remedy: 100 % replacement of wall finish

TIMBER LINING

Defect: Significant deterioration, potential risk to health & safety
Indicative scope: Between 20 % and 40 % of wall requires repair
Typical remedy: Repairs/replacement to wall finish

TIMBER LINING

Defect: Reasonably sound, minor repairs only
Indicative scope: Up to 20 % of wall requires repair
Typical remedy: Isolated repairs to wall finish

TIMBER LINING

Defect: No visible defects
Indicative scope: No works required
Typical remedy: No works required

4.3.5

CERAMIC TILES

Defect: Extensive problems, severely damaged, cannot be maintained effectively
Indicative scope: More than 40 % of wall requires repair
Typical remedy: 100 % replacement of wall finish

CERAMIC TILES

Defect: Significant deterioration, potential risk to health & safety
Indicative scope: Between 20 % and 40 % of wall requires repair
Typical remedy: Repairs/replacement to wall finish

CERAMIC TILES

Defect: Reasonably sound, minor repairs only
Indicative scope: Up to 20 % of wall requires repair
Typical remedy: Isolated repairs to wall finish

CERAMIC TILES

Defect: No visible defects
Indicative scope: No works required
Typical remedy: No works required

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4 EXTERNAL WALLS, WINDOWS & DOORS

4.4 WINDOWS AND DOORS

4.4.1	TIMBER	TIMBER	TIMBER	TIMBER
	<p>Defect: Extensive problems, severely damaged, cannot be maintained effectively</p> <p>Indicative scope: More than 40 % of windows and doors requires repair</p> <p>Typical remedy: 100 % replacement of windows and doors</p>	<p>Defect: Significant deterioration, potential risk to health & safety</p> <p>Indicative scope: Between 20 % and 40 % of windows and doors requires repair</p> <p>Typical remedy: Repairs/replacement to windows and doors</p>	<p>Defect: Reasonably sound, minor repairs only</p> <p>Indicative scope: Up to 20 % of windows and doors requires repair</p> <p>Typical remedy: Isolated repairs to windows and doors</p>	<p>Defect: No visible defects</p> <p>Indicative scope: No works required</p> <p>Typical remedy: No works required</p>
4.4.2	METAL	METAL	METAL	METAL
	<p>Defect: Extensive problems, severely damaged, cannot be maintained effectively</p> <p>Indicative scope: More than 40 % of windows and doors requires repair</p> <p>Typical remedy: 100 % replacement of windows and doors</p>	<p>Defect: Significant deterioration, potential risk to health & safety</p> <p>Indicative scope: Between 20 % and 40 % of windows and doors requires repair</p> <p>Typical remedy: Repairs/replacement to windows and doors</p>	<p>Defect: Reasonably sound, minor repairs only</p> <p>Indicative scope: Up to 20 % of windows and doors requires repair</p> <p>Typical remedy: Isolated repairs to windows and doors</p>	<p>Defect: No visible defects</p> <p>Indicative scope: No works required</p> <p>Typical remedy: No works required</p>
4.4.3	PLASTIC	PLASTIC	PLASTIC	PLASTIC
	<p>Defect: Extensive problems, severely damaged, cannot be maintained effectively</p> <p>Indicative scope: More than 40 % of windows and doors requires repair</p> <p>Typical remedy: 100 % replacement of windows and doors</p>	<p>Defect: Significant deterioration, potential risk to health & safety</p> <p>Indicative scope: Between 20 % and 40 % of windows and doors requires repair</p> <p>Typical remedy: Repairs/replacement to windows and doors</p>	<p>Defect: Reasonably sound, minor repairs only</p> <p>Indicative scope: Up to 20 % of windows and doors requires repair</p> <p>Typical remedy: Isolated repairs to windows and doors</p>	<p>Defect: No visible defects</p> <p>Indicative scope: No works required</p> <p>Typical remedy: No works required</p>

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5 INTERNAL WALLS AND DOORS

5.1 WALLS AND PARTITIONS - STRUCTURE

5.1.1 BRICK / BLOCK / CONCRETE

Defect: Extensive problems, severely damaged, cannot be maintained effectively
Indicative scope: More than 40 % of wall / partition requires repair
Typical remedy: 100 % replacement of wall / partition

BRICK / BLOCK / CONCRETE

Defect: Significant deterioration, potential risk to health & safety
Indicative scope: Between 10 % and 40 % of wall / partition requires repair
Typical remedy: Repairs/replacement to wall / partition

BRICK / BLOCK / CONCRETE

Defect: Reasonably sound, minor repairs only
Indicative scope: Up to 10 % of wall / partition requires repair
Typical remedy: Isolated repairs to wall / partition

BRICK / BLOCK / CONCRETE

Defect: No visible defects
Indicative scope: No works required
Typical remedy: No works required

5.1.2 TIMBER / METAL STUD

Defect: Extensive problems, severely damaged, cannot be maintained effectively
Indicative scope: More than 40 % of wall / partition requires repair
Typical remedy: 100 % replacement of wall / partition

TIMBER / METAL STUD

Defect: Significant deterioration, potential risk to health & safety
Indicative scope: Between 10 % and 40 % of wall / partition requires repair
Typical remedy: Repairs/replacement to wall / partition

TIMBER / METAL STUD

Defect: Reasonably sound, minor repairs only
Indicative scope: Up to 10 % of wall / partition requires repair
Typical remedy: Isolated repairs to wall / partition

TIMBER / METAL STUD

Defect: No visible defects
Indicative scope: No works required
Typical remedy: No works required

5.1.3 GLAZED SCREEN

Defect: Extensive problems, severely damaged, cannot be maintained effectively
Indicative scope: More than 40 % of wall / partition requires repair
Typical remedy: 100 % replacement of wall / partition

GLAZED SCREEN

Defect: Significant deterioration, subject to leaking
Indicative scope: Between 10 % and 40 % of wall / partition requires repair
Typical remedy: Repairs/replacement to wall / partition

GLAZED SCREEN

Defect: Reasonably sound, minor repairs only
Indicative scope: Up to 10 % of wall / partition requires repair
Typical remedy: Isolated repairs to wall / partition

GLAZED SCREEN

Defect: Watertight, no visible defects
Indicative scope: No works required
Typical remedy: No works required

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5 INTERNAL WALLS AND DOORS

5.1.4 SLIDING / FOLDING PARTITION

Defect: Extensive problems, severely damaged, cannot be maintained effectively
Indicative scope: More than 40 % of wall / partition requires repair
Typical remedy: 100 % replacement of wall / partition

SLIDING / FOLDING PARTITION

Defect: Significant deterioration, potential risk to health & safety
Indicative scope: Between 10 % and 40 % of wall / partition requires repair
Typical remedy: Repairs/replacement to wall / partition

SLIDING / FOLDING PARTITION

Defect: Reasonably sound, minor repairs only
Indicative scope: Up to 10 % of wall / partition requires repair
Typical remedy: Isolated repairs to wall / partition

SLIDING / FOLDING PARTITION

Defect: No visible defects
Indicative scope: No works required
Typical remedy: No works required

5.2 WALLS AND PARTITIONS - FINISHES

5.2.1 CONCRETE / BRICK / BLOCK / STONE

Defect: Extensive problems, severely damaged, cannot be maintained effectively
Indicative scope: More than 40 % of wall requires repair
Typical remedy: 100 % replacement of wall finish; for example repointing of wall

CONCRETE / BRICK / BLOCK / STONE

Defect: Significant deterioration, potential risk to health & safety
Indicative scope: Between 20 % and 40 % of wall requires repair
Typical remedy: Repairs/replacement to wall finish

CONCRETE / BRICK / BLOCK / STONE

Defect: Reasonably sound, minor repairs only
Indicative scope: Up to 20 % of wall requires repair
Typical remedy: Isolated repairs to wall finish

CONCRETE / BRICK / BLOCK / STONE

Defect: No visible defects
Indicative scope: No works required
Typical remedy: No works required

5.2.2 PLASTER / RENDER / PLASTERBOARD LINING

Defect: Extensive problems, severely damaged, cannot be maintained effectively
Indicative scope: More than 40 % of wall requires repair
Typical remedy: 100 % replacement of wall finish

PLASTER / RENDER / PLASTERBOARD LINING

Defect: Significant deterioration, potential risk to health & safety
Indicative scope: Between 20 % and 40 % of wall requires repair
Typical remedy: Repairs/replacement to wall finish

PLASTER / RENDER / PLASTERBOARD LINING

Defect: Reasonably sound, minor repairs only
Indicative scope: Up to 20 % of wall requires repair
Typical remedy: Isolated repairs to wall finish

PLASTER / RENDER / PLASTERBOARD LINING

Defect: No visible defects
Indicative scope: No works required
Typical remedy: No works required

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Grade A

5 INTERNAL WALLS AND DOORS

5.2.3 FIBREBOARD / ACOUSTIC LINING

Defect: Extensive problems, severely damaged, cannot be maintained effectively
Indicative scope: More than 40 % of wall requires repair
Typical remedy: 100 % replacement of wall finish

FIBREBOARD / ACOUSTIC LINING

Defect: Significant deterioration, potential risk to health & safety
Indicative scope: Between 20 % and 40 % of wall requires repair
Typical remedy: Repairs/replacement to wall finish

FIBREBOARD / ACOUSTIC LINING

Defect: Reasonably sound, minor repairs only
Indicative scope: Up to 20 % of wall requires repair
Typical remedy: Isolated repairs to wall finish

FIBREBOARD / ACOUSTIC LINING

Defect: No visible defects
Indicative scope: No works required
Typical remedy: No works required

5.2.4 TIMBER LINING

Defect: Extensive problems, severely damaged, cannot be maintained effectively
Indicative scope: More than 40 % of wall requires repair
Typical remedy: 100 % replacement of wall finish

TIMBER LINING

Defect: Significant deterioration, potential risk to health & safety
Indicative scope: Between 20 % and 40 % of wall requires repair
Typical remedy: Repairs/replacement to wall finish

TIMBER LINING

Defect: Reasonably sound, minor repairs only
Indicative scope: Up to 20 % of wall requires repair
Typical remedy: Isolated repairs to wall finish

TIMBER LINING

Defect: No visible defects
Indicative scope: No works required
Typical remedy: No works required

5.2.5 CERAMIC TILES

Defect: Extensive problems, severely damaged, cannot be maintained effectively
Indicative scope: More than 40 % of wall requires repair
Typical remedy: 100 % replacement of wall finish

CERAMIC TILES

Defect: Significant deterioration, potential risk to health & safety
Indicative scope: Between 20 % and 40 % of wall requires repair
Typical remedy: Repairs/replacement to wall finish

CERAMIC TILES

Defect: Reasonably sound, minor repairs only
Indicative scope: Up to 20 % of wall requires repair
Typical remedy: Isolated repairs to wall finish

CERAMIC TILES

Defect: No visible defects
Indicative scope: No works required
Typical remedy: No works required

EFA DATA SURVEY

DESCRIPTORS

Grade D

Grade C

Grade B

Grade A

5 INTERNAL WALLS AND DOORS

5.3 DOORS

5.3.1

TIMBER

Defect: Extensive problems, severely damaged, cannot be maintained effectively
Indicative scope: More than 40 % of doors requires repair
Typical remedy: 100 % replacement of doors

TIMBER

Defect: Significant deterioration, potential risk to health & safety
Indicative scope: Between 20 % and 40 % of doors requires repair
Typical remedy: Repairs/replacement to doors

TIMBER

Defect: Reasonably sound, minor repairs only
Indicative scope: Up to 20 % of doors requires repair
Typical remedy: Isolated repairs to doors

TIMBER

Defect: No visible defects
Indicative scope: No works required
Typical remedy: No works required

5.3.2

METAL/PLASTIC

Defect: Extensive problems, severely damaged, cannot be maintained effectively
Indicative scope: More than 40 % of doors requires repair
Typical remedy: 100 % replacement of doors

METAL/PLASTIC

Defect: Significant deterioration, potential risk to health & safety
Indicative scope: Between 20 % and 40 % of doors requires repair
Typical remedy: Repairs/replacement to doors

METAL/PLASTIC

Defect: Reasonably sound, minor repairs only
Indicative scope: Up to 20 % of doors requires repair
Typical remedy: Isolated repairs to doors

METAL/PLASTIC

Defect: No visible defects
Indicative scope: No works required
Typical remedy: No works required

EFA DATA SURVEY

DESCRIPTORS

Grade D

Grade C

Grade B

Grade A

6 SANITARY SERVICES

6.1 GENERALLY

6.1.1 GENERALLY

Defect: Extensive problems, severely damaged, cannot be maintained effectively
Indicative scope: More than 50 % of sanitary services / fittings requires repair
Typical remedy: 100 % replacement of sanitary services / fittings

GENERALLY

Defect: Significant deterioration, potential risk to health & safety
Indicative scope: Between 20 % and 50 % of sanitary services / fittings requires repair
Typical remedy: Repairs/replacement to sanitary services / fittings

GENERALLY

Defect: Reasonably sound, minor repairs only
Indicative scope: Up to 20 % of sanitary services / fittings requires repair
Typical remedy: Isolated repairs to sanitary services / fittings

GENERALLY

Defect: No visible defects
Indicative scope: No works required
Typical remedy: No works required

EFA DATA SURVEY

DESCRIPTORS

Grade D

Grade C

Grade B

Grade A

7 MECHANICAL SERVICES

7.1 HEAT SOURCE & EQUIPMENT

7.1.1

GENERALLY

Defect: Boiler continually breaking down and / or approaching the end of it's useful life; Engineer called at least once a month
Indicative scope: More than 40 % of boiler & equipment requires repair
Typical remedy: Replace boiler & equipment

GENERALLY

Defect: Boiler requires frequent servicing; Engineer called every three months
Indicative scope: Between 15 % and 40 % of boiler & equipment requires repair
Typical remedy: Repairs/replacement to boiler & equipment

GENERALLY

Defect: Boiler requires only regular servicing; Engineer visits twice a year
Indicative scope: Up to 15 % of boiler & equipment requires repair
Typical remedy: Isolated repairs to boiler & equipment

GENERALLY

Defect: Boiler requires only annual servicing; No visible defects
Indicative scope: No works required
Typical remedy: No works required

7.2 HEATING DISTRIBUTION, EMITTERS & CONTROLS

7.2.1

GENERALLY

Defect: Radiators, pipework & thermostat valves have extensive problems including leaks and the like; cannot be maintained effectively
Indicative scope: More than 50 % of radiators, pipework & thermostat valves requires repair
Typical remedy: 100 % replacement of heating distribution, emitters & controls

GENERALLY

Defect: Radiators, pipework & thermostat valves show signs of significant deterioration; require frequent maintenance
Indicative scope: Between 20 % and 50 % of radiators, pipework & thermostat valves requires repair
Typical remedy: Repairs/replacement to heating distribution, emitters & controls

GENERALLY

Defect: Radiators, pipework & thermostat valves are reasonably sound, minor repairs only
Indicative scope: Up to 20 % of radiators, pipework & thermostat valves requires repair
Typical remedy: Isolated repairs to heating distribution, emitters & controls

GENERALLY

Defect: No visible defects
Indicative scope: No works required
Typical remedy: No works required

EFA DATA SURVEY

DESCRIPTORS

Grade D	Grade C	Grade B	Grade A
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7 MECHANICAL SERVICES

7.3 HOT & COLD WATER SYSTEM

7.3.1	GENERALLY - INCLUDING HEAT SOURCE / CALORIFIERS FOR HEATING THE WATER	GENERALLY - INCLUDING HEAT SOURCE / CALORIFIERS FOR HEATING THE WATER	GENERALLY - INCLUDING HEAT SOURCE / CALORIFIERS FOR HEATING THE WATER	GENERALLY - INCLUDING HEAT SOURCE / CALORIFIERS FOR HEATING THE WATER
	<p>Defect: Supply & distribution pipework have extensive problems including leaks and the like; cannot be maintained effectively</p> <p>Indicative scope: More than 50 % of pipework requires repair</p> <p>Typical remedy: 100 % replacement of hot & cold water supply & distribution pipework</p>	<p>Defect: Supply & distribution pipework show signs of significant deterioration; require frequent maintenance</p> <p>Indicative scope: Between 20 % and 50 % of pipework requires repair</p> <p>Typical remedy: Repairs/replacement to hot & cold water supply & distribution pipework</p>	<p>Defect: Supply & distribution pipework are reasonably sound, minor repairs only</p> <p>Indicative scope: Up to 20 % of pipework requires repair</p> <p>Typical remedy: Isolated repairs to hot & cold water supply & distribution pipework</p>	<p>Defect: No visible defects</p> <p>Indicative scope: No works required</p> <p>Typical remedy: No works required</p>

7.4 GAS DISTRIBUTION

7.4.1	GENERALLY	GENERALLY	GENERALLY	GENERALLY
	<p>Defect: Supply & distribution pipework including valves etc. have extensive problems; cannot be maintained effectively</p> <p>Indicative scope: More than 50 % of pipework requires repair</p> <p>Typical remedy: 100 % replacement of gas distribution pipework & valves</p>	<p>Defect: Supply & distribution pipework show signs of significant deterioration; require frequent maintenance</p> <p>Indicative scope: Between 20 % and 50 % of pipework requires repair</p> <p>Typical remedy: Repairs/replacement to gas distribution pipework & valves</p>	<p>Defect: Supply & distribution pipework are reasonably sound, minor repairs only</p> <p>Indicative scope: Up to 20 % of pipework requires repair</p> <p>Typical remedy: Isolated repairs to gas distribution pipework & valves</p>	<p>Defect: No visible defects</p> <p>Indicative scope: No works required</p> <p>Typical remedy: No works required</p>

EFA DATA SURVEY

DESCRIPTORS

Grade D

Grade C

Grade B

Grade A

7 MECHANICAL SERVICES

7.5 MECHANICAL VENTILATION / AIR CONDITIONING

7.5.1 NO MECHANICAL VENTILATION OR AIR CONDITIONING

Defect: No visible defects
Indicative scope: No works required
Typical remedy: No works required

NO MECHANICAL VENTILATION OR AIR CONDITIONING

Defect: No visible defects
Indicative scope: No works required
Typical remedy: No works required

NO MECHANICAL VENTILATION OR AIR CONDITIONING

Defect: No visible defects
Indicative scope: No works required
Typical remedy: No works required

NO MECHANICAL VENTILATION OR AIR CONDITIONING

Defect: No visible defects
Indicative scope: No works required
Typical remedy: No works required

7.5.2 MECHANICAL VENTILATION

Defect: Installation has extensive problems, requiring continual attention and cannot be maintained effectively
Indicative scope: More than 40 % of installation requires repair
Typical remedy: 100 % replacement of installation

MECHANICAL VENTILATION

Defect: Installation shows signs of significant deterioration; requiring frequent maintenance
Indicative scope: Between 10 % and 40 % of installation requires repair
Typical remedy: Repairs/replacement to installation

MECHANICAL VENTILATION

Defect: Installation is reasonably sound, requiring minor repairs only
Indicative scope: Up to 10 % of installation requires repair
Typical remedy: Isolated repairs to installation

MECHANICAL VENTILATION

Defect: No visible defects
Indicative scope: No works required
Typical remedy: No works required

7.5.3 AIR CONDITIONING

Defect: Air conditioning continually breaking down; Engineer called at least once a month
Indicative scope: More than 40 % of air conditioning requires repair
Typical remedy: Replace air conditioning installation

AIR CONDITIONING

Defect: Air conditioning requires frequent servicing; Engineer called every three months
Indicative scope: Between 15 % and 40 % of air conditioning requires repair
Typical remedy: Repairs/replacement to air conditioning installation

AIR CONDITIONING

Defect: Air conditioning requires only regular servicing; Engineer visits twice a year
Indicative scope: Up to 15 % of air conditioning requires repair
Typical remedy: Isolated repairs to air conditioning installation

AIR CONDITIONING

Defect: Air conditioning requires only annual servicing; No visible defects
Indicative scope: No works required
Typical remedy: No works required

EFA DATA SURVEY

DESCRIPTORS

Grade D

Grade C

Grade B

Grade A

8 ELECTRICAL SERVICES

8.1 CONTROL GEAR

8.1.1

GENERALLY

Defect: Control gear has extensive problems, requiring continual attention and cannot be maintained effectively
Indicative scope: More than 50 % of control gear requires repair
Typical remedy: 100 % replacement of control gear

GENERALLY

Defect: Control gear shows signs of significant deterioration; requiring frequent maintenance
Indicative scope: Between 15 % and 50 % of control gear requires repair
Typical remedy: Repairs/replacement to control gear

GENERALLY

Defect: Control gear is reasonably sound, requiring minor repairs only
Indicative scope: Up to 15 % of control gear requires repair
Typical remedy: Isolated repairs to control gear

GENERALLY

Defect: No visible defects
Indicative scope: No works required
Typical remedy: No works required

8.2 POWER

8.2.1

GENERALLY

Defect: Installation has extensive problems, requiring continual attention and cannot be maintained effectively
Indicative scope: More than 40 % of installation requires repair
Typical remedy: 100 % replacement of power installation

GENERALLY

Defect: Installation shows signs of significant deterioration; requiring frequent maintenance
Indicative scope: Between 10 % and 40 % of installation requires repair
Typical remedy: Repairs/replacement to power installation

GENERALLY

Defect: Installation is reasonably sound, requiring minor repairs only
Indicative scope: Up to 10 % of installation requires repair
Typical remedy: Isolated repairs to power installation

GENERALLY

Defect: No visible defects
Indicative scope: No works required
Typical remedy: No works required

EFA DATA SURVEY

DESCRIPTORS

Grade D	Grade C	Grade B	Grade A
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8 ELECTRICAL SERVICES

8.3 LIGHTING SYSTEM

8.3.1	GENERALLY	GENERALLY	GENERALLY	GENERALLY
	<p>Defect: Lighting installation has extensive problems, requiring continual attention and cannot be maintained effectively</p> <p>Indicative scope: More than 50 % of installation requires repair</p> <p>Typical remedy: 100 % replacement of lighting installation</p>	<p>Defect: Lighting installation shows signs of significant deterioration; requiring frequent maintenance</p> <p>Indicative scope: Between 15 % and 50 % of installation requires repair</p> <p>Typical remedy: Repairs/replacement to lighting installation</p>	<p>Defect: Lighting installation is reasonably sound, requiring minor repairs only</p> <p>Indicative scope: Up to 15 % of installation requires repair</p> <p>Typical remedy: Isolated repairs to lighting installation</p>	<p>Defect: No visible defects</p> <p>Indicative scope: No works required</p> <p>Typical remedy: No works required</p>

8.4 ALARMS

8.4.1	GENERALLY	GENERALLY	GENERALLY	GENERALLY
	<p>Defect: Alarm installation has extensive problems, requiring continual attention and cannot be maintained effectively</p> <p>Indicative scope: More than 40 % of installation requires repair</p> <p>Typical remedy: 100 % replacement of alarm installations</p>	<p>Defect: Alarm installation shows signs of significant deterioration; requiring frequent maintenance</p> <p>Indicative scope: Between 10 % and 40 % of installation requires repair</p> <p>Typical remedy: Repairs/replacement to alarm installations</p>	<p>Defect: Alarm installation is reasonably sound, requiring minor repairs only</p> <p>Indicative scope: Up to 10 % of installation requires repair</p> <p>Typical remedy: Isolated repairs to alarm installations</p>	<p>Defect: No visible defects</p> <p>Indicative scope: No works required</p> <p>Typical remedy: No works required</p>

EFA DATA SURVEY

DESCRIPTORS

Grade D Grade C Grade B Grade A

8 ELECTRICAL SERVICES

8.5 COMMUNICATIONS AND IT INFRASTRUCTURE

8.5.1	GENERALLY	GENERALLY	GENERALLY	GENERALLY
	<p>Defect: Comm's system has extensive problems, requiring continual attention and cannot be maintained effectively</p> <p>Indicative scope: More than 50 % of installation requires repair</p> <p>Typical remedy: 100 % replacement of comm's system</p>	<p>Defect: Comm's system shows signs of significant deterioration; requiring frequent maintenance</p> <p>Indicative scope: Between 15 % and 50 % of installation requires repair</p> <p>Typical remedy: Repairs/replacement to comm's system</p>	<p>Defect: Comm's system is reasonably sound, requiring minor repairs only</p> <p>Indicative scope: Up to 15 % of installation requires repair</p> <p>Typical remedy: Isolated repairs to comm's system</p>	<p>Defect: No visible defects</p> <p>Indicative scope: No works required</p> <p>Typical remedy: No works required</p>

8.6 LIFTS AND HOISTS

8.6.1	GENERALLY	GENERALLY	GENERALLY	GENERALLY
	<p>Defect: Lift Installation continually breaking down and / or approaching the end of it's useful life; Engineer called at least once a month</p> <p>Indicative scope: More than 40 % of installation requires repair</p> <p>Typical remedy: Replace lift installation</p>	<p>Defect: Lift Installation requires frequent servicing; Engineer called every three months</p> <p>Indicative scope: Between 10 % and 40 % of installation requires repair</p> <p>Typical remedy: Repairs/replacement to lift installation</p>	<p>Defect: Lift Installation requires only regular servicing; Engineer visits twice a year</p> <p>Indicative scope: Up to 10 % of installation requires repair</p> <p>Typical remedy: Isolated repairs to lift installation</p>	<p>Defect: Lift Installation requires only annual servicing; No visible defects</p> <p>Indicative scope: No works required</p> <p>Typical remedy: No works required</p>

EFA DATA SURVEY					
DESCRIPTORS					
		Grade D	Grade C	Grade B	Grade A
9	REDECORATION				
9.1	EXTERNAL - WALLS				
9.1.1	UNPAINTED	UNPAINTED	UNPAINTED	UNPAINTED	UNPAINTED
	Defect: No visible defects Indicative scope: No works required Typical remedy: No works required	Defect: No visible defects Indicative scope: No works required Typical remedy: No works required	Defect: No visible defects Indicative scope: No works required Typical remedy: No works required	Defect: No visible defects Indicative scope: No works required Typical remedy: No works required	Defect: No visible defects Indicative scope: No works required Typical remedy: No works required
9.1.2	PAINTED	PAINTED	PAINTED	PAINTED	PAINTED
	Defect: Decorations in very poor condition Indicative scope: More than 30 % of decorations require repair Typical remedy: 100 % redecorating required	Defect: Decorations in medium to poor condition Indicative scope: Between 10 % and 30 % of decorations require repair Typical remedy: 75 % redecorating required	Defect: Decorations in good to medium condition Indicative scope: Up to 10 % of decorations require repair Typical remedy: Isolated redecorating	Defect: Decorations in above good condition Indicative scope: No works required Typical remedy: No works required	Defect: Decorations in above good condition Indicative scope: No works required Typical remedy: No works required
9.2	EXTERNAL - WINDOWS, DOORS ETC				
9.2.1	TIMBER	TIMBER	TIMBER	TIMBER	TIMBER
	Defect: Decorations in very poor condition Indicative scope: More than 30 % of decorations require repair Typical remedy: 100 % redecorating required	Defect: Decorations in medium to poor condition Indicative scope: Between 10 % and 30 % of decorations require repair Typical remedy: 75 % redecorating required	Defect: Decorations in good to medium condition Indicative scope: Up to 10 % of decorations require repair Typical remedy: Isolated redecorating	Defect: Decorations in above good condition Indicative scope: No works required Typical remedy: No works required	Defect: Decorations in above good condition Indicative scope: No works required Typical remedy: No works required
9.2.2	METAL/PLASTIC - UNPAINTED	METAL/PLASTIC - UNPAINTED	METAL/PLASTIC - UNPAINTED	METAL/PLASTIC - UNPAINTED	METAL/PLASTIC - UNPAINTED
	Defect: No visible defects Indicative scope: No works required Typical remedy: No works required	Defect: No visible defects Indicative scope: No works required Typical remedy: No works required	Defect: No visible defects Indicative scope: No works required Typical remedy: No works required	Defect: No visible defects Indicative scope: No works required Typical remedy: No works required	Defect: No visible defects Indicative scope: No works required Typical remedy: No works required

EFA DATA SURVEY					
DESCRIPTORS					
		Grade D	Grade C	Grade B	Grade A
9	REDECORATION				
9.2.3	METAL - PAINTED	METAL - PAINTED	METAL - PAINTED	METAL - PAINTED	METAL - PAINTED
	Defect: Decorations in very poor condition Indicative scope: More than 30 % of decorations require repair Typical remedy: 100 % redecorating required	Defect: Decorations in medium to poor condition Indicative scope: Between 10 % and 30 % of decorations require repair Typical remedy: 75 % redecorating required	Defect: Decorations in good to medium condition Indicative scope: Up to 10 % of decorations require repair Typical remedy: Isolated redecorating	Defect: Decorations in above good condition Indicative scope: No works required Typical remedy: No works required	
9.3	INTERNAL - WALLS				
9.3.1	UNPAINTED	UNPAINTED	UNPAINTED	UNPAINTED	UNPAINTED
	Defect: No visible defects Indicative scope: No works required Typical remedy: No works required	Defect: No visible defects Indicative scope: No works required Typical remedy: No works required	Defect: No visible defects Indicative scope: No works required Typical remedy: No works required	Defect: No visible defects Indicative scope: No works required Typical remedy: No works required	
9.3.2	PAINTED	PAINTED	PAINTED	PAINTED	PAINTED
	Defect: Decorations in very poor condition Indicative scope: More than 30 % of decorations require repair Typical remedy: 100 % redecorating required	Defect: Decorations in medium to poor condition Indicative scope: Between 10 % and 30 % of decorations require repair Typical remedy: 75 % redecorating required	Defect: Decorations in good to medium condition Indicative scope: Up to 10 % of decorations require repair Typical remedy: Isolated redecorating	Defect: Decorations in above good condition Indicative scope: No works required Typical remedy: No works required	

EFA DATA SURVEY

DESCRIPTORS

Grade D

Grade C

Grade B

Grade A

9 REDECORATION

9.4 INTERNAL - CEILINGS

9.4.1 UNPAINTED

Defect: No visible defects
Indicative scope: No works required
Typical remedy: No works required

UNPAINTED

Defect: No visible defects
Indicative scope: No works required
Typical remedy: No works required

UNPAINTED

Defect: No visible defects
Indicative scope: No works required
Typical remedy: No works required

UNPAINTED

Defect: No visible defects
Indicative scope: No works required
Typical remedy: No works required

9.4.2 PAINTED

Defect: Decorations in very poor condition
Indicative scope: More than 30 % of decorations require repair
Typical remedy: 100 % redecorating required

PAINTED

Defect: Decorations in medium to poor condition
Indicative scope: Between 10 % and 30 % of decorations require repair
Typical remedy: 75 % redecorating required

PAINTED

Defect: Decorations in good to medium condition
Indicative scope: Up to 10 % of decorations require repair
Typical remedy: Isolated redecorating

PAINTED

Defect: Decorations in above good condition
Indicative scope: No works required
Typical remedy: No works required

9.5 INTERNAL - WINDOWS, DOORS ETC

9.5.1 GENERALLY

Defect: Decorations in very poor condition
Indicative scope: More than 30 % of decorations require repair
Typical remedy: 100 % redecorating required

GENERALLY

Defect: Decorations in medium to poor condition
Indicative scope: Between 10 % and 30 % of decorations require repair
Typical remedy: 75 % redecorating required

GENERALLY

Defect: Decorations in good to medium condition
Indicative scope: Up to 10 % of decorations require repair
Typical remedy: Isolated redecorating

GENERALLY

Defect: Decorations in above good condition
Indicative scope: No works required
Typical remedy: No works required

EFA DATA SURVEY

DESCRIPTORS

Grade D	Grade C	Grade B	Grade A
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10 FIXED FURNITURE AND FITTINGS

10.1 TEACHING - SCIENCE, TECHNOLOGY

10.1.1	GENERALLY	GENERALLY	GENERALLY	GENERALLY
	<p>Defect: Fixed furniture & fittings etc. in very poor condition / damaged Indicative scope: More than 50 % of fixed furniture and fittings require repair Typical remedy: 100 % replacement of fixed furniture and fittings</p>	<p>Defect: Fixed furniture & fittings etc. in medium condition / some minor repairs Indicative scope: Between 20 % and 50 % of fixed furniture and fittings require repair Typical remedy: 35 % replacement of fixed furniture and fittings</p>	<p>Defect: Fixed furniture & fittings etc. in good condition Indicative scope: Up to 20 % of fixed furniture and fittings require repair Typical remedy: Individual items of fixed furniture and fittings to be replaced</p>	<p>Defect: Fixed furniture & fittings etc. in above good condition Indicative scope: No works required Typical remedy: No works required</p>

10.2 TEACHING - OTHER

10.2.1	GENERALLY	GENERALLY	GENERALLY	GENERALLY
	<p>Defect: Fixed furniture & fittings etc. in very poor condition / damaged Indicative scope: More than 50 % of fixed furniture and fittings require repair Typical remedy: 100 % replacement of fixed furniture and fittings</p>	<p>Defect: Fixed furniture & fittings etc. in medium condition / some minor repairs Indicative scope: Between 20 % and 50 % of fixed furniture and fittings require repair Typical remedy: 35 % replacement of fixed furniture and fittings</p>	<p>Defect: Fixed furniture & fittings etc. in good condition Indicative scope: Up to 20 % of fixed furniture and fittings require repair Typical remedy: Individual items of fixed furniture and fittings to be replaced</p>	<p>Defect: Fixed furniture & fittings etc. in above good condition Indicative scope: No works required Typical remedy: No works required</p>

EFA DATA SURVEY

DESCRIPTORS

Grade D	Grade C	Grade B	Grade A
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10 FIXED FURNITURE AND FITTINGS

10.3 NON-TEACHING - CATERING KITCHEN

10.3.1	GENERALLY	GENERALLY	GENERALLY	GENERALLY
	<p>Defect: Fixed kitchen furniture, cabinets and catering equipment in very poor condition / damaged</p> <p>Indicative scope: More than 50 % of fixed furniture and fittings require repair</p> <p>Typical remedy: 100 % replacement of fixed furniture and fittings</p>	<p>Defect: Fixed kitchen furniture, cabinets and catering equipment in medium condition</p> <p>Indicative scope: Between 20 % and 50 % of fixed furniture and fittings require repair</p> <p>Typical remedy: 35 % replacement of fixed furniture and fittings</p>	<p>Defect: Fixed kitchen furniture, cabinets and catering equipment in good condition</p> <p>Indicative scope: Up to 20 % of fixed furniture and fittings require repair</p> <p>Typical remedy: Individual items of fixed furniture and fittings to be replaced</p>	<p>Defect: Fixed kitchen furniture, cabinets and catering equipment in above good condition</p> <p>Indicative scope: No works required</p> <p>Typical remedy: No works required</p>

10.4 NON-TEACHING - OTHER

10.4.1	GENERALLY	GENERALLY	GENERALLY	GENERALLY
	<p>Defect: Fixed furniture & fittings etc. in very poor condition / damaged</p> <p>Indicative scope: More than 50 % of fixed furniture and fittings require repair</p> <p>Typical remedy: 100 % replacement of fixed furniture and fittings</p>	<p>Defect: Fixed furniture & fittings etc. in medium condition / some minor repairs</p> <p>Indicative scope: Between 20 % and 50 % of fixed furniture and fittings require repair</p> <p>Typical remedy: 35 % replacement of fixed furniture and fittings</p>	<p>Defect: Fixed furniture & fittings etc. in good condition</p> <p>Indicative scope: Up to 20 % of fixed furniture and fittings require repair</p> <p>Typical remedy: Individual items of fixed furniture and fittings to be replaced</p>	<p>Defect: Fixed furniture & fittings etc. in above good condition</p> <p>Indicative scope: No works required</p> <p>Typical remedy: No works required</p>

EFA DATA SURVEY

DESCRIPTORS

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11 EXTERNAL AREAS

11.2 PATHS AND PEDESTRIAN PAVED AREAS, PLAY AREAS

11.2.1	TARMAC	TARMAC	TARMAC	TARMAC
	<p>Defect: Extensive problems, badly worn, cannot be maintained effectively</p> <p>Indicative scope: More than 40 % of paths and paved areas requires repair</p> <p>Typical remedy: 100 % replacement of tarmac</p>	<p>Defect: Significant deterioration, potential risk to health & safety</p> <p>Indicative scope: Between 10 % and 40 % of paths and paved areas requires repair</p> <p>Typical remedy: 25 % replacement of tarmac</p>	<p>Defect: Reasonably sound, minor repairs only</p> <p>Indicative scope: Up to 10 % of paths and paved areas requires repair</p> <p>Typical remedy: Isolated repairs to tarmac</p>	<p>Defect: No visible defects</p> <p>Indicative scope: No works required</p> <p>Typical remedy: No works required</p>
11.2.2	IN-SITU CONCRETE	IN-SITU CONCRETE	IN-SITU CONCRETE	IN-SITU CONCRETE
	<p>Defect: Extensive problems, badly worn, cannot be maintained effectively</p> <p>Indicative scope: More than 40 % of paths and paved areas requires repair</p> <p>Typical remedy: 100 % replacement of</p>	<p>Defect: Significant deterioration, potential risk to health & safety</p> <p>Indicative scope: Between 10 % and 40 % of paths and paved areas requires repair</p> <p>Typical remedy: 25 % replacement of concrete</p>	<p>Defect: Reasonably sound, minor repairs only</p> <p>Indicative scope: Up to 10 % of paths and paved areas requires repair</p> <p>Typical remedy: Isolated repairs to concrete</p>	<p>Defect: No visible defects</p> <p>Indicative scope: No works required</p> <p>Typical remedy: No works required</p>
11.2.3	SLABS / BLOCKS	SLABS / BLOCKS	SLABS / BLOCKS	SLABS / BLOCKS
	<p>Defect: Extensive problems, badly worn, cannot be maintained effectively</p> <p>Indicative scope: More than 40 % of paths and paved areas requires repair</p> <p>Typical remedy: 100 % replacement of slab / block paving</p>	<p>Defect: Significant deterioration, potential risk to health & safety</p> <p>Indicative scope: Between 10 % and 40 % of paths and paved areas requires repair</p> <p>Typical remedy: 25 % replacement of slab / block paving</p>	<p>Defect: Reasonably sound, minor repairs only</p> <p>Indicative scope: Up to 10 % of paths and paved areas requires repair</p> <p>Typical remedy: Isolated repairs to slab / block paving</p>	<p>Defect: No visible defects</p> <p>Indicative scope: No works required</p> <p>Typical remedy: No works required</p>

EFA DATA SURVEY

DESCRIPTORS

Grade D Grade C Grade B Grade A

11 EXTERNAL AREAS

11.3 SOFT LANDSCAPING

11.3.1	GENERALLY	GENERALLY	GENERALLY	GENERALLY
	<p>Defect: Extensive problems, plants have either died or in the process of dying off</p> <p>Indicative scope: More than 40 % of planting areas requires repair</p> <p>Typical remedy: 100 % replacement of plants</p>	<p>Defect: Significant deterioration, planting at risk</p> <p>Indicative scope: Between 10 % and 40 % of planting areas requires repair</p> <p>Typical remedy: 25 % replacement of plants</p>	<p>Defect: Majority of plants in reasonable condition, minor repairs only</p> <p>Indicative scope: Up to 10 % of planting areas requires repair</p> <p>Typical remedy: Isolated replacement of plants</p>	<p>Defect: No visible defects</p> <p>Indicative scope: No works required</p> <p>Typical remedy: No works required</p>

11.4 MAINS SERVICES

11.4.1	GENERALLY	GENERALLY	GENERALLY	GENERALLY
	<p>Defect: Highly frequent maintenance visits; normally once a month</p> <p>Indicative scope: More than 40 % of mains services requires repair</p> <p>Typical remedy: 100 % replacement of mains services</p>	<p>Defect: Frequent maintenance visits; every 3 months</p> <p>Indicative scope: Between 10 % and 40 % of mains services requires repair</p> <p>Typical remedy: 25 % replacement of mains services</p>	<p>Defect: Regular maintenance visits; every 6 months</p> <p>Indicative scope: Up to 10 % of mains services requires repair</p> <p>Typical remedy: Isolated repairs to mains services</p>	<p>Defect: No visible defects</p> <p>Indicative scope: No works required</p> <p>Typical remedy: No works required</p>

11.5 BOUNDARY WALLS AND FENCES

11.5.1	BRICK / BLOCK / CONCRETE / STONE	BRICK / BLOCK / CONCRETE / STONE	BRICK / BLOCK / CONCRETE / STONE	BRICK / BLOCK / CONCRETE / STONE
	<p>Defect: Extensive problems, badly worn, cannot be maintained effectively</p> <p>Indicative scope: More than 40 % of walls etc. requires repair</p> <p>Typical remedy: 100 % replacement of walls</p>	<p>Defect: Significant deterioration, potential risk to health & safety</p> <p>Indicative scope: Between 10 % and 40 % of walls etc. requires repair</p> <p>Typical remedy: 25 % replacement of walls</p>	<p>Defect: Reasonably sound, minor repairs only</p> <p>Indicative scope: Up to 10 % of walls etc. requires repair</p> <p>Typical remedy: Isolated repairs to walls</p>	<p>Defect: No visible defects</p> <p>Indicative scope: No works required</p> <p>Typical remedy: No works required</p>

EFA DATA SURVEY

DESCRIPTORS

Grade D

Grade C

Grade B

Grade A

11 EXTERNAL AREAS

11.6 OTHER WALLS, FENCES AND BARRIERS INCLUDING AROUND TENNIS COURTS, 'MUGAS' ETC

11.6.1

GENERALLY

Defect: Extensive problems, badly worn, cannot be maintained effectively
Indicative scope: More than 30 % of fence etc. requires repair
Typical remedy: 100 % replacement of fences etc.

GENERALLY

Defect: Significant deterioration, potential risk to health & safety
Indicative scope: Between 10 % and 30 % of fence etc. requires repair
Typical remedy: 20 % replacement of fences etc.

GENERALLY

Defect: Reasonably sound, minor repairs only
Indicative scope: Up to 10 % of fence etc. requires repair
Typical remedy: Isolated repairs to fences etc.

GENERALLY

Defect: No visible defects
Indicative scope: No works required
Typical remedy: No works required

11.7 SWIMMING POOLS - STRUCTURE

11.7.1

GENERALLY

Defect: Extensive problems, badly worn, cannot be maintained effectively
Indicative scope: More than 50 % of swimming pool requires repair
Typical remedy: 100 % replacement of swimming pool

GENERALLY

Defect: Significant deterioration, potential risk to health & safety
Indicative scope: Between 20 % and 50 % of swimming pool requires repair
Typical remedy: Repairs/ replacement to swimming pool

GENERALLY

Defect: Reasonably sound, minor repairs only
Indicative scope: Up to 20 % of swimming pool requires repair
Typical remedy: Isolated repairs to swimming pool

GENERALLY

Defect: No visible defects
Indicative scope: No works required
Typical remedy: No works required

EFA DATA SURVEY					
DESCRIPTORS					
		Grade D	Grade C	Grade B	Grade A
11	EXTERNAL AREAS				
11.8	SWIMMING POOLS - PLANT				
11.8.1	GENERALLY	GENERALLY	GENERALLY	GENERALLY	GENERALLY
	<p>Defect: Extensive problems, badly worn, cannot be maintained effectively</p> <p>Indicative scope: More than 50 % of swimming pool plant requires repair</p> <p>Typical remedy: 100 % replacement of swimming pool plant</p>	<p>Defect: Significant deterioration, potential risk to health & safety</p> <p>Indicative scope: Between 20 % and 50 % of swimming pool plant requires repair</p> <p>Typical remedy: Repairs/ replacement to swimming pool plant</p>	<p>Defect: Reasonably sound, minor repairs only</p> <p>Indicative scope: Up to 20 % of swimming pool plant requires repair</p> <p>Typical remedy: Isolated repairs to swimming pool plant</p>	<p>Defect: No visible defects</p> <p>Indicative scope: No works required</p> <p>Typical remedy: No works required</p>	
11.9	DRAINAGE - TREATMENT PLANT				
11.9.1	GENERALLY	GENERALLY	GENERALLY	GENERALLY	GENERALLY
	<p>Defect: Highly frequent maintenance visits; normally once a month</p> <p>Indicative scope: More than 50 % of plant requires repair</p> <p>Typical remedy: 100 % replacement of plant</p>	<p>Defect: Frequent maintenance visits; every 3 months</p> <p>Indicative scope: Between 20 % and 50 % of plant requires repair</p> <p>Typical remedy: Repairs / replacement of plant</p>	<p>Defect: Regular maintenance visits; every 6 months</p> <p>Indicative scope: Up to 20 % of plant requires repair</p> <p>Typical remedy: Isolated repairs to plant</p>	<p>Defect: No visible defects</p> <p>Indicative scope: No works required</p> <p>Typical remedy: No works required</p>	
11.10	DRAINAGE - OTHER				
11.10.1	GENERALLY	GENERALLY	GENERALLY	GENERALLY	GENERALLY
	<p>Defect: Highly frequent maintenance visits; normally once a month</p> <p>Indicative scope: More than 50 % of drainage requires repair</p> <p>Typical remedy: 100 % replacement of drainage</p>	<p>Defect: Frequent maintenance visits; every 3 months</p> <p>Indicative scope: Between 20 % and 50 % of drainage requires repair</p> <p>Typical remedy: 35 % replacement of drainage</p>	<p>Defect: Regular maintenance visits; every 6 months</p> <p>Indicative scope: Up to 20 % of drainage requires repair</p> <p>Typical remedy: Isolated repairs to drainage</p>	<p>Defect: No visible defects</p> <p>Indicative scope: No works required</p> <p>Typical remedy: No works required</p>	

EFA DATA SURVEY					
DESCRIPTORS					
		Grade D	Grade C	Grade B	Grade A
12	PLAYING FIELDS, ALL WEATHER PITCHES / MUGA'S				
12.1	GENERALLY				
12.1.1	TARMAC	TARMAC	TARMAC	TARMAC	TARMAC
	<p>Defect: Extensive problems, badly worn, cannot be maintained effectively</p> <p>Indicative scope: More than 40 % of playground requires repair</p> <p>Typical remedy: 100 % replacement of tarmac</p>	<p>Defect: Significant deterioration, potential risk to health & safety</p> <p>Indicative scope: Between 10 % and 40 % of playground requires repair</p> <p>Typical remedy: 25 % replacement of tarmac</p>	<p>Defect: Reasonably sound, minor repairs only</p> <p>Indicative scope: Up to 10 % of playground requires repair</p> <p>Typical remedy: Isolated repairs to tarmac</p>	<p>Defect: No visible defects</p> <p>Indicative scope: No works required</p> <p>Typical remedy: No works required</p>	
12.1.2	ALL WEATHER, ARTIFICIAL AND SPECIALIST	ALL WEATHER, ARTIFICIAL AND SPECIALIST	ALL WEATHER, ARTIFICIAL AND SPECIALIST	ALL WEATHER, ARTIFICIAL AND SPECIALIST	ALL WEATHER, ARTIFICIAL AND SPECIALIST
	<p>Defect: Extensive problems, badly worn, cannot be maintained effectively</p> <p>Indicative scope: More than 30 % of artificial surfaces requires repair</p> <p>Typical remedy: 100 % replacement of artificial surfaces</p>	<p>Defect: Significant deterioration, potential risk to health & safety</p> <p>Indicative scope: Between 10 % and 30 % of artificial surfaces requires repair</p> <p>Typical remedy: Repairs / replacement of artificial surfaces</p>	<p>Defect: Reasonably sound, minor repairs only</p> <p>Indicative scope: Up to 10 % of artificial surfaces requires repair</p> <p>Typical remedy: Isolated repairs to artificial surfaces</p>	<p>Defect: No visible defects</p> <p>Indicative scope: No works required</p> <p>Typical remedy: No works required</p>	
12.1.3	GRASS	GRASS	GRASS	GRASS	GRASS
	<p>Defect: Extensive problems, badly worn, cannot be maintained effectively</p> <p>Indicative scope: More than 40 % of grassed areas requires repair</p> <p>Typical remedy: 100 % replacement of grass</p>	<p>Defect: Significant deterioration, potential risk to health & safety</p> <p>Indicative scope: Between 10 % and 40 % of grassed areas requires repair</p> <p>Typical remedy: Repairs / replacement of grass</p>	<p>Defect: Reasonably sound, minor repairs only</p> <p>Indicative scope: Up to 10 % of grassed areas requires repair</p> <p>Typical remedy: Isolated repairs to grass</p>	<p>Defect: No visible defects</p> <p>Indicative scope: No works required</p> <p>Typical remedy: No works required</p>	



**Education
 Funding
 Agency**

Property Data Survey Programme (SO Logo)

Customer Service Questionnaire

Name of School: (by SO)

School URN: (by SO)

Survey Organisation: (by SO)

Local Authority: (by SO)

Name of Person Providing Feedback:

Date Questionnaire Completed:

Please tick the appropriate box to indicate your satisfaction with the survey

1 – Poor, 2 – Satisfactory, 3 – Good, 4 – Very Good, 5 - Excellent

How would you rate the following?

	Topic	1	2	3	4	5	Comments
1	The professionalism of the surveyors who visited your site?						
2	The punctuality of the surveyors in arriving at agreed times?						
3	The surveyor's attention to security issues whilst on site?						
4	The surveyor's courteousness whilst on site?						
5	The surveyor's effectiveness in providing feedback on any Health and Safety Issues identified during the survey?						
6	The survey overall?						
7	The telephone staff who contacted you initially to organise the survey visit?						
8	The written communication which was sent prior to the survey?						
9	How do you think the Communications prior to the survey could be improved?						
10	How do you think the undertaking of the survey could be improved?						
11	Have you any additional comments?						

Thank you for your help and co-operation in providing this feedback.

Tutorial 1: Elements of the SIGnet screen

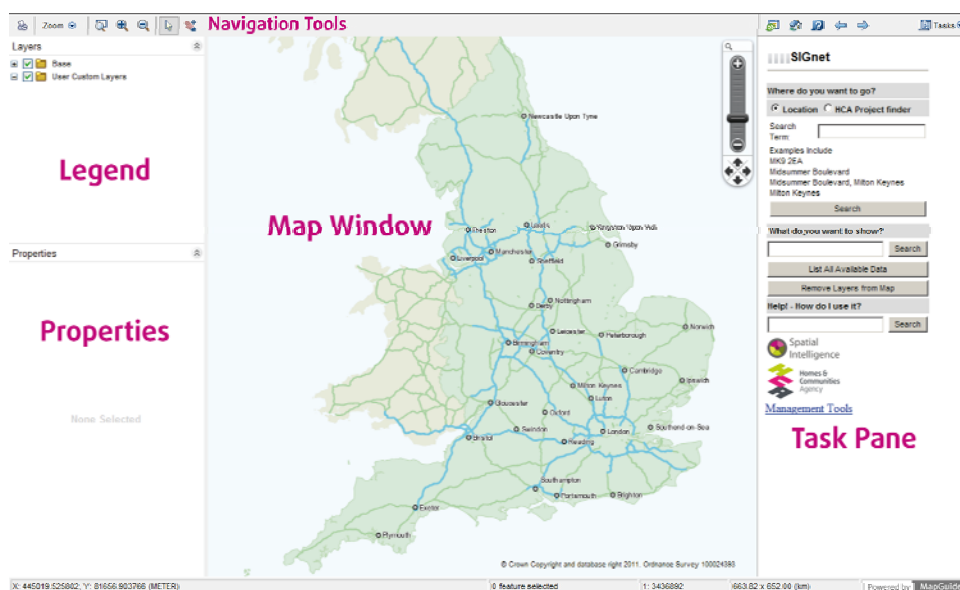
When SIGnet first opens you will be greeted with a map of England inside the Map Window showing main cities and motorways.

At the top left of the screen is the **Navigation bar**, this contains the navigation tools which allow you to move round the map window, zoom in or out of a map view, and show/hide the Home Screen / Task pane.

On the left hand side of the screen, below the Toolbar is the **Legend / Layers window** shows you what layers (or data) you have added to the map, along with some default layers that will automatically load (such as the background mapping).

Below the Legend is the **Properties window** where background information associated with the data that is shown in the map window is displayed. For example, if you select a site boundary in the map window, information about that site will be displayed in the properties window such as name, location and area measurement.

On the right hand side of the screen is the **Home Screen / Task pane** where you will control what layers are added to the map and how they are displayed. The Task pane will also give you access to tools that will enable you to interact with the data.



See also:


- Tutorial 2 - Finding your way around the map
- Tutorial 3 - Find a Location or Find a Place
- Tutorial 4 - Add Data to the Map

Tutorial 2: Finding your way around the map




In the top left hand corner of the screen is the **Navigation bar**. Here you will find the tools you will need to zoom and pan around the map.

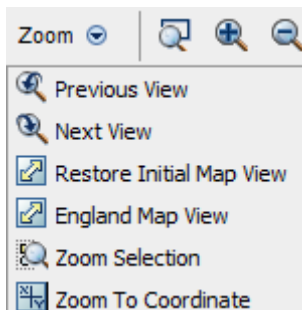
Try clicking the different zoom options to see what they do.

Start by using the Zoom to Rectangle button . Draw a rectangle over an area of the map by clicking and dragging. The map will now zoom in to that location.

Now try using the  and  zoom buttons.

Try using the Pan tool  to move around the map by clicking and dragging in the map window.

Now click the Zoom drop down list, this reveals a number of additional zoom options. Take a few moments to look at each of these.



Clicking the Previous View will take you back to the scale you were viewing before. Do this now.

Now click the Zoom drop down list again and select Next View, this will take you back to the area you zoomed into using the rectangle.

The option to restore initial map view will take you back to your user-specific initial view. This will normally be the local area in which you work, either a Local Authority or County for example.

The England map view option will zoom out to the full extent of the country. In some cases the whole country will be your initial map view so the two controls will give you the same result in that case.

Tutorial 2: Finding your way around the map

The zoom selection option will zoom the map view to a selected feature. You will need to select a feature first either by searching for it or by clicking on that feature in the map window.

The final option allows you to input exact coordinates. Try this option now.

When you click it a dialogue box will open in the task pane on the right hand side of the screen. Here you can enter the coordinates starting with the x coordinate.

Type in 530260.97 as your x coordinate. And then 179519.8 as your y coordinate. And set the scale to 2500, then click the execute button.

Zoom To Coordinates

X Coordinate	<input type="text" value="530260"/>
Y Coordinate	<input type="text" value="179519"/>
Scale	<input type="text" value="2500"/>
<input type="button" value="Execute"/>	

The map will centre over the Palace of Westminster in London.

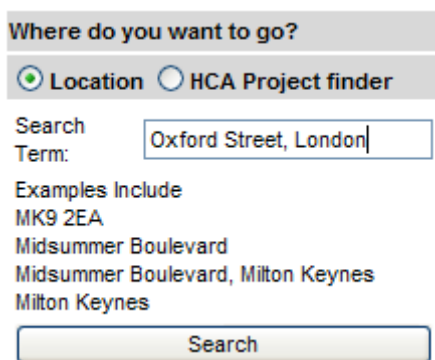
Tutorial 3: Find a location or a place

Instead of using the zoom buttons you can use the search functions in the Task Pane on the right hand side of the screen to go directly to a place of interest.

Go over to the task pane to the *Where do you want to go?* section.

Make sure that street is selected.

Search for a road name by typing in the street name followed by a comma and then the locality "Oxford Street, London".



Where do you want to go?

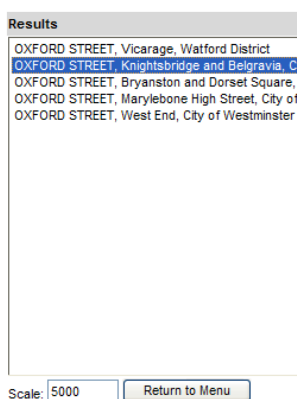
Location HCA Project finder

Search Term:

Examples Include

- MK9 2EA
- Midsummer Boulevard
- Midsummer Boulevard, Milton Keynes
- Milton Keynes

Then click Search.



Results

- OXFORD STREET, Vicarage, Watford District
- OXFORD STREET, Knightsbridge and Belgravia, C**
- OXFORD STREET, Bryanston and Dorset Square,
- OXFORD STREET, Marylebone High Street, City of
- OXFORD STREET, West End, City of Westminster

Scale:

You will be presented with a list of streets that match your search terms. In this instance we want to find Oxford Street in Knightsbridge. Click on the street name in the list and the map will zoom directly to that place.

You can also search for a post code. First you must select the post code option. Next try typing in the post code of your place of work, or your home.

You must be sure to leave a space in the middle, e.g. MK9 2EA. When you click search the map will centre over that location.

Tutorial 3: Find a location or a place


The third option is Place. This option will not search for a Local Authority or County, to do this you will need to use the *What do you want to show* facility because local authorities and counties are stored as area features that you can use for analysis. The place locator will search only for places that are named on the OS base map. So searching for Shoreditch will give you a result, but searching for Tower Hamlets will not, because Tower Hamlets is not labelled on the OS base map.

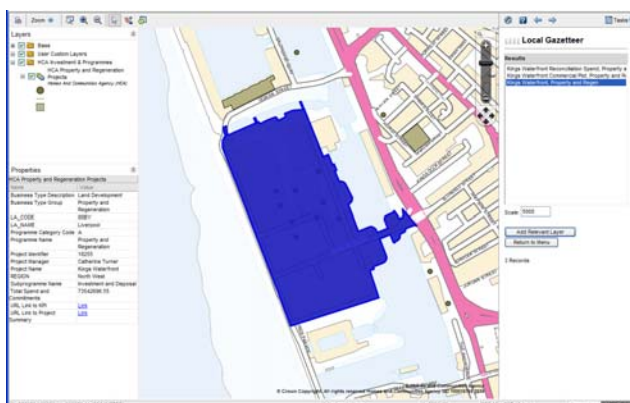
The HCA project Finder

The HCA project finder will find HCA projects that are on the PCS system. You can type in the project name, PCS code or asset number. In future the IMS code will be added to this but at present no IMS data is available on SIGnet.

Try typing in the name of a PCS project you know, or alternately type in "Kings Waterfront" in Liverpool. From the list of results select "Kings Waterfront, Property and Regen"

The map will now centre on the location of that project. Below the list of results there is a button *Add Relevant Layer*. Click this. This will now add the data layer to the map on which the selected PCS project resides. In this case it is the Property and Regen Projects layer.

Make the select button  active and click on the project on the screen you will now see the background information about that project displayed in the properties window.

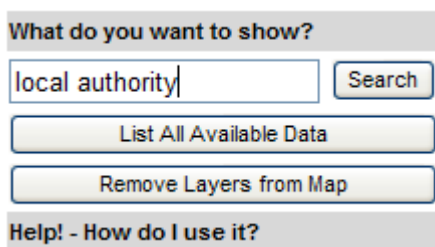


Tutorial 4: Add data to the map

In the first three tutorials you have learned how to navigate around the map. Now you will learn how to add data to the map using the data search facility.

In the task pane, about half way down is the *What do you want to show?* section. In the search bar you can search the database to find information to add to the map.


One of the most basic datasets is the geographic boundaries. Type Local Authority into the search bar and click the *Search* button.




You will then get a list of datasets that match your search term. There are a large number of datasets that are related to Local Authorities, but the one we are after is the "Local Authorities (Ordnance Survey (OS))".



Click on that datasets name to add it to the map. You will see that it is also added to the legend on the left of the screen.

Make the select button active  in the navigation panel and then click on one of the local authorities in the map.

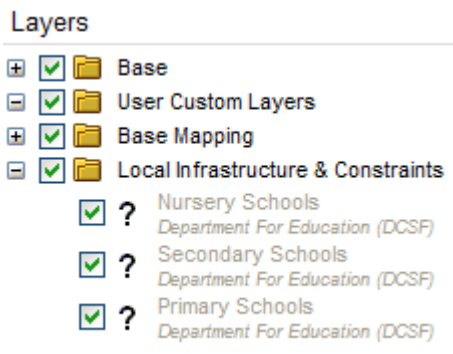
You will see that the selected feature changes colour to show that it is selected. Also by clicking on it you have opened up the properties for that feature in the properties window, at the bottom left of the screen.

Try adding another layer to the map. First click the home button on the task pane.  to return to the main task pane. Type "Schools" into the search bar and click *search*.

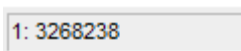
Tutorial 4: Add data to the map

Add the nursery schools, primary schools and secondary schools layers by clicking on the relevant layer names.

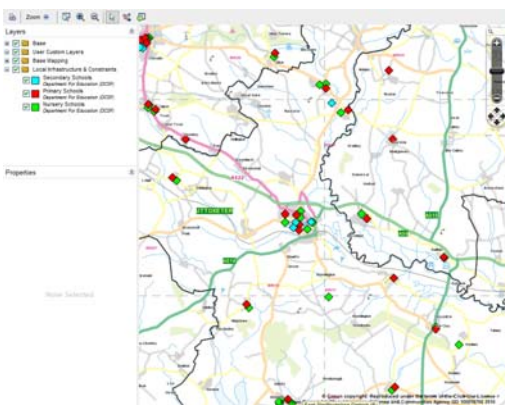
You will notice that the layers are added to the Legend but they are greyed out and have a ? next to the legend entry. This is because these layers are set only to display at scales larger than 1:1,000,000.




Try changing the map scale by typing it in at the bottom of the screen where the scale reference is.



Type in 99000 and the map will zoom in to that scale. You will see that the schools features become active and are displayed on the map. It is important to be aware of the display scale of data and that your data may not be visible due to this restriction.



Remove data from the map

To remove data from the map you must right click inside the map window. From the options list select  Remove Layers from Map .

This will open up a list in the *Task Pane* of all the layers that are currently in your map. Click on one of the layer names and then click the *Remove Selected Layers* button.


Tutorial 5: Filter Data

Filtering data is one of the most useful functions of SIGnet. In this tutorial we will filter the Central Government Estates datasets to find all of them within your local authority. This example uses Milton Keynes but feel free to use any Local Authority of your choice.

Start with a fresh SIGnet session by refreshing your browser window to reset the system. Then search for Central Government Estate in the *What do you want to show?* section of the task pane.

Next to the title of the dataset "Central Government Estate" there are three icons.



Click the filter icon  to activate the filter dialogue box in the task pane.

For the *Property* from the drop down list select "LA Name" (short for Local Authority).

For the operator select "Begins with"

Type *M* into the *Value:* box and click the get values button. You can now select from a list of all local authorities beginning with M from the drop down list. In the example I have selected Milton Keynes

Then click *Add rule* and you will see that your filter rule is added. In this case it reads "LA Begins with Milton Keynes"

You also have an option to select a Predefined Area Search that allows you to filter on some Standard Geographical Areas outside of the layers Properties. Pre Defined Area Search is not available on all layers at this time.

Finally click the *Presentation of your new layer* button to go to the next step.

Give your new layer a suitable name, and make sure the check box to *Zoom Map Window to Results*

Tutorial 5: Filter Data

Presentation of the Layer

What would you like to call your Layer

Central Government Estate Milton Keynes

Basic Appearance

Fill Color: Border Color:

Point Symbol: Circle

Point Size: 8

Display Type: Screen (Points)

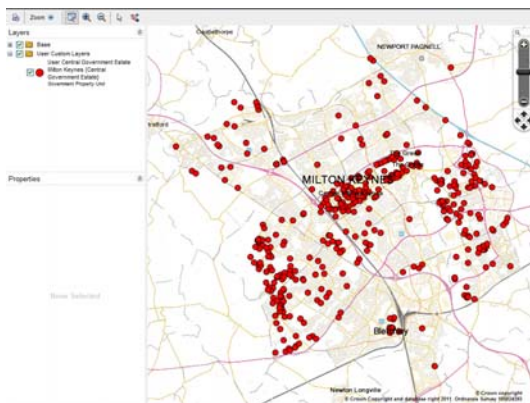
Display as Thematic

Retain Default Style & National Settings

Zoom Map Window to Results


Add your new Custom Layer

When you are done click the *Add your new custom layer* button and your filtered layer will be added to the map. And the map will zoom to fit the results



Multiple rule filters

You can add as many rules to a filter as you wish. What this means is the filter will request data that meets two or more specified criteria

Click the back arrow  in the *Task Pane* to go back to the filter dialogue box. NB. not to be confused with the back arrow on your web browser!

Set the *Property* to LA and choose the LA that you used in the previous example, and then click *Add Rule*.

Next set the *Property* to a different attribute. This time select *Department*.

For the *Operator* select "Begins with", and then for the *Value* search for Department of Transport and click *Add Rule*.

Tutorial 5: Filter Data

Filtering the Layer (Central Government Estate)

What do you want to filter on

Property:

Operator:

Value:

Get Values

Predefined Area Search

LA Group:

Group Name:

Add Area Based Rule

Created Rules

Rule

LA Name Begins with Milton Keynes

and also

Rule

Department Begins with Department for Transport

Options

Your second rule will now be added below the first, and in between the two rules you will see the connecting statement "And also". This tells the filter to request data which meets the criteria of the first rule, *and also* the criteria of the second rule. You could chose to connect the two criteria with the statement "or" to get a different result.

Click *Presentation of your new layer*. Give your layer a suitable name and change the colour to yellow.

Presentation of the Layer

What would you like to call your Layer

Basic Appearance

Fill Color:

Border Color:

Point Symbol:

Point Size:

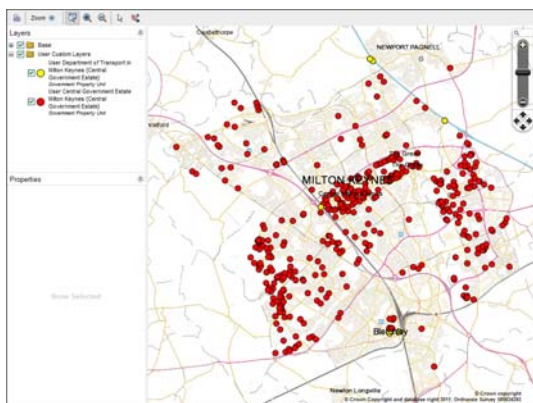
Display Type:

Display as Thematic

Retain Default Style & National Settings

Zoom Map Window to Results

When you are ready click *Add your new custom layer* to add your layer to the map.



Tutorial 6: Thematic mapping

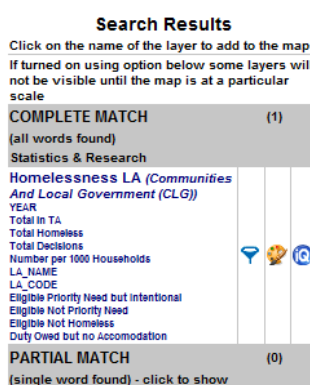
Thematic mapping is when different colours or shades of colour are used to highlight the differences in a value between areas on a map such as local authorities. This method is especially useful to display statistical data.

When using this method it is very important to be aware of your data and what it is you are trying to show. The colours you choose can imply a particular interpretation of the data. Red tends to imply a high value or a warning. Blue would imply a low value. So you must ensure that your colours are appropriate to your purpose.

You must also ensure that the ranges you have chosen are appropriate to your requirement. Are you showing a percentage grouping, or are you highlighting variations in the data?

In SIGnet you can apply a selection of pre-set thematic styles, or you can customise the thematic style to suit your individual needs.

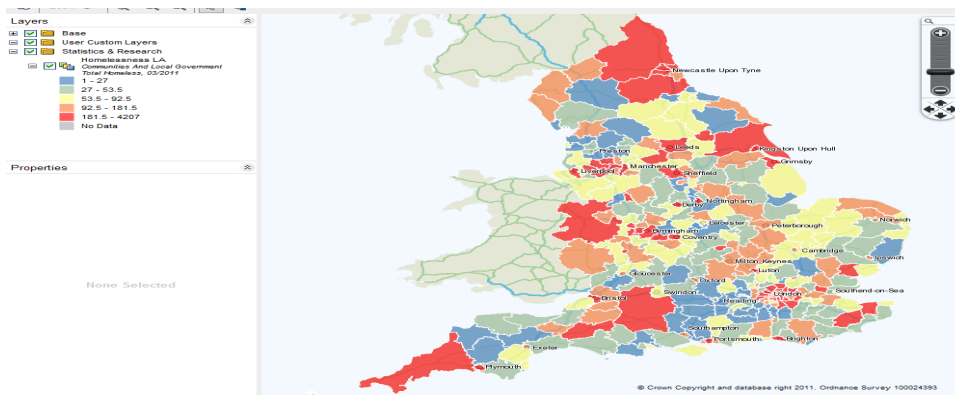
To investigate the various ways of displaying statistical data as a thematic map start by searching for Homelessness in the *What do you want to show?* section of the task pane.



Clicking on the datasets name will expand the dataset to show you all the available attributes that you can use for your thematic. Clicking one of these will add it to the map in a pre-set style.

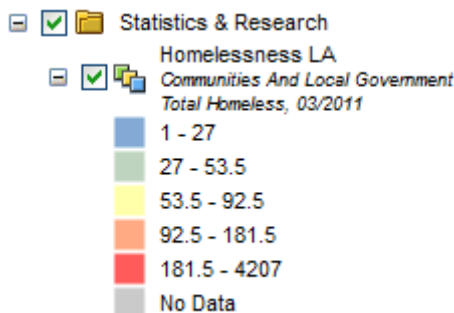
Click on the attribute called "Total Homeless", which will be added to the map window and the legend.

Tutorial 6: Thematic mapping



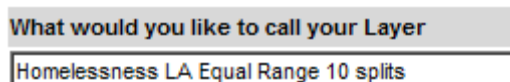
Custom Thematic Styles

The standard style may sometimes be inappropriate for how you wish to display the data. First turn off the Homelessness layer previously displayed by un-checking the tick box next to its legend entry.

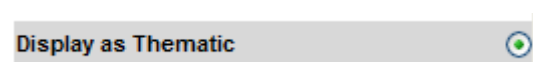


Next instead of clicking on the attribute name to add it to the map, you must click the pallet icon 🎨 to the right of the dataset's name. This will open the display options panel.

Give the layer the name of "Homeless LA Equal Range".



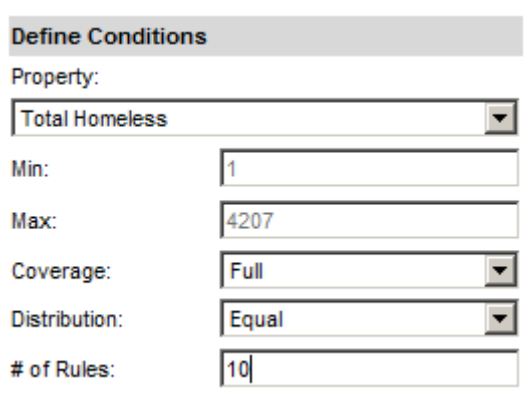
Click the button that says Display as Thematic



For property choose "Total Homeless", for the distribution select "Equal", and for the number of rules change it to 10.

Tutorial 6: Thematic mapping

Keep Coverage set at "Full". This option allows you to decide how you wish to display and analyse your data. The two options are Full and Filtered. Full allows you to colour the map for the selected variable in relation to the national distribution of that variable. Filtered allows you to colour the map for the selected variable in relation to the filtered (local) distribution of that variable. Filtered is more useful if you would like to create local analysis.



Define Conditions

Property: Total Homeless

Min: 1

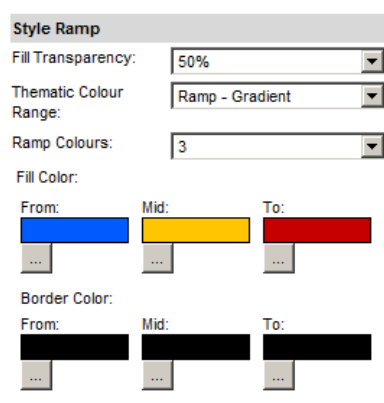
Max: 4207

Coverage: Full

Distribution: Equal

of Rules: 10

Next set the colours for the thematic. Start by setting the fill transparency to 50%, and the number of colours to 3, and then try to match the colours to the image below.



Style Ramp

Fill Transparency: 50%

Thematic Colour Range: Ramp - Gradient

Ramp Colours: 3

Fill Color:

From: [Blue] Mid: [Yellow] To: [Red]

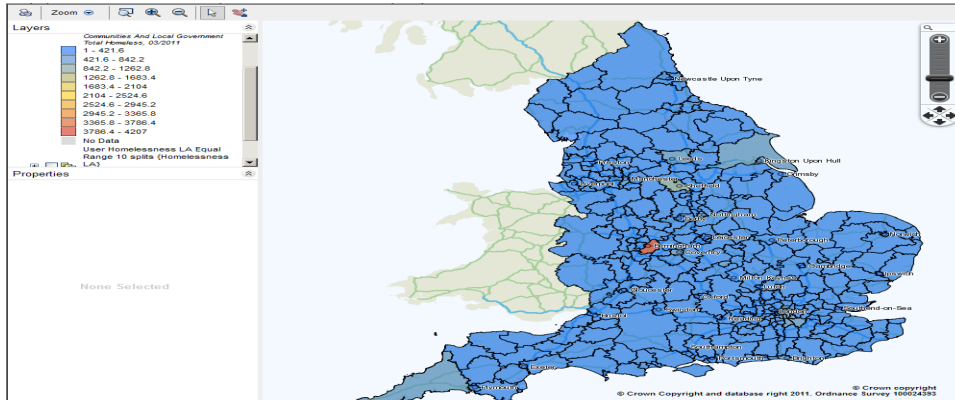
Border Color:

From: [Black] Mid: [Black] To: [Black]

Finally click *Add you new custom layer* and it will be added to the map.

Go to the legend and click the check box next to the word *Base*, to turn off the background image, so that your thematic stands out more clearly.

Tutorial 6: Thematic mapping



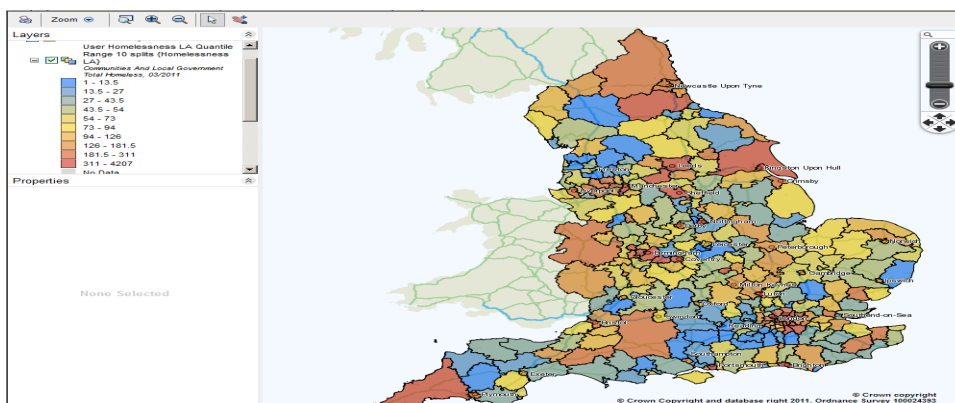
You will notice how this looks very different from the standard thematic. Most of the LAs are coloured blue. If you look at the legend you will see that you have grouped your data by Equal Range. So you have 10 classes with a value range of 421 in each. Most LAs have less than 420 homeless people.

Now try displaying the data using a different distribution to see how the display varies.

First turn off your Homeless LA Equal Range layer by unchecking the box next to it in the legend.

Then go back to the task pane and give the layer a new name. Call it "Homeless LA Quantile".

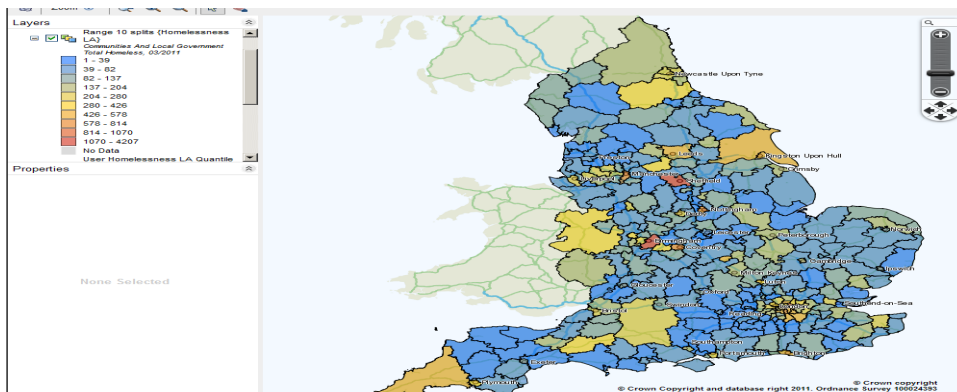
Then for the *Distribution* select "Quantile", and leave all other settings the same. Then add the layer.



Tutorial 6: Thematic mapping

You can see that this shows a considerably different picture. The Quantile option is grouping your results not by a value range but into groups with an equal number of records. Because you chose 10 classes you have 10 equally sized groups. In other words each group represents 10% of the total number of Local Authorities.

Try another distribution method. First turn off the Quantile layer and then rename the layer in the task pane as "Homelessness LA Jenks". Then change the distribution to "Jenks Natural Breaks", leaving all other settings the same, and add it to the map.




Once again the picture is considerably different. What the Jenks method is doing is to group the data together in order to minimise the difference between LAs within a group, and maximise the difference between groups. As such the ranges are not standard and the group size is not standard. But in this case Jenks gives us the best distribution.

What these examples show you is that statistical data can be interpreted in any number of ways. You need to be aware of your data and what it is you are trying to show with a thematic map to get the most use out of it.

Tutorial 7: Buffers

In this tutorial we determine the number of schools within a one mile radius of the City of London LA, using the buffer tool.

First type in the What do you want to show? section of the task pane type in "Local Authority" and click search.

This will return a list of matches. In this list find the entry called "Local Authorities (Ordnance Survey (OS))" and click the filter icon .

In the filter pane, for Property select LA Name, and for Operator select Contains.

Type in City of London and then click *Add Rule*.



Filtering the Layer (Local Authorities)

What do you want to filter on

Property: LA Name

Operator: Contains

Value: City of London

Get Values

Rule: LA Name Contains City of London

Options

Add Rule

Reset

Presentation of your New Layer

When you are ready click *Presentation of your new Layer*.

Name the layer City of London.

Set transparency to 50%.




Presentation of the Layer

What would you like to call your Layer

City of London

Basic Appearance

Fill Color:   Border Color:  

Fill Style: Solid Border Style: Solid

Fill Transparency: 50% Border Width (Points): 1

Display as Thematic

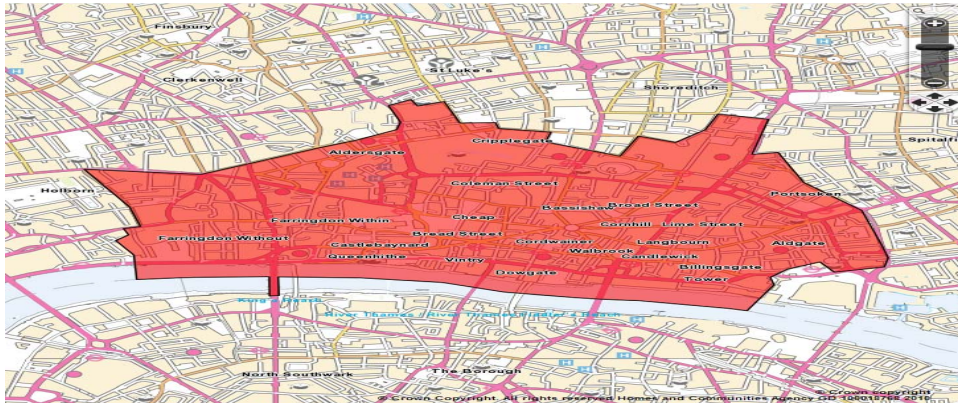
Retain Default Style & National Settings


Zoom Map Window to Results


Add your new Custom Layer

Tutorial 7: Buffers

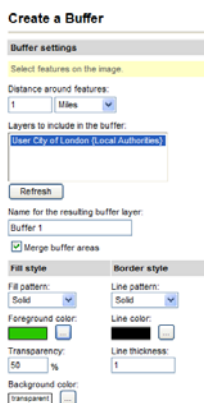
Make sure you tick the check box to *Zoom Map Window to Results*. Then click *Add your new custom layer*. The layer will be added and the map will zoom to that location.



Make the select tool active  and then click on the City of London LA boundary in the Map window. It should turn blue to indicate that it is selected.


Right click in the map window and select buffer  from the menu list.

Ensure that the buffer settings match the image below.




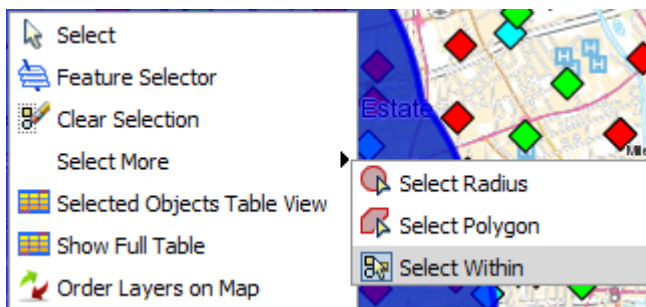
Tutorial 7: Buffers

You may have to zoom out a little to make the whole buffer visible in the map window.

Now click the Home button  on the Task Pane and in the What do you want to show? Section type in "school".

Add the Primary, Nursery and Secondary schools layers to the map by clicking their names in the search results pane.

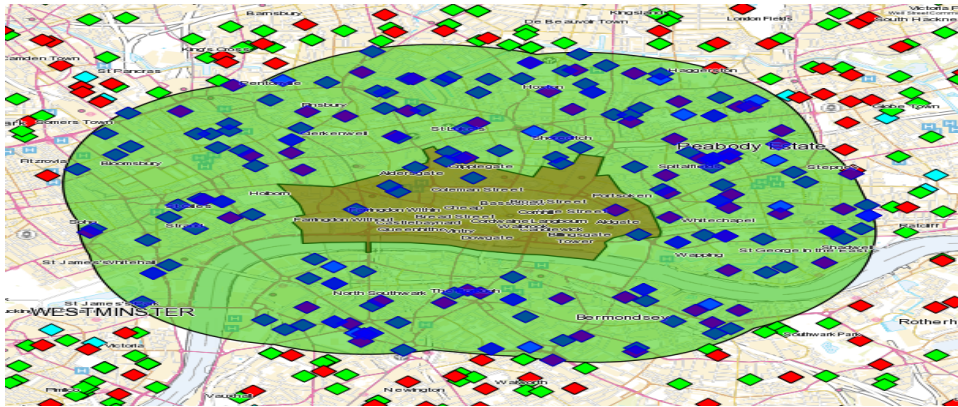
Now select the City of London buffer using the select tool  and right click in the map window. Choose Select more, select within.



This will return a list in the Task Pane showing you the available layers from which you can select.

Choose the three schools layers and using shift/click and then click done.

Tutorial 7: Buffers



This will give a list of all the schools in each category. The table gives you all of the attributes associated with those schools and you can save the table as an excel file and analyse it further.

Please be aware you are responsible for checking the restrictions of the data before circulating


PRIMARYINDEX	County	District Administrative	Establishment Name	Establishment Status	Free School Meals No	Free School Meals Percent	Further Education Type	GOR	Gender	LA
14		Tower Hamlets	Bishop Challoner Catholic Collegiate Boys School	Open	209	37	Not applicable	London	Boys	Tower Hamlets
147		Islington	Central Foundation Boys' School	Open	322	40	Not applicable	London	Boys	Islington
337		Hackney	Haggerston School	Open	415	51	Not applicable	London	Girls	Hackney
656		Tower Hamlets	Mulberry School for Girls	Open	622	60	Not applicable	London	Girls	Tower Hamlets
998		Tower Hamlets	Oaklands School	Open	335	58	Not applicable	London	Mixed	Tower Hamlets
1114		Southwark	St Michael's RC School	Open	188	28	Not applicable	London	Mixed	Southwark
1811		Southwark	Notre Dame Roman Catholic Girls' School	Open	161	25	Not applicable	London	Girls	Southwark
1875		Islington	Elizabeth Garrett Anderson Language College	Open	455	46	Not applicable	London	Girls	Islington
2045		Tower Hamlets	Swanlea School	Open	706	70	Not applicable	London	Mixed	Tower Hamlets
2344		Southwark	St Saviour's and St Dava's Church of England School	Open	222	29	Not applicable	London	Girls	Southwark
2889		Lambeth	London Nautical School	Open	160	24	Not applicable	London	Boys	Lambeth
3045		Tower Hamlets	Belmont Green Technology College	Open	498	62	Not applicable	London	Mixed	Tower Hamlets

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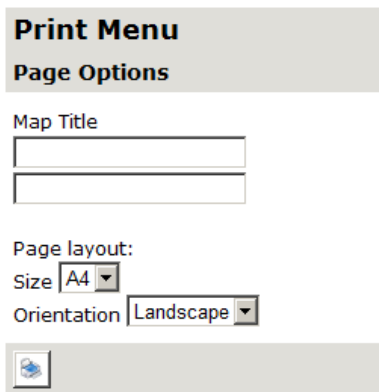
Primary Schools - Department For Education (DCSF)

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Tutorial 8: Printing

When you have added data to a map and used some of the analytical tools, you may wish to print your map. To do this simply click the print button  at the top left of the screen.

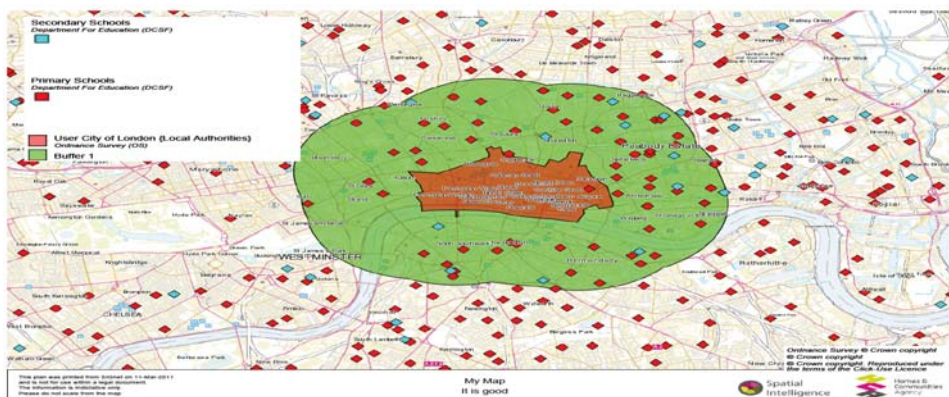
This will open the print dialogue box in the *Task Pane*.



Give you map a title and choose whether you want the legend to be included. Select whether you want the map to be A4 or A3, and select a layout, either Portrait, or Landscape.

When you are happy with your settings click print button at the bottom of the print menu.

This will create a PDF. You will be prompted whether you want to open or save the PDF. Click open.



If you are not happy with the PDF just close it without saving. You can zoom or pan on the map to relocate, change the settings and print it again.

When you are happy you can save the PDF or print it to hard copy.

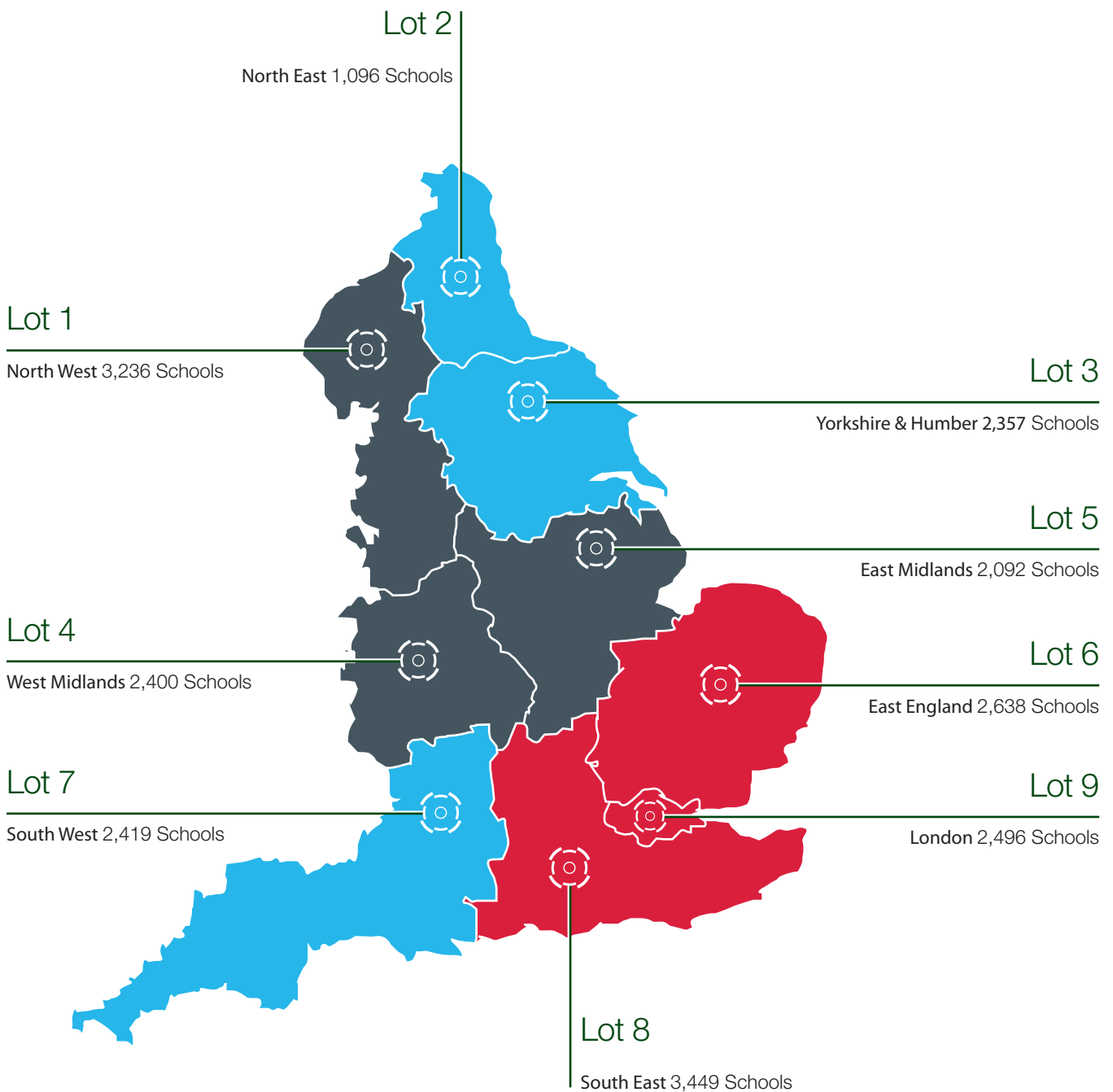
CAPITA SYMONDS



Davis Langdon
An AECOM Company



EC HARRIS
BUILT ASSET
CONSULTANCY



Total number of Schools: 22,616

Standard Letter Templates and Supporting Documents

Ref	Revision	Title	From	To	Purpose
TP/03/12/4/001	1.0	Educational Establishments Confirmation Letter	Surveying Organisation	Educational Establishment	To confirm the details of the PDS appointment with the establishment
TP/03/12/4/002	1.0	LA RB Confirmation Letter	Surveying Organisation	Educational Establishment	To confirm the PDS appointments made with a LA for establishment within their area
TP/03/12/4/003	1.0	Educational Establishments Information Note Annex A	Surveying Organisation	LA/ RB	To provide an overview of the PDS process for the establishment.
TP/03/12/4/004	1.0	Covering Emails Scripts	Surveying Organisation	Educational Establishment Cc to LA	To outline the detail within and the importance of the establishment and LA letters
TP/03/12/4/005	1.0	HS Follow Up Letter	Surveying Organisation	Educational Establishment / LA/RB	To confirm any immediate health and safety risks identified during PDS.
TP/03/12/4/006	1.0	Letter of Authority	EFA	Surveying Organisation	Confirming Surveying Organisations authority to undertake PDS on the behalf of EFA.

Standard Letter Templates and Supporting Documents

TP/03/12/4/001

Educational Establishment PDS Confirmation Letter

[Insert date]

Dear

Property Data Survey: Proposed School Survey Appointment

I am pleased to provide with this letter information to assist your school as it participates in the Property Data Survey Programme (PDSP). This letter:

- **requires a response regarding the appointment below, by email, to [SO to insert return email address hyperlink];**
- provides background information to the PDSP;
- explains the arrangements for your school survey, arranged as part of the PDSP;
- introduces the Surveying Organisation appointed to undertake your survey;
- includes, in Annex A, an educational establishment Information Note, outlining the PDSP process.

It is important to respond to this letter, as the outcomes from the PDS survey will help to influence capital allocations to your local area in future years.

Background

In April 2012, the Education Funding Agency contacted all Responsible Bodies (Local Authorities, Diocese and other Voluntary Aided Bodies, Academies and Sixth Form Colleges) across England. This was to make them aware of the launch of the Property Data Surveys (PDS) across the educational estate of England, as part of the Property Data Survey Programme (PDSP). The PDSP is due to be delivered through a phased approach and will conclude in Autumn 2013.

The PDSP comprises of Property Data Surveys which will gather high level condition data across the state-funded educational estate of England, and an Asset Management Software (AMS) system which will hold and analyse the data obtained as part of the surveys.

The PDSP has been established to allow DfE to obtain a clear picture of condition need across the estate, which in turn will allow this need to be considered as part of future Capital Allocations. The better we are aware of the issues, the better we will be to respond. There will be local and national benefit of having data on all educational establishments.

How will it work?

We have been appointed to undertake the surveys in this region and it is our intention to carry out the survey of your school on the following date(s). The details of the visit are as follows:

Standard Letter Templates and Supporting Documents

TP/03/12/4/001

Educational Establishment PDS Confirmation Letter

School Name: [insert detail incl. URN]

Time: [insert detail]

Date(s): [insert details]

Lead Surveyor: [insert detail]

CRB Reference number: [insert detail]

Contact number: [insert mobile]

As part of the Programme, thousands of schools will be visited and this means we have had to schedule appointments at many schools in advance of the visit. We would be grateful if you could contact us by return at: [\[SO to insert return email address hyperlink\]](#) to confirm that the date and time offered is acceptable. We may be able to offer alternative dates if this one is inconvenient.

The format of the survey will be a short pre-PDS meeting between the Property Data Surveyor with an appropriate school representative to discuss existing property condition issues. Sometimes, the Mechanical & Electrical (M&E) Survey might be planned to occur on a different time and date. If so, the Surveyor will advise the school of the proposed time and date of the visit during the pre-PDS meeting. If this is agreeable, the survey will follow on the agreed time and date. Surveyors may request access to locked areas or to be escorted in sensitive areas.

It would be useful if you could gather some or all of the following information, if available, for review in the pre-PDS meeting before the surveys commence:

- 5-Year Fixed Wire Electrical Test Certificate
- PAT Certificate
- Fire Alarm Inspection Certificate
- Emergency Lighting Inspection Certificate
- Gas Tightness Test Certificate
- Legionella Annual Inspection Certificate
- Passenger Lift Insurance Inspection Certificate (if relevant)

We will call you regarding the survey beforehand to discuss specific arrangements, any difficulties that you have and to confirm that specific information will be available on the day.

Across the PDSP, where schools have another Responsible Body, i.e. Academy Sponsor, VA Group, Local Authority, etc. we have been liaising with them about this process to obtain information about establishments wherever possible. This may not necessarily be relevant in your instance, or may not have yielded any additional data and this will be covered in the pre-PDS meeting on the day of the survey.

Standard Letter Templates and Supporting Documents

TP/03/12/4/001

Educational Establishment PDS Confirmation Letter

Please find attached an Educational Establishment Information Note outlining the process involved before, during and after the survey.

If you wish to view the school contact information that will be used by the surveying team please go to www.education.gov.uk/edubase. If the information that the DfE holds about you is incorrect, please contact the EduBase Service Desk at: helpdesk@edubase.education.gov.uk who will be able to help you to update your details.

Further information on the EFA and the PDSP- including related tools, templates and resources- can be found on the DfE website at:

<http://www.education.gov.uk/schools/adminandfinance/schoolscapital/a00204970/pdsp>

If you have any concerns regarding the survey, these should be raised when the surveying organisation makes contact to agree a date and time in the expectation that these can be addressed to enable the survey to go ahead.

Should the situation arise where the surveyor will not be able to determine the condition of the buildings, they will have no alternative but to record the buildings as being in good condition and will be recorded as such in the AMS system. Given the scale of the programme up until Oct 2013, it will not be possible to reschedule a survey in the future, once an educational establishment has confirmed it does not wish to have a Property Data Survey. The next opportunity would be when the rolling programme commences post-October 2013, subject to Secretary of State approval.

We look forward to receiving your confirmation that the proposed survey date is convenient.

Thank you for your assistance in this matter.

Yours sincerely

[Surveying Organisation contact]

Enclosure – PSDP Educational Establishment Information Note

Standard Letter Templates and Supporting Documents

TP/03/12/4/002

LA/ RB Confirmation Letter

[Insert date]

Dear

Property Data Survey: Proposed Survey Appointment

I am pleased to provide with this letter, information to local authorities as they support the Property Data Survey Programme (PDSP). This letter:

- requires a response to provide supporting condition information, by email, to [SO to insert email address];
- provides background information to the Property Data Survey Programme (PDSP);
- explains the arrangements presently being made for education establishments in your region as part of the PDSP;
- lists the supporting condition information the Surveying Organisation would like you to provide for them as they undertake the part of their work;
- introduces the Surveying Organisation appointed to undertake your survey;
- includes, in Annex A, an Educational Establishment Information Note, outlining the PDSP process.

Background

In April 2012, the Education Funding Agency (EFA) contacted all Responsible Bodies (Local Authorities, Dioceses, Other Voluntary Aided bodies, Academies and Sixth Form Colleges) across England. This was to make them aware of the launch of the Property Data Surveys (PDS) across the state-funded educational estate of England as part of the PDSP. The programme is due to be delivered through a phased approach and will conclude in autumn 2013.

The PDSP comprises of Property Data Surveys, which will gather high level condition data on the educational estate, and an Asset Management Software (AMS) system which will hold and analyse the data obtained as part of the surveys. The PDSP outputs will enable a clear picture of the condition for the entire estate to inform future capital allocations.

How it will work?

The EFA will have a strategic co-ordinating role and will provide direction and receive feedback from both educational establishments and the appointed surveying organisations. We have been appointed to undertake the surveys in this area and it is our intention to carry out the surveys of education establishments in your area on the dates listed below. We would appreciate your engagement in this matter and would like to liaise with you regarding the appointments.

Standard Letter Templates and Supporting Documents

TP/03/12/4/002

LA/ RB Confirmation Letter

The details of the visits are as follows:

Education Establishment Name:	URN:
[insert]	[insert]
[insert]	[insert]

The format of the PDS will be a short pre-meeting with a nominated member of staff who has good knowledge of the site for a discussion about existing property issues and condition. All surveyors may request access to locked areas or to be escorted in sensitive areas.

We intend to send each education establishment a reminder of the survey beforehand and will also discuss specific arrangements, any difficulties that they have and to confirm that specific information will be available on the day. We would appreciate any support you can offer in making the process run smoothly.

Please find attached an Educational Establishment Information Note outlining the process involved before, during and after the PDS which we are sending to the school together with the letter.

How you can support the process?

We would like your help in providing us with the following supporting condition information for each education establishment in advance of the proposed visit dates:

- Site Plans/Block Plans, floor plans, in CAD or any other format, e.g. pdf. Block Plan

Could you please forward to us the information to: [SO to insert email address], no later than ten working days before the planned PDS date? Your assistance in this matter will be greatly valued.

Further information on the EFA and the PDSP- including related tools, templates and resources- can be found on the DfE website at:

<http://www.education.gov.uk/schools/adminandfinance/schoolscapital/a00204970/pdsp>

We look forward to receiving your supporting condition information and thank you in advance for your assistance in this matter.

Yours sincerely (if the addressee is named) or Yours Faithfully

[Surveying Organisation contact]

Enclosure – PSDP Educational Establishment Information Note

TP/03/12/4/002

Standard Letter Templates and Supporting Documents

TP/03/12/4/003

Educational Establishment Information Note: Annex A

Background

On 16 April 2012 the Education Funding Agency (EFA), wrote to all Responsible bodies (Local Authorities, Diocese and other Voluntary Aided Bodies, Academies and Sixth Form colleges) to announce the launch of the Property Data Survey Programme (PDSP). The PDSP flows from two of the accepted recommendations published as part of the Review of Education Capital Expenditure ('the James Review'), published in April 2011. Following the review, the Secretary of State for Education agreed that work should start without delay to collect information on the building condition of the maintained education estate.

The EFA is the Government's delivery agency for capital investment in educational establishments, covering all maintained and voluntary-aided secondary schools, primary schools, special schools, 16-19 Sixth Form Colleges, Academies and Free Schools and has been commissioned by the Department for Education (DfE) to lead on the delivery of the PDSP.

[Surveying Organisation] has been named as the surveying organisation to carry out Property Data Surveys (PDS) as part of PDSP in your region. The PDSP comprises of Property Data Surveys which will gather high level condition data across the state-funded educational estate of England, and an Asset Management Software (AMS) system which will hold and analyse the data obtained as part of the surveys.

The PDSP outputs will enable a clear picture of the condition for the entire estate to inform future capital allocations.

Before the Survey

Where educational establishments participating in the PDSP have another responsible body, i.e. Academy Sponsor, VA Group etc., we have been liaising with the said body about this process to obtain any relevant condition information about establishments wherever possible. This may not necessarily be relevant in your instance, or may not have yielded any additional data and this will be covered in the pre-PDS meeting.

[Surveying organisation] plans to visit your site on the proposed time and date agreed in the accompanying letter.

Survey Process/Cycle

A PDS takes between half a day for a small primary school and up to four days for a large secondary school. The PDS process is divided into three steps:

1. Pre PDS Briefing Meeting (around 30 – 60 minutes depending on size of educational establishment).
2. PDS (The Survey).
3. Debrief.

Standard Letter Templates and Supporting Documents

TP/03/12/4/003

Educational Establishment Information Note: Annex A

1. Pre-PDS Briefing Meeting

The purpose of this meeting is for the Property Data Surveyor to meet with an appropriate education establishment representative to discuss existing property condition issues and any recent condition-related work. The pre-PDS briefing meeting must take place on the (first) day of the PDS.

Access arrangements will also need to be determined at this meeting. If it is not possible to access all areas of the educational establishment, it is important that knowledge of any condition issues relating to these areas is provided during this meeting.

During the pre-PDS briefing meeting the representative should assist the surveyor to identify buildings and blocks within the educational establishments' site boundary through a map referenced discussion.

In some instances, the surveyor will have previously been provided with site plans and building floor plans by the local authority/responsible body. Where this is not the case, the surveyor may ask the educational establishment representative if copies of floor plans forming part of any cleaning schedules etc. can be provided to assist the surveyor in inspecting building areas.

During the pre-PDS briefing meeting, the surveyor should ascertain which areas are occupied. We would advise you to alert staff to the fact that the PDS is taking place. Sensitive areas, e.g. toilet areas, will need to be accessed and the surveying organisation will seek assistance in acquiring access. The surveyor will also need to be made aware of any areas which would be inappropriate to access at specific times or at any time.

The surveyor should ascertain any specific site rules, including emergency evacuation arrangements. Site rules may also include signing in, signing out and the wearing of an educational establishment identity badge which should be visible at all times. There may be 'permit to work/enter' procedures to be followed including washing of hands or the wearing of over shoes. Surveyors may be restricted to certain toilets and/or wash areas. It is important that the availability of first aid facilities are ascertained during this meeting.

At this meeting, specific and generic health and safety risks will need to be discussed. This will allow risk assessments to be undertaken in advance of the surveys and to ascertain if permits to work are required to gain access to plant rooms or other sensitive areas. It is envisaged that some risk assessments will need to be undertaken during the surveys, but to minimise these they should be identified at this meeting. A pre-PDS briefing meeting checklist will be used at the meeting and will include questions linked to the identification of hazards and risks. As complete an assessment as is reasonably possible will be made during the pre-PDS meeting.

In some circumstances there may be hazardous substances within educational establishment buildings. In such circumstances, these will need to be discussed with your representative to ascertain what safety precautions are required. If areas are particularly dangerous, they should be excluded from the PDS and details of this need to be recorded.

Standard Letter Templates and Supporting Documents

TP/03/12/4/003

Educational Establishment Information Note: Annex A

2. PDS (The Survey)

It will be important to collect as much information as possible from the educational establishment representative or person who is in control of managing the premises or site.

The surveyors will walk round and survey all the educational establishment blocks (including plant rooms and on-site caretaker's houses) and grounds, including car park surfacing, fencing and playing fields, to capture condition related data. If possible, access to all grounds should be provided.

The surveyor will visually inspect the outside of buildings (such as external walls, windows, doors and roofs etc.) and inspect roof areas from a suitable vantage point using binoculars. Where this is not possible they will make an internal visual inspection. Surveyors will not access roof areas by ladder, scaffolding or a height access vehicle, such as a cherry picker.

The surveyor is required to capture data on all internal building elements (e.g. internal floor finishes, ceilings, decorations, toilet fittings, boilers, lighting and fixed furniture etc.) in both teaching spaces and non-teaching spaces. Please ensure that internal areas can be accessed for a short time. Some areas

may need to be accessed more than once as there are likely to be separate specialists for building and mechanical and electrical components, although these occurrences will be minimised as far as possible. Where a separate PDS visit is required, the Surveyor will flag the issue and advise the educational establishment of the proposed time and date of the visit. If this is agreeable, the survey will follow on the agreed time and date.

The surveyor is required to take photographs of the external elevations, but the surveyors are under instructions not to include children in any photographs.

Standard Letter Templates and Supporting Documents

TP/03/12/4/003

Educational Establishment Information Note: Annex A

3. Debrief

If there is an urgent health and safety issue that needs addressing the education establishment/responsible body needs to be made aware as soon as possible (i.e. locked/blocked fire escapes). Other health and safety issues deemed non-urgent should be reported at the end of the visit. Where the surveyor intends to be on site for more than one day, the educational establishment's representative will be notified before the surveyor departs. The surveyor will record any health and safety issues requiring attention that have been identified during the undertaking of the PDS. Any issues recorded by the surveyor will be reported to the educational establishment's representative before the surveyor leaves the site. Any verbal report will be delivered sensitively and professionally. This action will be followed up in writing to both the educational establishment and the responsible body.

After the Survey

After the completion of the survey and quality assurance checks, the data will be uploaded into the AMS system. Educational establishments and responsible bodies will have access to the data to support them locally with their investment decisions.

DfE will use the outputs from the PDS to support future submissions to HM Treasury for future capital investment. The Programme is due to be delivered through a phased approach and will conclude in Autumn 2013.

Further Information

Further information on the EFA and the PDSP can be found on the DfE website at:

<http://www.education.gov.uk/schools/adminandfinance/schoolscapital/a00204970/pdsp>

Standard Letter Templates and Supporting Documents

TP/03/12/4/004

Covering Email Scripts

1. Education Establishment Email Script

SUBJECT: PRIORITY: FAO Headteacher – Property Data Survey RESPONSE REQUIRED

Dear Headteacher,

We are undertaking the Property Data Survey Programme on behalf of the EFA, part of Department for Education in your area and attach a letter containing details of your proposed appointment. The letter also contains an information note that outlines the details and background to the programme.

Can I ask that you please review the proposed time and date of the survey and confirm that this is acceptable to [insert SO response email address].

We have shared this information with your Local Authority/ Responsible Body and have requested from them detailed block and site plans for your establishment.

Should you wish to discuss the appointment or the wider Property Data Survey Programme, please contact us at [insert SO response email address].

I look forward to receiving your reply.

Regards

[Insert signature block]

Standard Letter Templates and Supporting Documents

TP/03/12/4/004

Covering Email Scripts

2. Local Authority- Responsible Body Email Script

“Dear Colleague or Dear [insert name]

We are undertaking the Property Data Surveys in your area on behalf of the Department for Education. I attach a letter outlining the proposed appointments in your area for the next round of the Property Data Survey Programme.

We will be sending appointment confirmation letters to the education establishments shortly but wanted to forewarn you of our plans in case you were contacted by any of the education establishments in question. I also attach a copy of the information note sent to schools to inform them of the process.

(optional) As there are a number of Voluntary Aided Schools within our selection I have also copied this letter to the diocesan VA contact.

Should you have any queries regarding the school selection or our request for supporting site plans, block plans or floor plans please contact [INSERT NAME] at [insert SO response email address].

ENDS

Standard Letter Templates and Supporting Documents

TP/03/12/4/005

H&S Follow Up Letter

[insert date]

Dear [name of contact]

Re: Property Data Survey Programme Dated [insert survey date]

This letter is in reference to the survey of your premises which took place on (insert date) by (Surveying Organisation) who was working for [insert surveying organisation]. The survey was undertaken as part of the Property Data Survey Programme on behalf of the Education Funding Agency who is part of the Department for Education. Thank you for your help and cooperation in the undertaking of this survey.

As part of the survey [surveyor's name] made the following observations related to Health and Safety which were brought to the attention of [school contact] as the schools representative prior to leaving the site on that date.

1. List observations
2. List observations
3. List observations

The reason these observations were passed onto your representative was to ensure you were aware of them so that the necessary action can be taken to address them. The survey is a high level building condition survey and not a Health and Safety compliance survey, it should not be assumed that the list below is a comprehensive list of potential Health and Safety issues but is only the issues observed by the Surveyor whilst undertaking this high level survey.

This letter is to confirm the details of the verbal report provided and that [Surveying Organisation] will have no further role in dealing with these matters. Under the legislation which covers Health and Safety in educational establishments the responsibility for the Health and Safety rests with other parties.

Further details regarding the PDSP can be found at <http://www.education.gov.uk/schools/adminandfinance/schoolscapital/a00204970/pdsp>

Thank you for your help and cooperation in this matter

Regards

Surveying Organisation

Standard Letter Templates and Supporting Documents

TP/03/12/4/006

Letter of Authority

21st November 2012

Dear Headteacher

Re: Property Data Survey Programme- Letter of Authority

This letter is in reference to the Property Data Survey Programme which is taking place on your premises as agreed with [insert surveying organisation] who are working on behalf of the Education Funding Agency which is part of the Department for Education.

This letter is proof that [insert surveyor's name] is authorised to undertake surveys as part of the Property Data Survey Programme. The surveyor is enhanced CRB checked and will be carrying identification, in addition to this letter.

PDSP Surveyor: [insert name]**Organisation:** [insert SO name]**CRB Ref:** [insert CRB number]

The PDSP comprises of Property Data Surveys which will gather high level condition data across the state-funded educational estate of England, and an Asset Management Software (AMS) system which will hold and analyse the data obtained as part of the surveys.

The PDSP outputs will enable a clear picture of the condition for the entire estate to inform future capital allocations.

Further details regarding the PDSP can be found at <http://www.education.gov.uk/schools/adminandfinance/schoolscapital/a00204970/pdsp>

Thank you for your help and cooperation in this matter.

Regards

Surveying Organisation

Introduction to PDS:

- > Courtesy introduction of surveying team in attendance (provide mobile numbers).
- > Show ID Badge and make reference to displayed CRB number demonstrating enhanced CRB clearance.
- > Show Letter of authority if required.
- > Provide brief on the scope/purpose of the PDS.
- > Advise on the approximate length of survey.
- > Advise on the proposed approach to undertaking the survey
- > Advise on requirement to take photographs and protocols to be followed
- > Advise that this site may be chosen for a validation audit as part of the QA process.
- > Advise that any immediate health and safety risks identified will be politely and courteously highlighted to the education establishment representative before the surveying team leaves the site and that such will be followed up in writing. If the representative is unlikely to be available an alternate contact must be advised.
- > Review maintenance documents made available by the educational establishment to assist in informing the PDS to be undertaken.

1. Health & Safety

Evidence the Asbestos Register where available.

Enquire if the education establishment has an up to date Asbestos Management Plan. If the establishment does not have an up to date Plan then the surveyor needs to record this within the (main/first) Block 'survey comments', and sensitively inform the representative that the establishment has a duty with regards to Asbestos Management. Where an up to date Plan is not in place surveyor should advise the representative that advice and guidance is available from the EFA. This must be subsequently confirmed in writing or via email to the education establishment and the appropriate responsible body.

Confirm any induction procedures that need to be followed with regards to Health and Safety.

Establish if there is a H&S File on site?

Establish if there are any construction/ maintenance works being undertaken at present?

Establish if there are any hazardous areas or any site specific risks or hazards to be aware of for risk assessment review?

Establish if there are any areas of the establishment that cannot be accessed or that cannot be entered un-accompanied?

Establish who to contact in the event of an emergency on site? (Contact details)

Confirm the fire evacuation procedures (place of assemble) and if there are any planned fire alarm tests today?

2. Maintenance Information

Establish if there are any reoccurring maintenance problems (internal and external)?

Confirm if there is any specialist maintenance required at the site?

3. Capital Expenditure

With reference to Phase 1A survey only establish if any building built or demolished since 2005?

With reference to Phase 1A survey only establish what planned and capital investment has there been and to what areas since 2005?

4. Establishment Operations

Confirm if there are any exams planned or quiet areas of the establishment? Times/ rooms?

Agree any protocols for access to classrooms with classes in progress?

Obtain mobile number for the site contact

Establish the typical establishment timetable i.e. school start and finish times, lesson periods, break times, pre and after school clubs?

Establish if there are any locked rooms requiring key/code access

Confirm if there are any buildings on site that are occupied by other stakeholders

Confirm which welfare facilities can be used by the survey team and confirm and agree any protocols for accessing WCs, changing rooms, etc

AMS Photo & Document Naming Convention

Photograph of School

Format: AUTHORITYNUMBER_ESTABLISHMENTNUMBER_MAIN.JPG

Example: 831_2400_MAIN.JPG (would be linked to Allenton Community Primary School (school 2400) which is in Derby (831).)

Photograph of Building

Format: AUTHORITYNUMBER_ESTABLISHMENTNUMBER_SITENUMBER_BUILDINGNUMBER_BLOCK.JPG

Example: 831_2400_1_A_Block.JPG

Aerial Photograph of School

Format: AUTHORITYNUMBER_ESTABLISHMENTNUMBER_AERIAL.JPG

Example: 831_2400_AERIAL.JPG

Aerial Photograph of Building

Format: AUTHORITYNUMBER_ESTABLISHMENTNUMBER_SITENUMBER_BUILDINGNUMBER_AERIAL.JPG

Example: 831_2400_1_A_AERIAL.JPG

Documents (Plans)

Format: AUTHORITYNUMBER_ESTABLISHMENTNUMBER_SITENUMBER_BUILDINGNUMBER_<anytext>.PDF

<anytext> is anything that makes the filename unique. For example; if there is only a single site plan being uploaded 'SITE' if there is one plan per building being uploaded 'PLAN'.

Example: 831_2400_1_A_PLAN.PDF

As part of the PDS surveyors are required to take a photograph of the;

- Main entrance of the educational establishment i.e. the entrance to the main building usually where the reception is located.
- Primary front entrance view of each block identified.

When taking photographs surveyors need to ensure they strictly adhere to the protocol of ensuring that children are not included in the photograph frame.

Glossary

ADCS	Acting Director of Childrens Services
AMS	Asset Management System
CBSS	Chief Building Surveyors Society
CIPFA	Chartered Institute of Public Finance & Accounting
CRB	Criminal Records Bureau
DCS	Director of Childrens Services
EBDOG	Education Building & Development Officers Group
EFA	Education Funding Agency
FE	Form Entry
ID	Identification
MUGAs	Multi-Use-Games Areas
PDF	Portable Document Format files
PDSP	Property Data Survey Programme
PDS	Property Data Surveys
OS	Ordnance Survey
RICS	Royal Institution of Chartered Surveyors
SCQS	Society of Construction and Quantity Surveyors
VA	Voluntary Aided
YPLA	Young Persons Learning Agency



Education
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